



SPECIAL ANNOUNCEMENT REGARDING ARCHITECTURAL REVIEW BOARD MEETINGS

Section 610.015 of the Missouri Sunshine Law provides that members of the Architectural Review Board who are not physically in the City Council Chambers can participate and vote on all matters when an emergency exists and the nature of the emergency is stated in the minutes.

The U.S. and the world is in a state of emergency due to the Coronavirus – COVID-19. Therefore, members of the Architectural Review Board have elected to participate in this meeting electronically for the public health and safety of each other and the general public.

Zoom webinar

When: July 6, 2021 07:00 PM Central Time (US and Canada)

Topic: Architectural Review Board

Please click the following link to join the webinar: <https://zoom.us/j/93792854141>

Or One tap mobile :

US: +13126266799,,93792854141# or +16468769923,,93792854141#

Or Telephone:

Dial (for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 646 876 9923 or +1 301 715 8592 or +1 669 900 6833 or
+1 253 215 8782 or +1 346 248 7799 or +1 408 638 0968

Webinar ID: 937 9285 4141

International numbers available: <https://zoom.us/u/abZ68XXb7A>



**Architectural Review Board
AGENDA
July 06, 2021 at 7:00 p.m.
Via Zoom (electronic meeting)**

I. Approval of Minutes – June 21, 2021

II. Sign Review - Old Business

None

III. Sign Review - New Business

a. 19-21S – 902 S Kirkwood Rd – I1
Chris Smith, Dale Signs, applicant
Wall Sign, Monument Sign & Driveway Signs for No Leash Required

b. 20-21S – 10463 Manchester Rd – B4
Piros Signs, Inc., applicant
Wall Signage and Menu Board for Chicken Out

IV. Residential Review - Old Business

a. Case 84-21R – 445 N Taylor Ave – R3
Mike Lewis, applicant
One-Story Addition
Continued on 6-21-21 for additional information and 3-D renderings.

b. Case 85-21R – 549 N Van Buren Ave – R4
Nathan Rauh of Naismith-Allen, Inc., applicant
Two-Story Addition
Continued on 6-21-21 for additional information and updated elevations.

c. Case 89-21R – 1007 Krauswood Dr – R3
Robert & Maureen Reed, applicants
Enclosing Existing Deck
Continued on 6-21-21 for material cut sheets and a more detailed drawing.

d. Case 92-21R – 411 W Adams Ave – R4
Michael Blaes, AIA, applicant
New Single-Family Home
Continued on 6-21-21 due to the applicant being unavailable to address the board.



**Architectural Review Board
AGENDA
July 06, 2021 at 7:00 p.m.
Via Zoom (electronic meeting)**

V. Residential Review - New Business

- a. Case 52-21R – 555 N. Clay Ave – R3
Jim Hotop, Coach House Garages, applicant
Detached Garage
- b. Case 96-21R – 473 Longfellow Ave – R4
C.J. Moss, Chesterfield Fence & Deck, applicant
Covered Deck Addition
- c. Case 97-21R – 612 S. Ballas Rd – R3
MRM Manlin Development Group, applicant
New Single-Family Residence
- d. Case 98-21R – 616 S. Ballas Rd –R3
MRM Manlin Development Group, applicant
New Single-Family Residence
- e. Case 99-21R – 315 Crest Ave –R4
Kingbridge Homes LLC, applicant
New Single-Family Residence
- f. Case 100-21R – 918 Cleveland Ave – R4
Lakeside Renovation and Design, applicant
1 ½ Story Rear Home Addition
- g. Case 101-21R – 438 Greenleaf Dr – R3
Jared Byers, applicant
Screened Porch and Rear Home Addition

VI. Commercial Review - Old Business

None

VII. Commercial Review - New Business

None

VIII. Election of Officers



**Architectural Review Board
AGENDA
July 06, 2021 at 7:00 p.m.
Via Zoom (electronic meeting)**

Kirkwood Architectural Review Board Members: Chairman Mark Campbell; Vice Chairman Michael Chiodini; Don Anderson, Curt Rafferty, Dick Gordon, Adam Edelbrock and Pat Jones; Council Liaison Kara Wurtz

Contact Information: For full Architectural Review Board contact information, please call Planning and Development Services at 314-822-5823. To contact the Building Commissioner, call Jack Schenck at 314-822-5814.

Accommodation: The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired.

C: Bill Bensing, Director of Public Services
Laurie Asche, City Clerk
Kim Sansegraw, Deputy City Clerk
Tim Griffin, Mayor
Kara Wurtz, Council Liaison
Donna Poe, SBD
Freddy Doss, Public Information Officer
Jonathan Raiche, Director of Planning and Development Services
Amy Lowry, Planner II
Andi Yancey, Planner I



Architectural Review Board Sign Review Application

139 S. Kirkwood Rd. Kirkwood, MO 63122 (314) 822-5816 Fax (314) 822-5898



WHERE COMMUNITY AND SPIRIT MEET*

Property Address: 902 S. Kirkwood Rd. I1 Case # 19-215 Permit# 22-1097

Person Requesting Review

Application Date: 6-10-21
Name: Chris Smith
Address: 13652 Manchester Rd.
City/State/Zip: St. Louis, Mo. 63131
Phone: 314-966-2620
E-mail: chris@dalesigns.com
Cell Phone: _____
Contractor's License No. 21-00001114

Property Information

Owner Name: Robert Vatterott Properties Inc
Address: 910 S. Kirkwood Rd. Suite 1410
City/State/Zip: St. Louis, Mo. 63122
Phone: 314-280-5354
Is the Property a Local Historic or a Landmark?
YES / NO
Existing/New Business (circle one)
Zoning District I1

****INFORMATION REQUIRED FOR SIGN REVIEW SHALL BE - 11"x 17" FORMAT****
ARB meetings are held on the 1st & 3rd Mondays (excluding holidays) every month.

Submittals must be turned in by 2: 00 p.m. on the deadline date

- ARB Approves Permit Applications for Signs in accordance with the City Code of Ordinances. The following information is required for review:
 - Ten (10) sets of a site plan showing the proposed location of the signs(s)
 - Ten (10) sets of detailed sign drawings (showing sign dimensions, material, color, style, lighting, etc.)
 - Ten (10) sets of photographs of building face and adjacent buildings (within 100 ft.) where sign is to be located.
 - Ten (10) color renderings of sign
 - Completed **sign permit application** and **sign review information worksheet**
 - Filing Fee \$100.00 For sign review, \$240 to consider variance from sign code due to hardship. Fees are for ARB review only; a separate sign permit shall be obtained from the Building Commissioner's Office.
- After ARB review approval a permit shall be obtained from the Building Commissioner's Office within 90 days to install the approved sign.

I have read the Architectural Review and Sign regulations of the City of Kirkwood. I hereby certify that the project is located on property which I have the legal right to construct the proposed project. I hereby affirm the above statements are true and correct and agree to fully comply with the ordinances of Kirkwood. I hereby certify that the owner(s) of record authorizes the proposed work and I have been authorized by the owner(s) to make this application as their agent. I understand that the Applicant or their representative shall attend all meetings.

Chris Smith Applicant's Signature Chris Smith Applicant's Printed Name 6-10-21 Date

CITY USE

Received By: Jamara Pelkey application Date: 6-11-21 - Gave new for future ✓

ARB Agenda Date 7-6-2021 . Zoning Administrator Approval _____

Sign Review Information Worksheet

*PLEASE COMPLETE ENTIRELY - Incomplete submissions will be returned for completion

Type of Sign Requested:

<input type="checkbox"/> Awning <input type="checkbox"/> Marquee <input type="checkbox"/> Roof <input type="checkbox"/> Window	<input checked="" type="checkbox"/> Ground <input type="checkbox"/> Projecting <input checked="" type="checkbox"/> Wall	Exempt Signs (reviewed): <input type="checkbox"/> Subdivision or Apartment Complex <input type="checkbox"/> Commercial Signs in residential areas <input type="checkbox"/> Other _____ Variance Request: <input type="checkbox"/> Variance Request: _____
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Size of Proposed Sign(s)

	13'-8"	X	4' 2 1/2"	=	57.5	sq. ft.
	135.25"	X	45.125"	=	6103.16" ÷ 144 = 42.38"	sq. ft. ✓
	2'	X	2'	=	4'	sq. ft.
	2'	X	2'	=	4'	sq. ft.
Total Size						sq. ft.

44,295 F

Existing Signs to Remain

	X	=			sq. ft.	
	X	=			sq. ft.	
	X	=			sq. ft.	
	X	=			sq. ft.	
Total Existing Size						sq. ft.

Total existing gross sign area	=		sq. ft.
Floor area of building	=	9800	sq. ft.
Floor area of tenant (if different)	=		sq. ft.
Lot area	=	1.13 Acres	sq. ft.
Dimensions of wall or window - sign to be applied to	=		sq. ft.

Gross Allowable Sign Area for Single Tenant Site:

3.5% of the floor area	=	343 ✓	sq. ft.
.9% of the total lot area	=	4430 ✓	sq. ft.
<i>Whichever percentage is larger, not to exceed 500 square feet. Lots 10 acres or greater shall be allowed maximum sign area of 1,500 square feet.</i>			

Gross Allowable Sign Area for Single Tenant in Multi-Tenant Site:

3.5% of the floor area occupied	=		sq. ft.
<i>Maximum gross allowable for this type of sign is 500 square feet. Multiple tenant buildings and/or premises may have only one (1) ground sign.</i>			



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 5801 Kingpost Court
 Lexington, KY 40509
 Toll Free 800.755.7956
 Office 859.263.2800
 Online integratedsign.com

SIGN TYPES

- A** MONUMENT SIGN
- B** WALL MOUNTED LOGO
- C** THANK YOU SIGN
- D** WELCOME SIGN

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Property Owner

No Leash Needed

Name of Project

No Leash Needed

Kirkwood, MO

Project Address

**902 S. Kirkwood Rd
 Kirkwood, MO 63122**

ISG Project Number

000000

Drawn By

B Becraft

Approved By

Original Drawing Date

01.06.21

Issued Revisions

△ 05.11.21

△ 05.18.21

△ 06.29.21

△

△

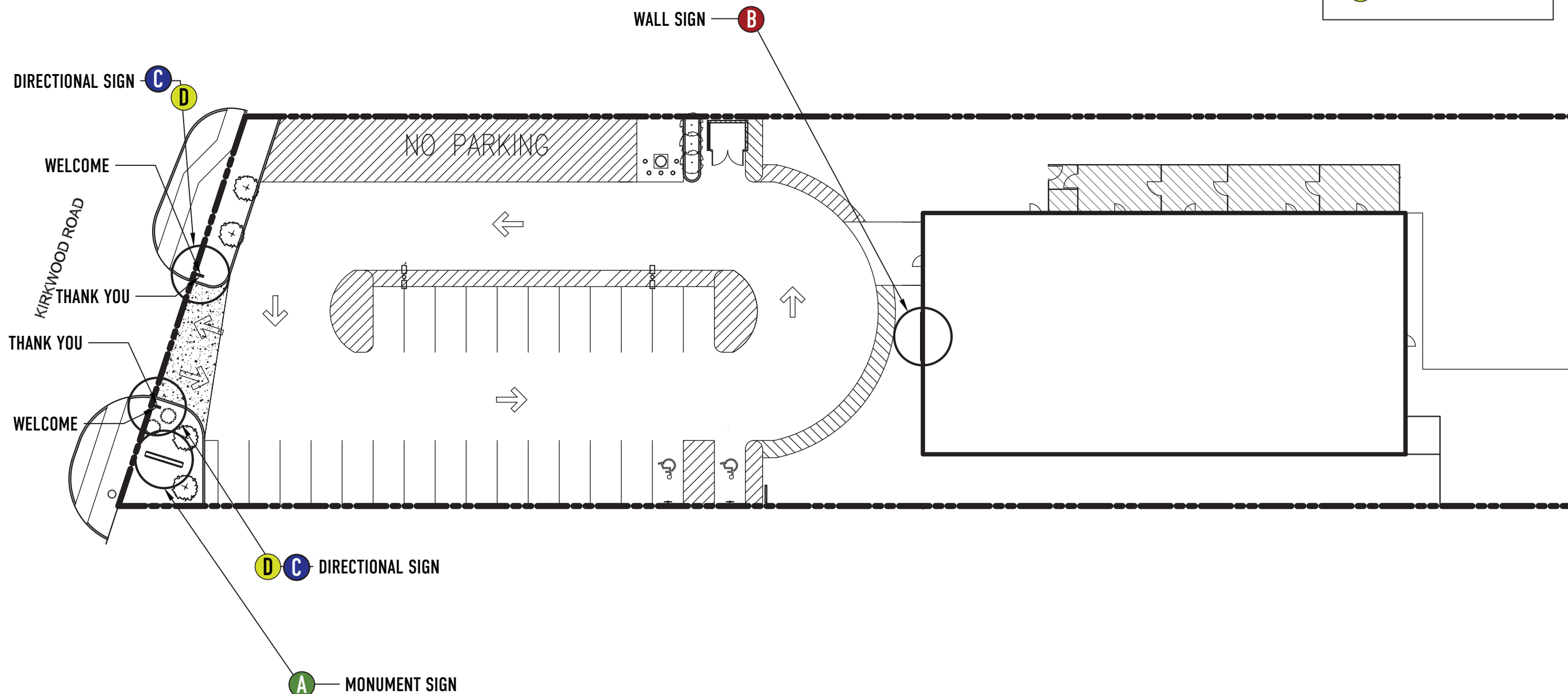
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Drawing Title

Site Plan




002



1 SITE PLAN
 N.T.S.

Standard Colors & Materials

Corporate Color Standards

-  No Leash Grey
 PMS 427c
 CMYK: 16.02/12.89/12.89/0
 RGB: 212/211/210
-  No Leash Black
 PMS Black 6c
 CMYK: 74.97/67.92/67.05/90.15
 RGB: 0/0/0
-  No Leash Red
 PMS 1788c
 CMYK: 0/99.33/100/0
 RGB: 237/32/36

Paint Colors

- P-1** Paint to Match (PMS 447c)
Matthews Paint
- P-2** Grey Shank (MP 13914)
Matthews Paint
- P-3** Grey to match PMS 427c
Matthews Paint 542
- P-4** Dark Grey to match
Sherwin-Williams 6992 Ink Well

Vinyl Colors

- V-1** To Match PMS 427c
(3M Scotchcal)
- V-2** 3M Opaque Black Vinyl (7725-12)
- V-3** 3M Poppy Red Translucent
3630-143
- V-4** 80/20 Black Perforated Vinyl

Trim Cap Colors

- T-1** Gemini - To Match PMS Black 6c



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Drawing Title

**Materials and
Colors**

003



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Property Owner
No Leash Needed

Name of Project
No Leash Needed
Kirkwood, MO

Project Address
 902 S. Kirkwood Rd
 Kirkwood, MO 63122

ISG Project Number
 000000

Drawn By
B Becraft

Approved By

Original Drawing Date
 05.11.21

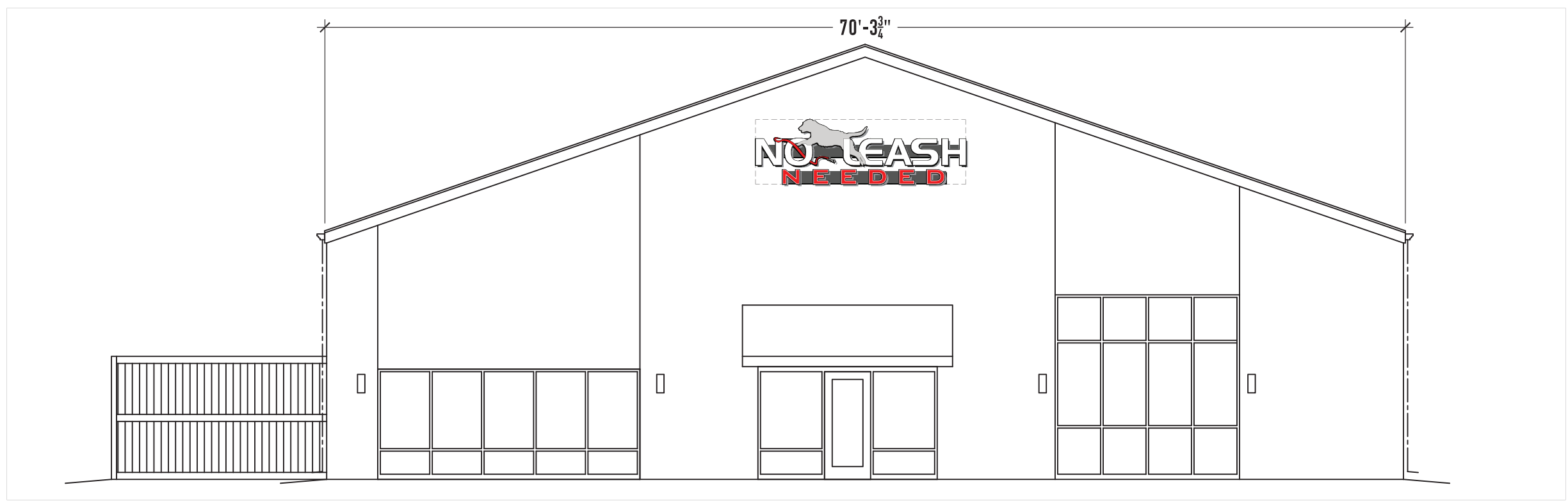
Issued Revisions

- △ 05.11.21
- △ 05.18.21
- △ 06.29.21
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Drawing Title

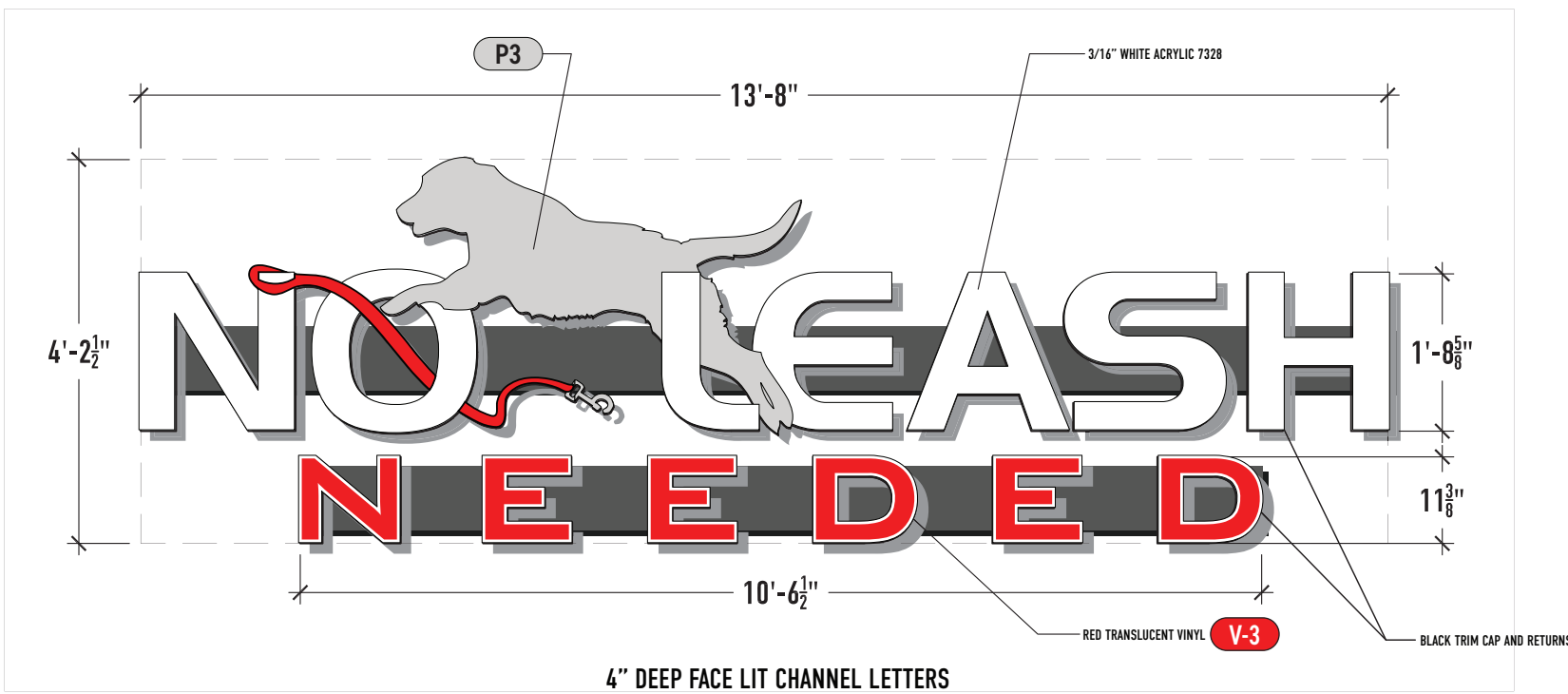
Wall Mounted Logo
Building Elevations

004



1 FRONT ELEVATION

Scale: 1/4" = 1' - 0"



4" DEEP FACE LIT CHANNEL LETTERS

2 FRONT ELEVATION

Scale: 1/2" = 1' - 0"

57.47 Sq. Ft.

Translucent Vinyl Colors

- V-1** To Match PMS 427c (3M Scotchcal)
- V-2** 3M Opaque Black Vinyl (7725-12)
- V-3** 3M Poppy Red Translucent 3630-143
- V-4** 80/20 Black Perforated Vinyl

Trim Cap Colors

- T-1** Gemini - To Match PMS Black 6c

M:\Drawing Library\Pet Suites 019118\02 Development\Kirkwood, MO\2020\CAD\PetSuites_KirkwoodMO_12-31-20.dwg



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Name of Project

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 Kirkwood, MO**

Project Address

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 Kirkwood, MO 63122**

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Original Drawing Date
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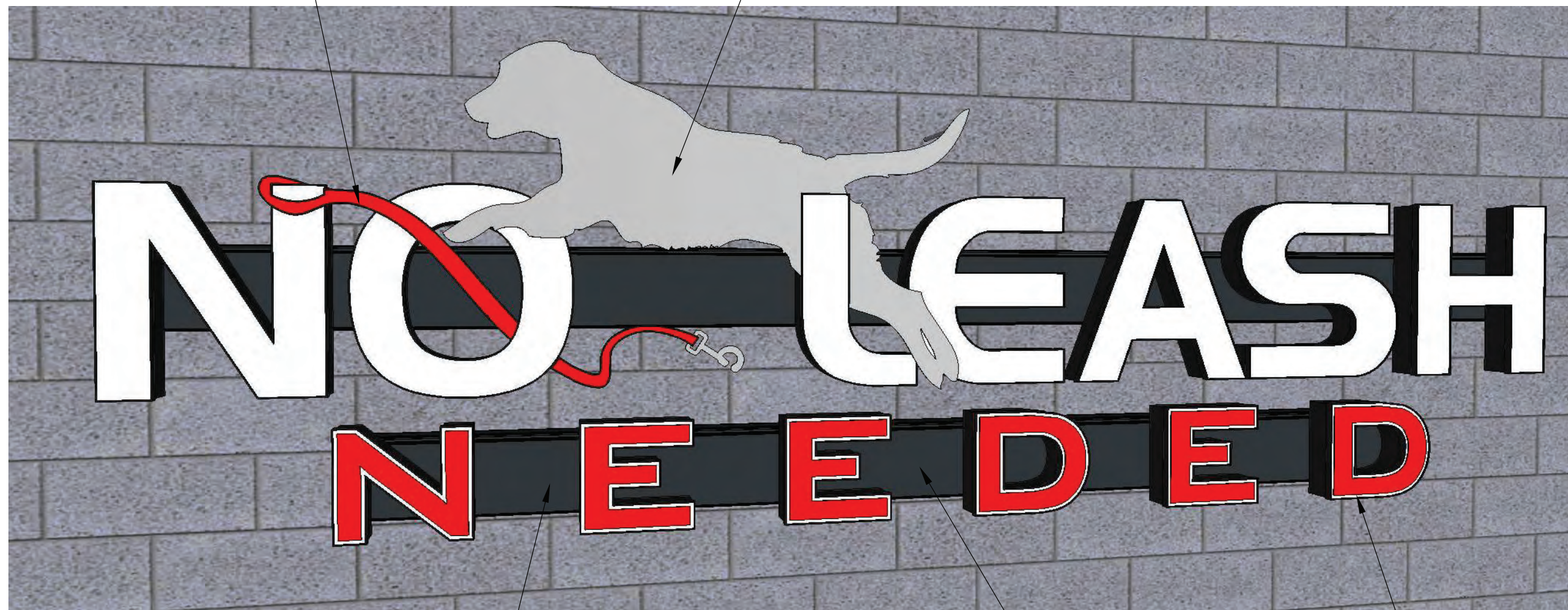
Drawing Title

**Materials and
 Colors**

005

3/16" aluminum leash logo
 (mounted using standoffs to wall)

3/16" aluminum dog silhouette
 (curved to match logo and stood off of
 wall with aluminum standoffs)



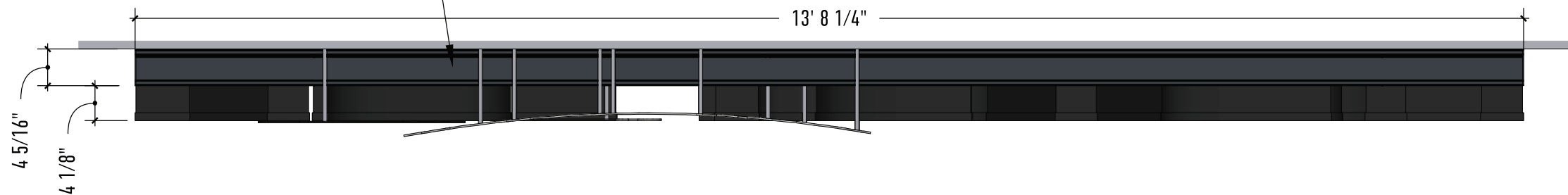
Raceway Painted to Match **P-4**
 Sherwin-Williams 6992 Ink Well

8" tall raceway

4" tall channel letters

1 DIMENSIONAL VIEW

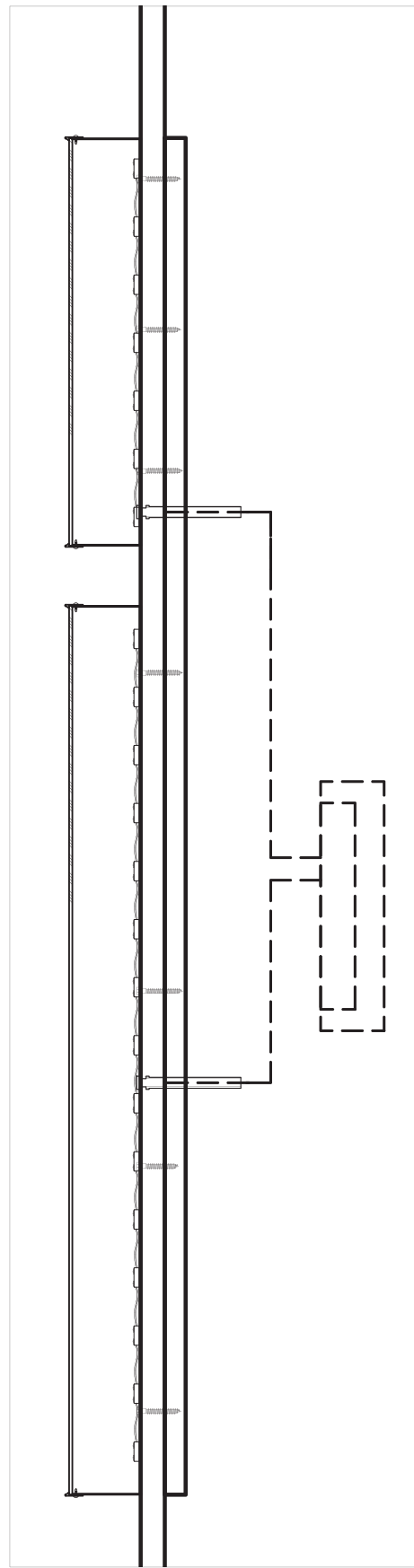
Scale: N.T.S.



2 TOP VIEW

Scale: 3/4" = 1'-0"

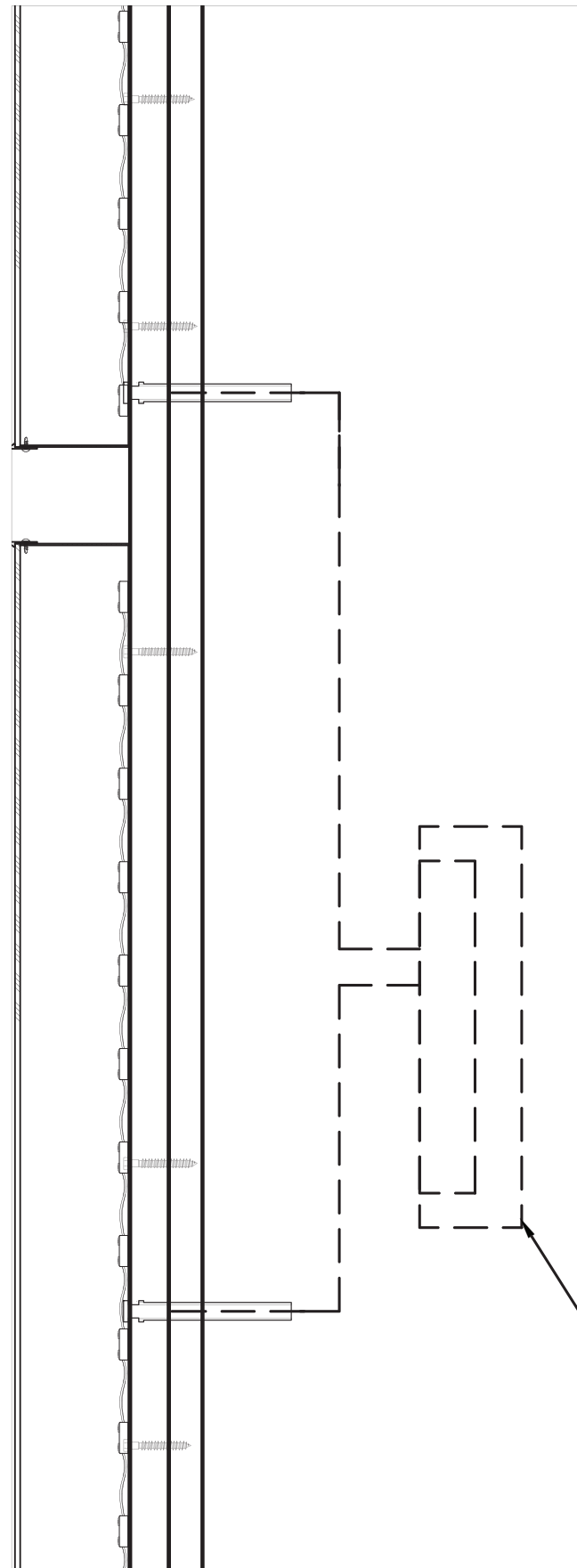
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1

SECTION VIEW

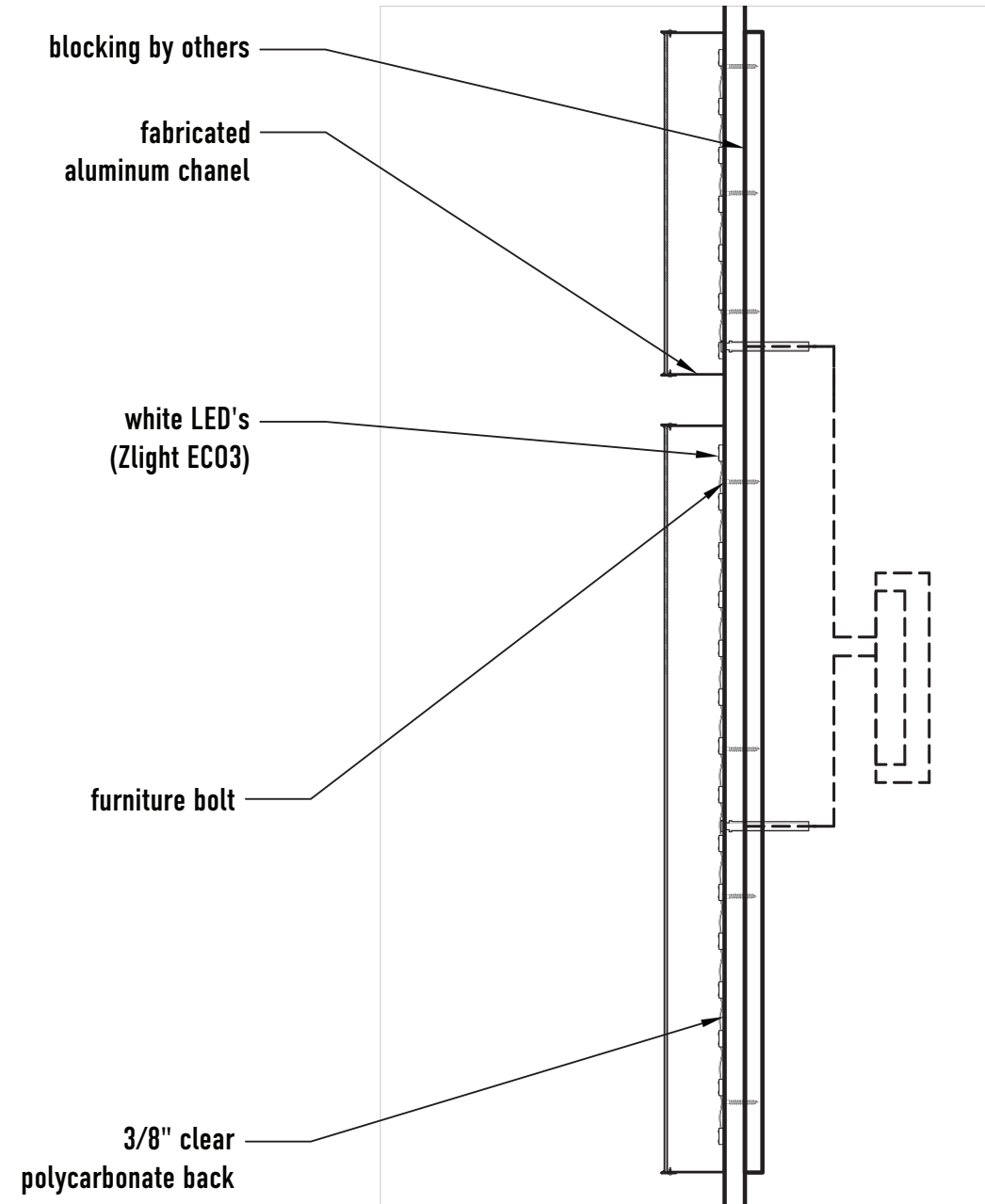
Scale: 3/4" = 1' - 0"



2

SECTION VIEW

Scale: 1 1/2" = 1' - 0"



3

DETAIL VIEW

Scale: 1 1/2" = 1' - 0"

LED power supply
(Universal L12V60UNV-R)

Electrical Requirements	
5 AMPS AT 120/277v REQUIRED	
all electrical components used are UL listed and suitable for wet locations	
<small>GROUNDING AND BONDING STATEMENT THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE, NFPA 70 AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. UNDERWRITERS LABORATORIES, INC. STANDARDS FOR SAFETY UL 48 - FIFTEEN EDITION - SEPTEMBER 2, 2011 SECTION 2.4.1.3 (g) *Remote metal parts of a section sign or outline lighting system only supplied by a remote Class 2 power supply shall not be required to be bonded to an equipment bonding conductor.*</small>	



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Property Owner
No Leash Needed

Name of Project
**No Leash Needed
Kirkwood, MO**

Project Address
**902 S. Kirkwood Rd
Kirkwood, MO 63122**

ISG Project Number
000000

Drawn By B Becraft	Approved By
------------------------------	-------------

Original Drawing Date
01.06.21

Issued Revisions

- ▲ 05.11.21
- ▲ 05.18.21
- ▲ 06.29.21
- ▲
- ▲
- ▲
- ▲

Drawing Title

**Silhouette
Section Details**

006



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Name of Project

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Kirkwood, MO**

Project Address

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ISG Project Number

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Drawn By

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Original Drawing Date

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▲ 05.18.21

▲ 06.29.21

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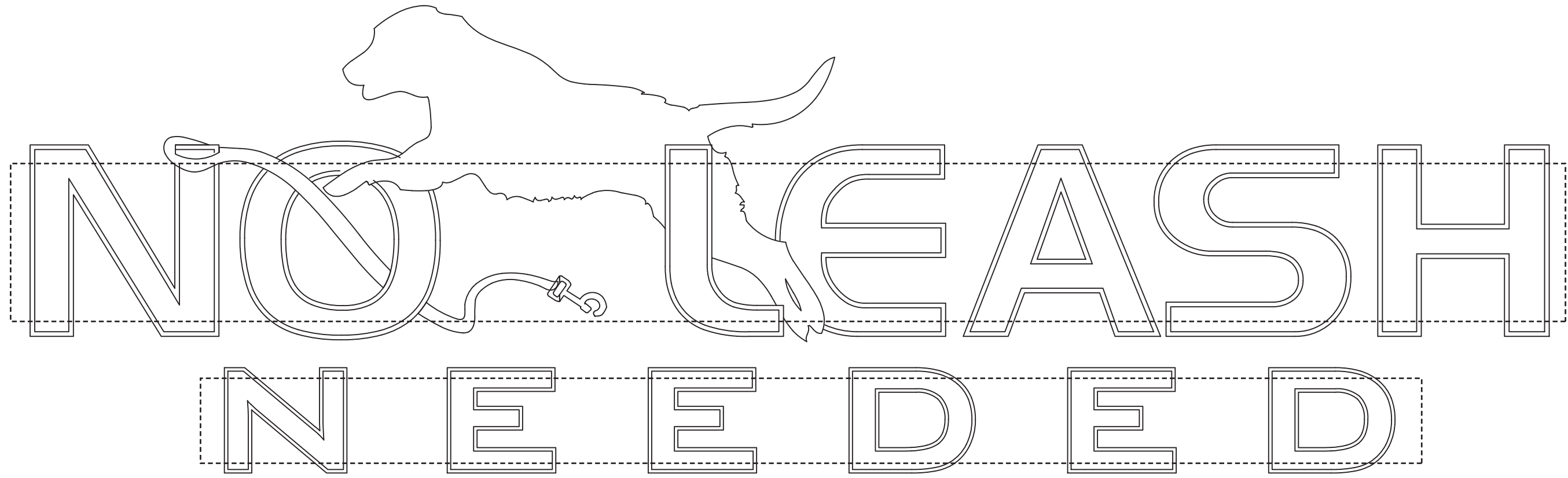
▲

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Drawing Title

**Wall Sign
Blocking
Requirements**

007



- **BLOCKING REQUIRED** Scale: 3/4" = 1' - 0"
- ① **DIMENSIONAL VIEW** Scale: N.T.S.



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Property Owner

No Leash Needed

Name of Project

**No Leash Needed
 Kirkwood, MO**

Project Address

902 S. Kirkwood Rd
 Kirkwood, MO 63122

ISG Project Number
 000000

Drawn By B Becraft	Approved By
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Original Drawing Date
 01.06.21

Issued Revisions

- △ 05.11.21
- △ 05.18.21
- △ 06.29.21
- △
- △
- △
- △

Drawing Title

Materials and Colors

008

Colors & Materials

Paint Colors

P-1 Paint to Match (PMS 447c)
 Matthews Paint

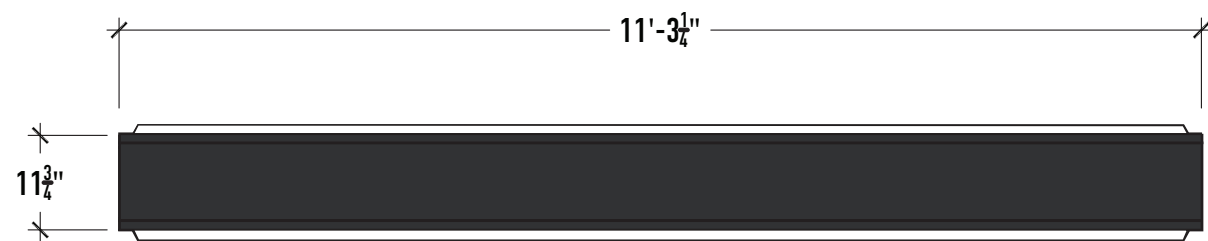
P-2 Grey Shank (MP 13914)
 Matthews Paint

Printed Colors

To Match PMS 427c

To Match PMS Black 6c

To Match PMS 1788c



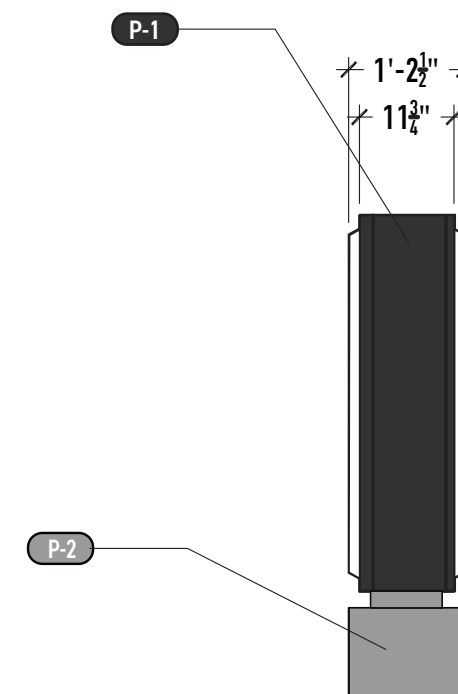
3 PLAN VIEW

Scale: 1/2" = 1' - 0"



1 FRONT VIEW

Scale: 1/2" = 1' - 0"



2 SIDE VIEW

Scale: 1/2" = 1' - 0"

56.36 Sq.Ft.



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Property Owner
No Leash Needed

Name of Project
**No Leash Needed
 Kirkwood, MO**

Project Address
 902 S. Kirkwood Rd
 Kirkwood, MO 63122

ISG Project Number
 000000

Drawn By B Becraft	Approved By
------------------------------	-------------

Original Drawing Date
 01.06.21

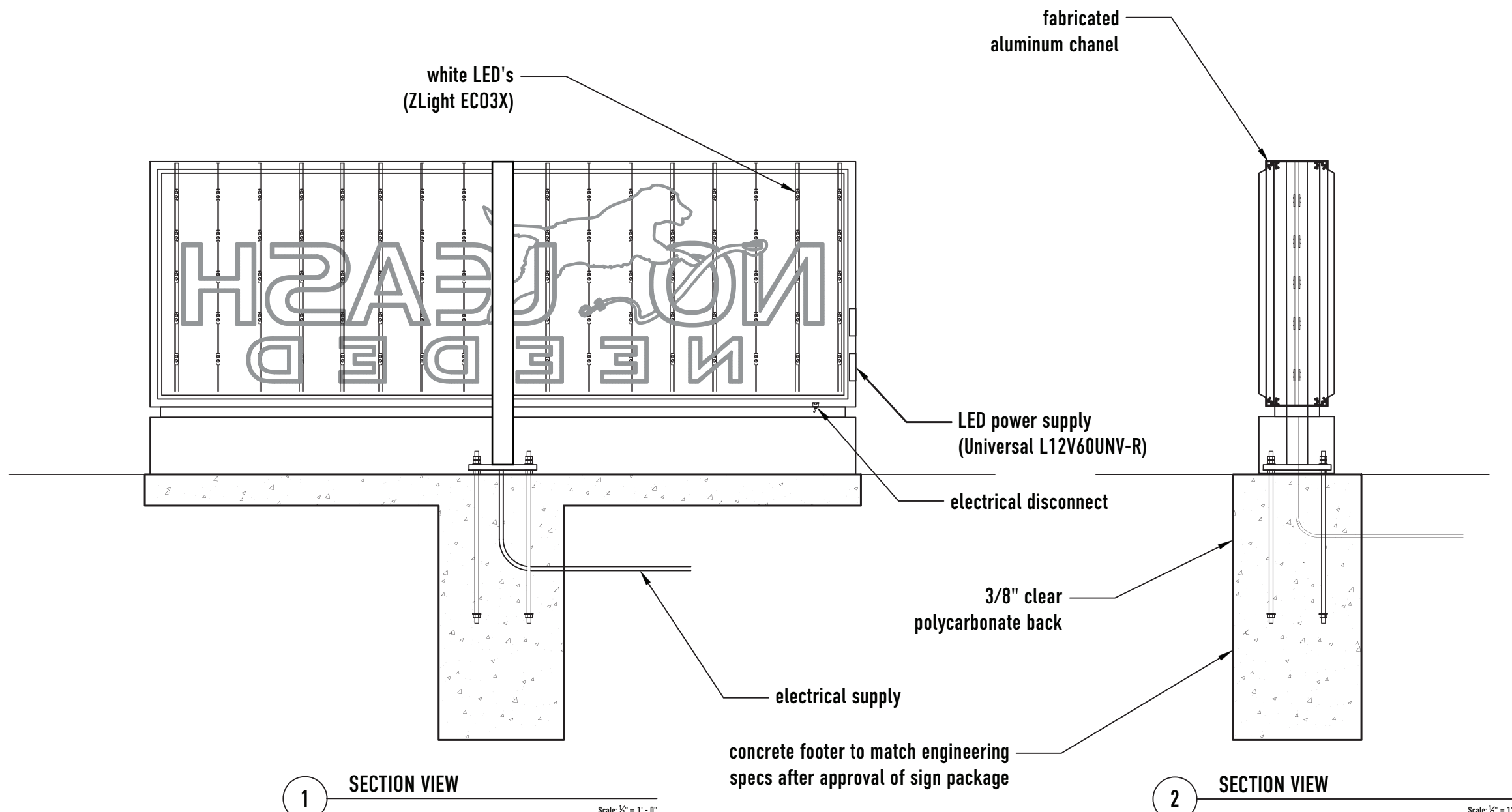
- Issued Revisions
- △ 05.11.21
 - △ 05.18.21
 - △ 06.29.21

- △
- △
- △
- △

Drawing Title

**Monument
 Section Details**

009



1 SECTION VIEW
 Scale: 1/2" = 1' - 0"

2 SECTION VIEW
 Scale: 1/2" = 1' - 0"

Electrical Requirements

5 AMPS AT 120/277v REQUIRED

all electrical components used are UL listed and suitable for wet locations

GROUNDING AND BONDING STATEMENT
 THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE, NFPA 70 AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
 UNDERWRITERS LABORATORIES, INC.
 STANDARDS FOR SAFETY
 UL 48 - FIFTEEN EDITION - SEPTEMBER 2, 2011
 SECTION 4.2.4.1.3 (g)
 Remote metal parts of a section sign or outline lighting system only supplied by a remote Class 2 power supply shall not be required to be bonded to an equipment bonding conductor.

M:\Drawing Library\Pet Suites 019118\02 Development\Kirkwood, MO\2020\CAD\PetSuites_KirkwoodMO_12-31-20.dwg

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Pet Suites Silhouette Pet Suites Silhouette Pet Suites Silhouette Pet Suites Silhouette Pet Suites Silhouette

Colors & Materials

Paint Colors

P-1 Paint to Match (PMS 447c)
Matthews Paint

P-2 Grey Shank (MP 13914)
Matthews Paint

Translucent Vinyl Colors

V-2 3M Opaque Black Vinyl (7725-12)

V-3 3M Poppy Red Translucent
3630-143



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Property Owner
No Leash Needed

Name of Project
**No Leash Needed
Kirkwood, MO**

Project Address
902 S. Kirkwood Rd
Kirkwood, MO 63122

ISG Project Number
000000

Drawn By B Becraft	Approved By
------------------------------	-------------

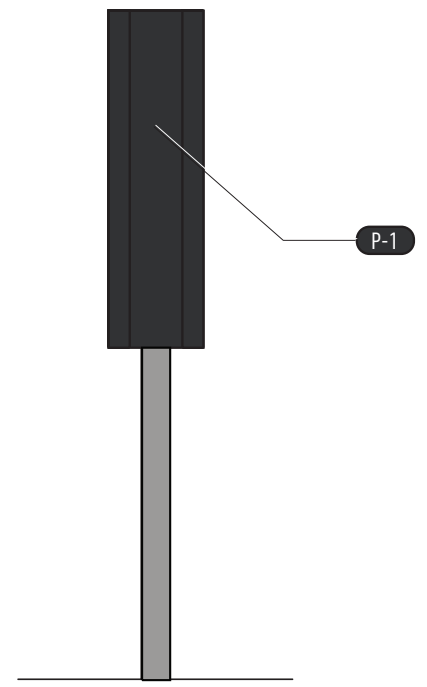
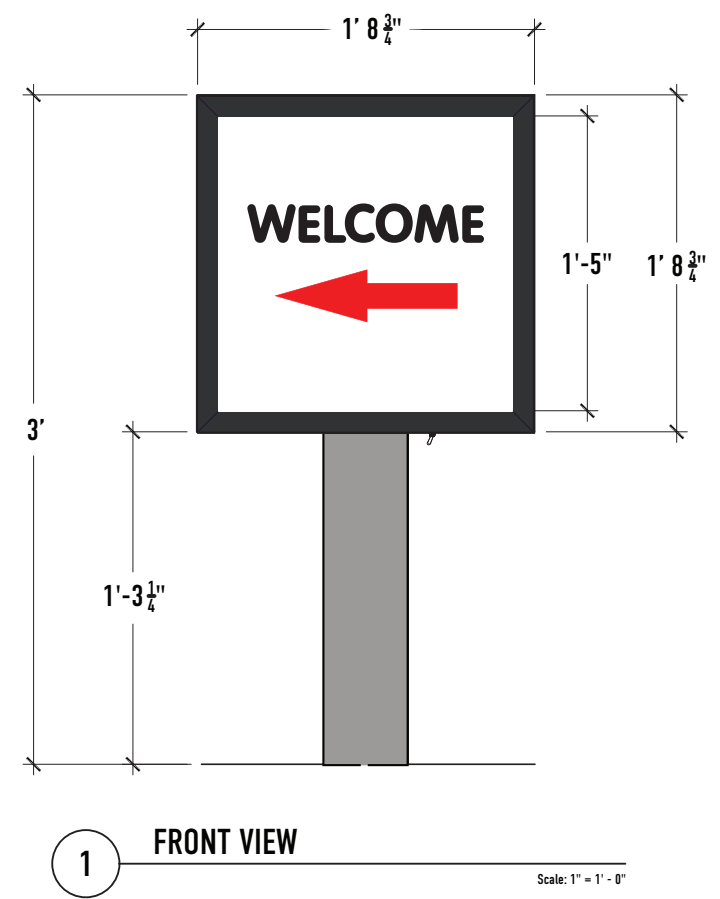
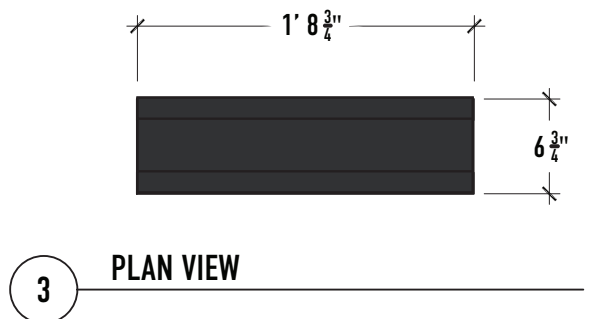
Original Drawing Date
01.06.21

Issued Revisions	
△	05.11.21
△	05.18.21
△	06.29.21
△	
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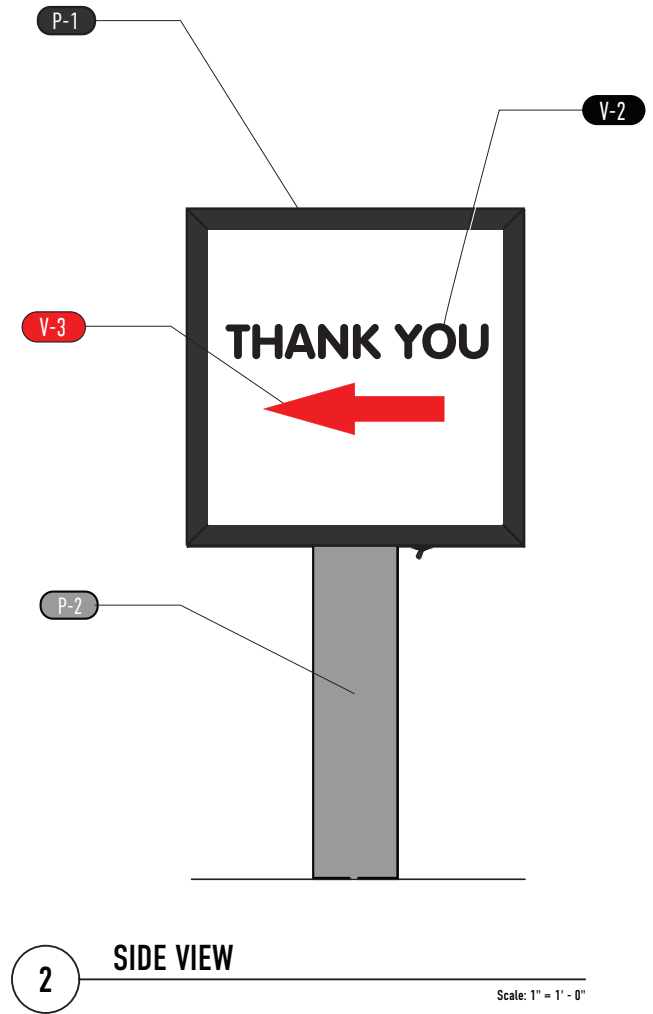
Drawing Title

**Directional Sign
Dimensions**

010



3 Sq.Ft.





INTEGRATED SIGN & GRAPHIC, INC.
 5801 Kingpost Court
 Lexington, KY 40509
 Toll Free 800.755.7956
 Office 859.263.2800
 Online integratedsign.com

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Property Owner
No Leash Needed

Name of Project
No Leash Needed
Kirkwood, MO

Project Address
 902 S. Kirkwood Rd
 Kirkwood, MO 63122

ISG Project Number
000000

Drawn By B Becraft	Approved By
------------------------------	-------------

Original Drawing Date
01.06.21

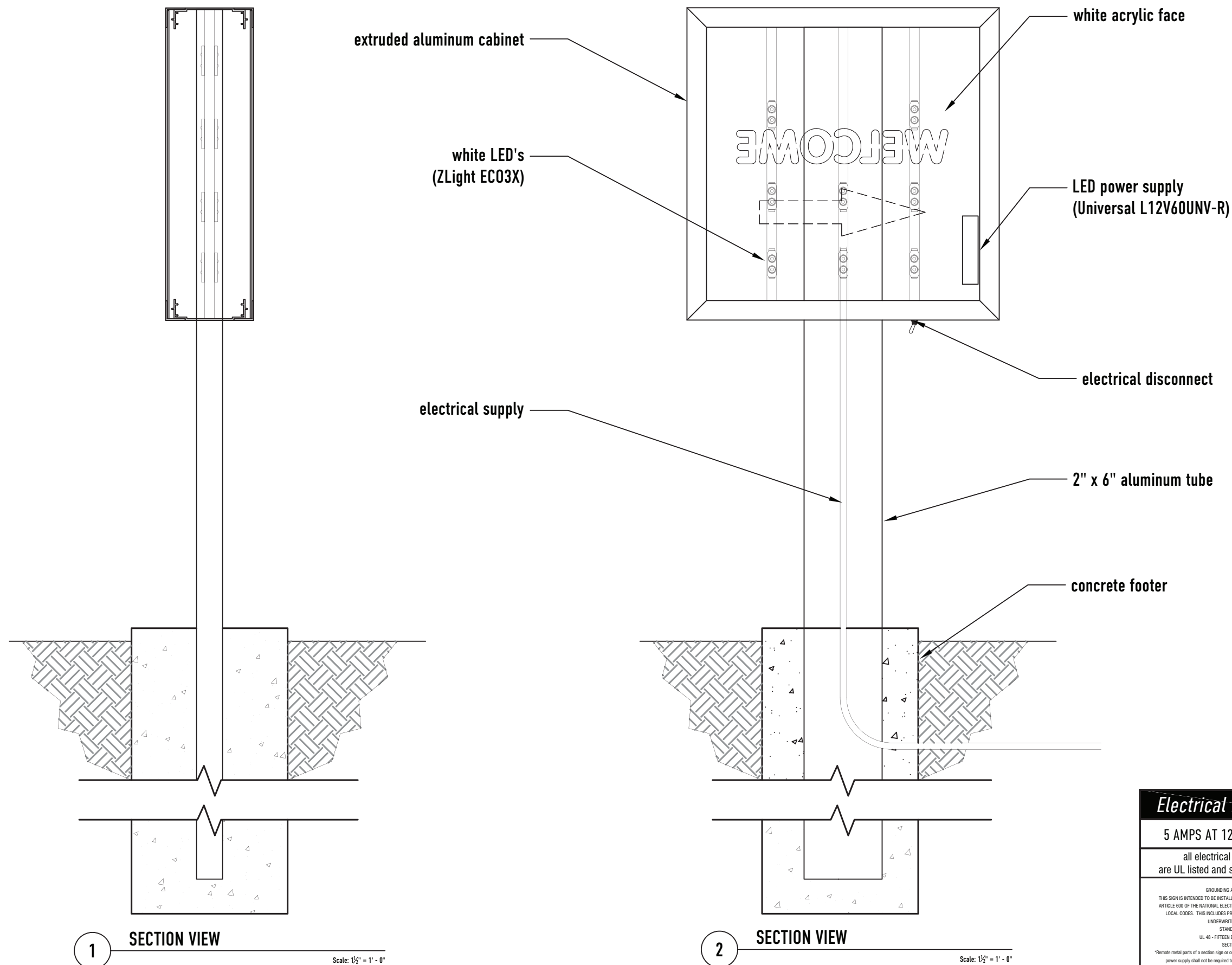
Issued Revisions

- △ 05.11.21
- △ 05.18.21
- △ 06.29.21
- △
- △
- △
- △

Drawing Title

Directional Sign
Section Details

011



Electrical Requirements

5 AMPS AT 120/277v REQUIRED

all electrical components used are UL listed and suitable for wet locations

GROUNDING AND BONDING STATEMENT
 THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE, NFPA 70 AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
 UNDERWRITERS LABORATORIES, INC.
 STANDARDS FOR SAFETY
 UL 48 - FIFTEEN EDITION - SEPTEMBER 2, 2011
 SECTION 4.2.4.1.3 (g)
 Remote metal parts of a section sign or outline lighting system only supplied by a remote Class 2 power supply shall not be required to be bonded to an equipment bonding conductor.

M:\Drawing Library\Pet Suites 019118\02_Development\Kirkwood, MO\2020\CAD\PetSuites_KirkwoodMO_12-31-20.dwg



L12V60UNV-R



12 Volt 60 Watt Class 2 LED Driver

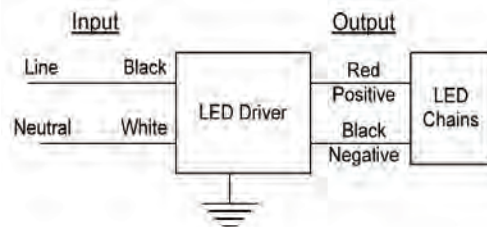
- Universal input voltage 120 – 277 Vac
- Damp and Dry Location Rated
- Class 2 Output

Performance

Input Voltage	120 ~ 277 Vac
Input Current Max	1.2A @ 120Vac 0.7 @ 277Vac
Input Power Max	72W
Input Frequency	50 - 60 (Hz)
Efficiency	> 85 % @ 120Vac > 87 % @ 277Vac
Output Voltage	12V
Output Current	5.0A
Output Power	60W
Line Regulation	±5 %
Load Regulation	±5 %
Output Voltage Ripple	< 1000mVp-p
Output Current Ripple	< 500mAp-p
Inrush Current	120V: 40A / 160uS
Peak / >50% Duration	277V: 105A / 160uS

* Refer to charts for additional information
 - Harmonic Emissions comply with ANSI C82.77
 - Inrush current complies with NEMA 410

Wiring Diagram:



Physical

Length	5.50 in (140 mm)
Width	1.70 in (43.2 mm)
Height	1.18 in (30.0 mm)
Mounting Length	5.24 in (133.0 mm)
Weight (lbs)	0.8
Lead Lengths	
Blk, Wht	12.5 in (317.5mm)
Red(+), Black(-)	12.5 in (317.5mm)

Environmental

EMI and RFI	Meets FCC part 15 (Class A) Non-Consumer Limits
Operating Temperature	-40°C to 55°C (-40°F to 131°F)
Storage Temperature	-40°C to 85°C (-40°F to 185°F)
tc	85°C max for warranty 90°C max for UL
Protection Rating	UL Dry & Damp
Transient Protection	IEEE C62.41 2.5kV

Protection
 Over Voltage, Under Voltage, Short Circuit, Over Temp
 Safety:

UL 8750
 UL Class P



Ordering Information

Order Number	Description	Qty/Carton
L12V60UNV-R000I	12V 5.0A	10



Application and operation performance specification information subject to change without notification.

www.unvlt.com
 June 27, 2018



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△ 05.18.21

△ 06.29.21

△

△

△

△

Drawing Title

Electrical Components



LED Module – ECO3X

Applications:

ZLight ECO3X white LED modules are designed for channel letters and sign cabinets with a 3 to 10 inch can depth. With revolutionary high power LEDs, you can achieve tremendously money-saving advantages over traditional neon and fluorescent tubes. The optimum lens covering LEDs create an impressively even light coverage of the letter and sign face.

Features

LEDs:

- Super Bright LEDs
- L70 Rating 50,000 hours

Power Input:

Input Voltage: 12 VDC

Optical Structure:

Designed for Maximum Brightness Output

System:

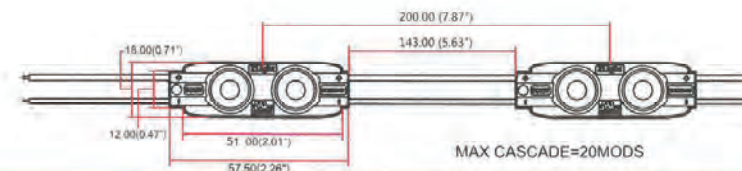
- 1.5 modules per foot
- 100 modules per bag, 10 bags per carton
- Peel-N-Stick and mechanical fastening, Waterproof, IP 66
- Voltage Drop Prevention (VDP) Technology
- UL and cUL Recognized/SAM Listed
- Warranty: 10 Years



Detail Specifications

Model	Voltage (VDC)	Power (W)	# of LEDs	Module / FT	Color	Brightness		View Angle	Qty per 60W P.S.
						lm/module	lm/ft		
Z-ECO3X-W	12	1.2	2	1.5	White (7,100K)	144	216	170°	50

Distance from Face	2" - 3"	3" - 4"	4" - 5"	5" - 6"	6" - 10"
Spacing Row to Row	5" (3 Mods/FT)	7" (2 Mods/FT)	8"	10"	12"



Zlight Technology LLC
 325 Funston St. Elmwood, LA 70123
 www.zlighttech.com

Phone: 504-322-4516
 Fax: 504-836-0008





ARCHITECTURAL REVIEW BOARD SIGN REVIEW APPLICATION

139 S. Kirkwood Rd., Kirkwood, MO 63122 | (314) 822-5823

ARB meetings are held on the 1st & 3rd Mondays (excluding holidays) every month. Applications, required plans, and supporting documents must be turned in on the deadline date by 2:00 pm. Incomplete submittals will not be accepted. Please see checklist for requirements.

PROJECT ADDRESS: 10463 MANCHESTER RD Zone: B-4 ✓

Is this Property a Local Historic or Landmark? Yes No

Is this a New Business? Yes No

Has an Occupancy Permit been applied for? Yes No

Property Owner Information:

Name MANCHESTER 10461D LLC

E-mail STEVE@NOLANTX.COM Phone _____

Is the Owner's written approval for the sign installation included? Yes No

Applicant Information: Contractor Property Owner Tenant Other

Name PIROS SIGNS, INC KWD LIC. NO. 22-255

Address 1818 OLD STATE ROAD N City/State/Zip BARNHART, MO 63012

E-mail JPHILLIPS@PIROSSIGNS.COM Phone 636-464-0200

Sign Installer Information:

Business Name PIROS SIGNS, INC KWD LIC. NO. 22-255

E-mail JPHILLIPS@PIROSSIGNS.COM Phone 636-464-0200

Fees are for ARB review only; a separate fee is required upon issuance of the Sign Permit.

\$100 Filing Fee \$240 Sign Review Fee to consider variance from Sign Code due to hardship.

- I have read the Architectural Review and sign regulations of the City of Kirkwood.
- I hereby certify that the Owner(s) of Record authorizes the proposed work and I have been authorized by the Owner(s) to make this application as their agent.
- I hereby certify that the project is located on property I have the legal right to construct the proposed project at.
- I hereby certify that all the information provided is true and accurate to the best of my knowledge and belief and agree to fully comply with the Ordinances of the City of Kirkwood.
- I understand that the applicant or their representative shall attend all meetings.

Applicant's Signature: [Signature]

Applicant's Printed Name: JOE PHILLIPS **Date:** 06-21-2021

City Use Only	Date Stamp	Zoning Approval:
Case #: <u>20-215</u>		<u>[Signature]</u>
Permit #: <u>22-1259</u>		
ARB Agenda Date: <u>07/06/2021</u>		
Received By: <u>[Signature]</u>		

Sign Review Information Worksheet

Please complete **entirely**. Incomplete submissions will be returned for completion.

Type of Sign: Awning Ground Marquee Projecting Wall Window

Exempt Signs (reviewed): Subdivision or Apartment Complex Commercial Sign in residential area

Type of Variance Requested: N/A

Gross Allowable Sign Area for Single Tenant Site: Whichever percentage is larger, not to exceed 500 square feet. Lots 10 acres or greater shall be allowed maximum sum area of 1,500 square feet.

3.5% x Floor Area: _____ Sq.Ft. .9% x Total Lot Area: _____ Sq.Ft.

→ **Gross Allowable Sign Area for Single Tenant in Multi-Tenant Site:** Maximum gross allowable for this type of sign is 500 square feet. Multiple tenant buildings and/or premises may have only one ground sign.

3.5% x Occupied Floor Area: 2960sf 103.6 Sq.Ft.

Total Existing Gross Sign Area: ∅ Sign Wall / Window Dimensions: 22.33' x 37.00'

Building Floor Area: _____ Tenant Floor Area: 2960sf

Lot Area: 73221 ±

Proposed Sign(s):

Location	Size Length x Width	Total Square Feet
<input checked="" type="checkbox"/> Front	<u>54" x 115"</u>	<u>43.13 ±</u>
<input checked="" type="checkbox"/> Rear	<u>54" x 115"</u>	<u>43.13 ±</u>
<input type="checkbox"/> Side	_____ x _____	_____
<input type="checkbox"/> Other: _____	_____ x _____	_____
<input type="checkbox"/> Other: _____	_____ x _____	_____
TOTAL SIZE:		<u>86.26 ± ✓</u>

Existing Sign(s) to remain: N/A

Location	Size Length x Width	Total Square Feet
<input type="checkbox"/> Front	_____ x _____	_____
<input type="checkbox"/> Rear	_____ x _____	_____
<input type="checkbox"/> Side	_____ x _____	_____
<input type="checkbox"/> Other: _____	_____ x _____	_____
<input type="checkbox"/> Other: _____	_____ x _____	_____
TOTAL EXISTING SIZE:		_____



1818 HWY. M
BARNHART, MO 63012
PH: 636-464-0200
FAX: 636-464-9990
WWW.PIROSSIGNS.COM
GRAPHICS@PIROSSIGNS.COM

CUSTOMER
Chicken Out

JOB LOCATION
Kirkwood, MO

CONTACT

SALES PERSON
David Brand, Jr.

DATE
5-25-21

DRAWN BY
Eric Irvin

SAVED AS
211145 Chicken Out Kirkwood
Wall Signs

RENDERING #
211145-03

REVISION(S)
-02: Removed tagline
-03: Removed east elevation
signage
-04:
-05:
-06:
-07:
-08:
-09:
-10:

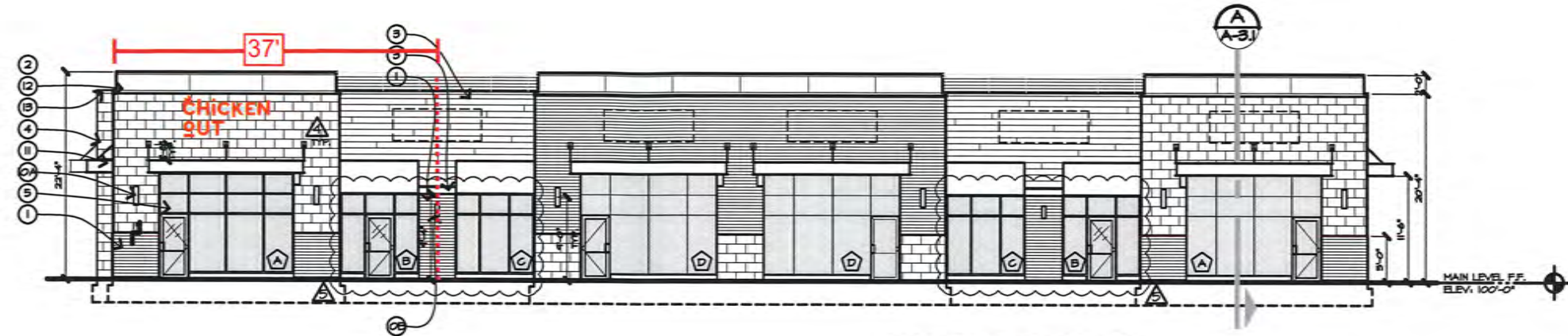
- APPROVED AS IS
- APPROVED AS NOTED
- REVISE & RESUBMIT

INITIALS _____
THIS PRINT IS APPROVED AS IS. NO OTHER SHALL BE REQUIRED UNTIL PIROSSIGNS RECEIVES A SIGNED COPY. ANY CHANGES WILL RESULT IN A CHARGE IN THE PRICE QUOTED.

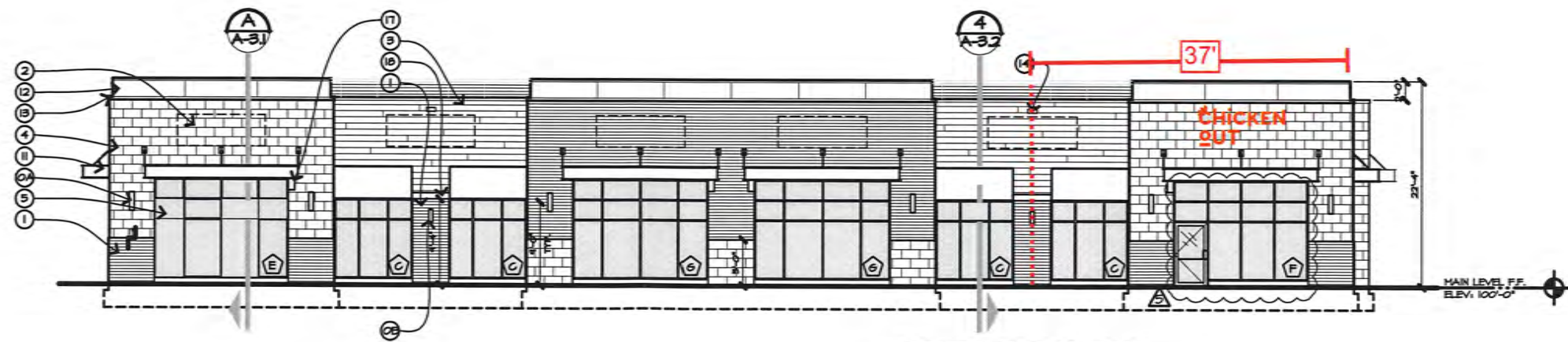
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PIROSSIGNS FILE NUMBER: E41524
ELECTRIC SIGN

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



NORTH ELEVATION



SOUTH ELEVATION

SCALE: 1/16" = 1'



1818 HWY. M
BARNHART, MO 63012
PH: 636-464-0200
FAX: 636-464-9990
WWW.PIROSSIGNS.COM
GRAPHICS@PIROSSIGNS.COM

CUSTOMER
Chicken Out

JOB LOCATION
Kirkwood, MO

CONTACT

SALES PERSON
David Brand, Jr.

DATE
5-25-21

DRAWN BY
Eric Irvin

SAVED AS
211145 Chicken Out Kirkwood Wall Signs

RENDERING #
211145-03

REVISION(S)
-02: Removed tagline
-03: Removed east elevation signage
-04:
-05:
-06:
-07:
-08:
-09:
-10:

APPROVED AS IS
 APPROVED AS NOTED
 REVISE & RESUBMIT

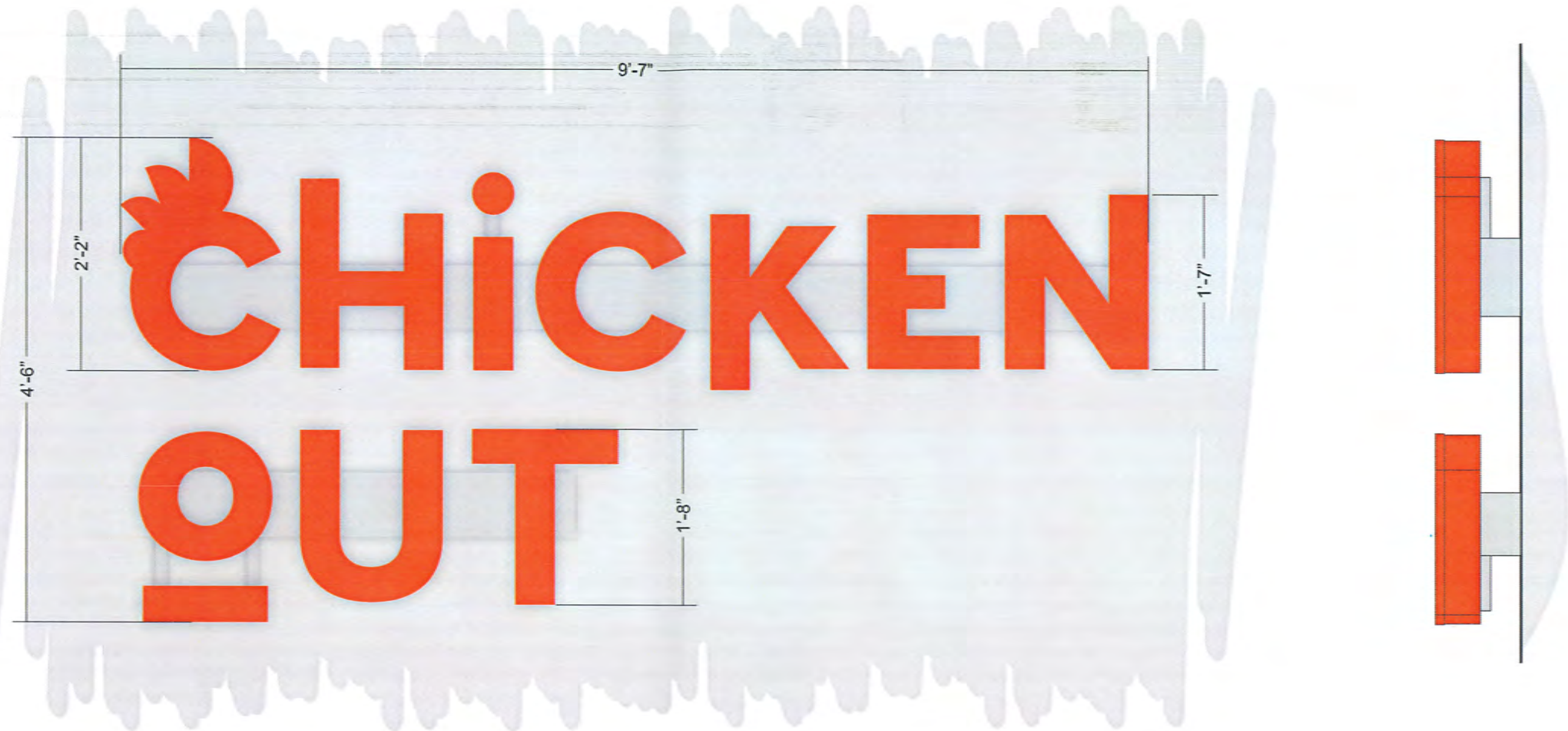
INITIALS _____

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PIROSSIGNS FILE NUMBER: E45074

ELECTRIC SIGN

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.




A.2 - Wall Sign

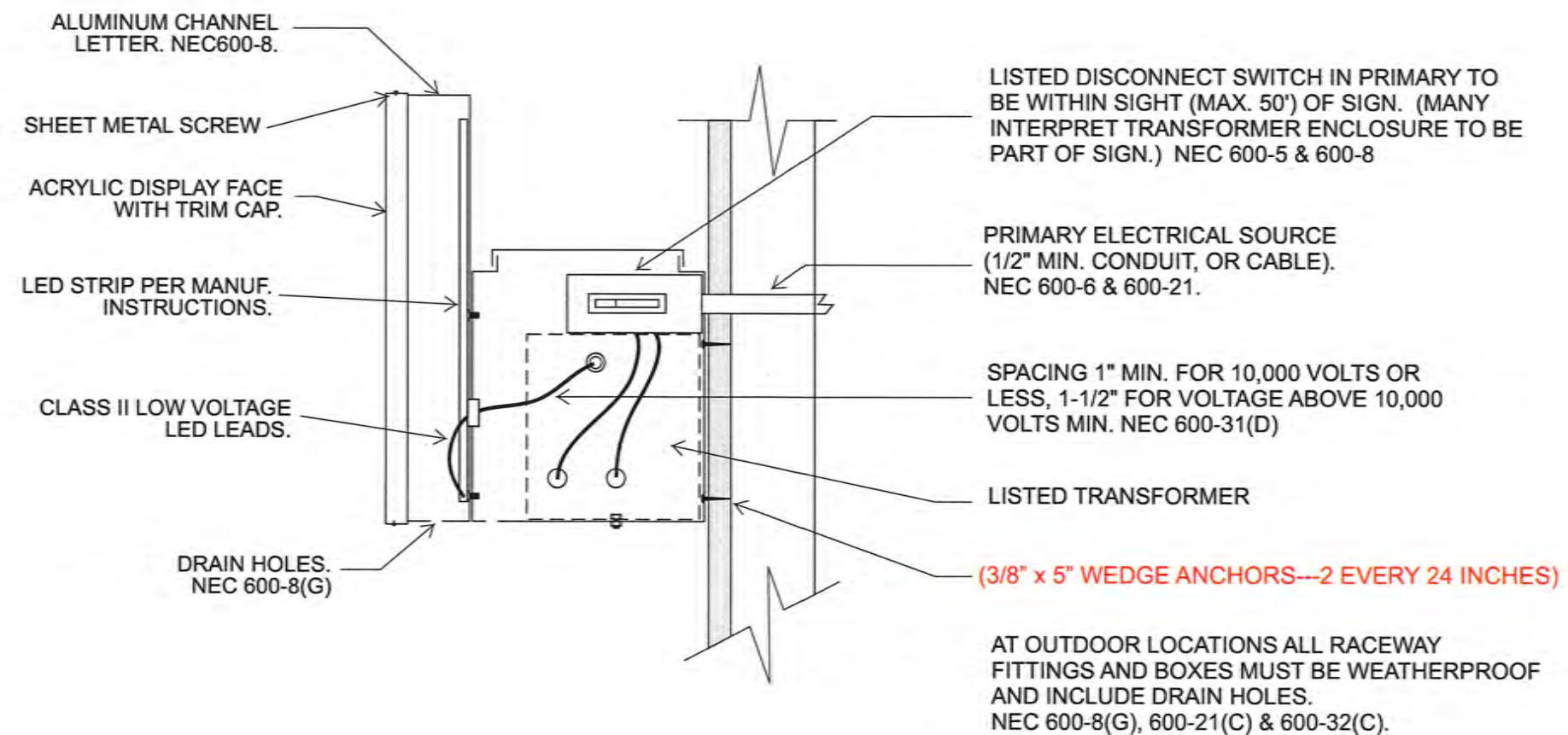
SCALE: 3/4" = 1'

PRODUCE & INSTALL 3 WALL SIGNS.

- LED ILLUMINATED CHANNEL LETTERS
- ACRYLIC FACES W/ VINYL
- 1" TRIM CAP
- 5" DEPTH - COLOR TBD
- RACEWAY MOUNTED - COLOR TBD
- 43.125 SQ. FT. PER TOTAL 86.25 OF 87.5 PERMITTED SQ. FT. TOTAL DIVIDED BETWEEN 2 ELEVATIONS

 PMS WARM RED

Raceway Install Guide L.E.D.



THE HOWARD COMPANY, founded in 1950, is an employee-owned point-of-purchase display manufacturer located in Brookfield, Wisconsin. We specialize in menu boards and food service products, as well as permanent and semi-permanent retail merchandising displays.

DRIVE-THRU FLEX
**DRIVE-THRU
 DIGITAL
 SOLUTIONS**

**INTERCHANGEABLE
 PANEL COMBINATIONS!**

3 Digital
 2 Digital & 1 Static
 1 Digital & 2 Static



OVERVIEW

- The flexible design allows any combination of digital and static menu boards in the same housing, and placed how you prefer. You may want two digital menu boards and one static. Place the static flanked by the digital, or the digital screens next to each other with the static to one side.
- Revolutionary modularity allows you to upgrade as your business grows, even after installation with minimal interruption to drive-thru operations. You can start with a single door with the option to upgrade to the 3-door unit by swapping out the frame on site (keeping the base, the backing and hardware). If you have a 3-door static unit, you can upgrade to a digital with the flexibility to add one, two or three digital screens in the future. Upgrades can be done on site with only slight modifications to the housing backing.
- The dynamic heating and cooling system guarantees internal components are kept safely warm in severe cold and properly cooled in extreme heat.
- Screens are weatherproof, have a thin profile, and operate independently of each other for easy installation and maintenance.
- Ambient light sensors assure the information displayed is visible regardless of the time of day or weather.
- Ultra-thin 1/4" bezel and full 1080p HD screen offers clear viewing of menu content to edge of screen.
- Our Content Manager is a web-based interface that enables users to create, organize, manage and publish content to networks of displays. The solution supports all popular media formats, and provides real-time feedback and reporting.

FEATURES

- Easy two-person installation process
- Withstands pressure washing from any angle.
- Eliminates air conditioning to cool the systems.
- Practical modular design for quick repairs or maintenance.
- Wind load rated up to 180 mph.
- Light boxes and digital screens can be on separate power supplies

OPTIONS

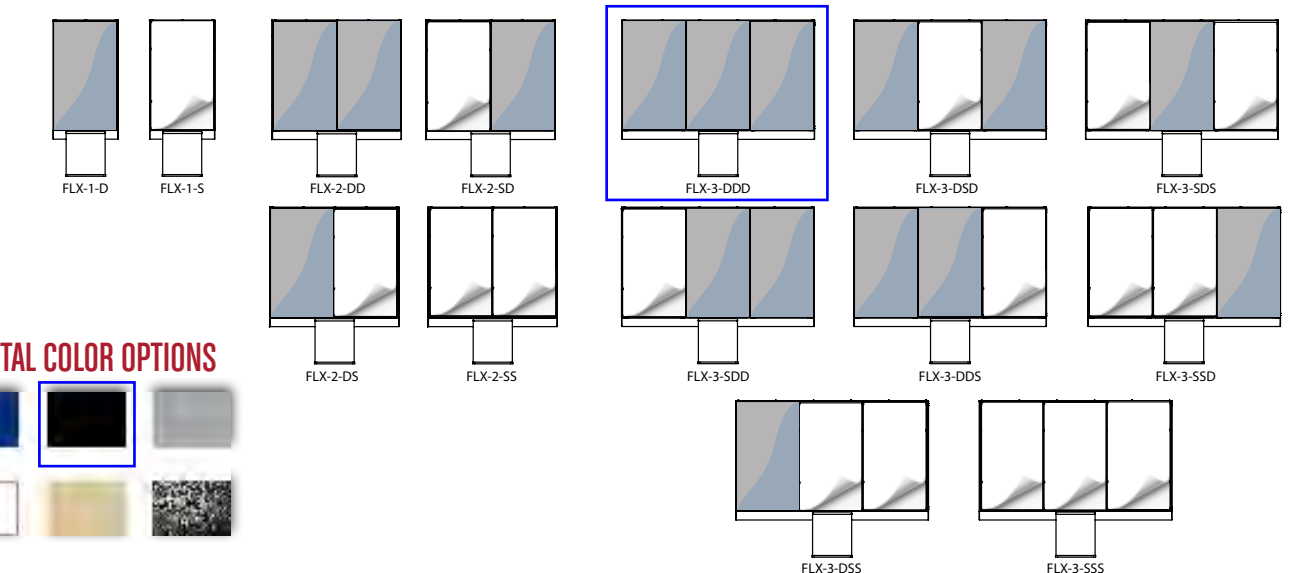
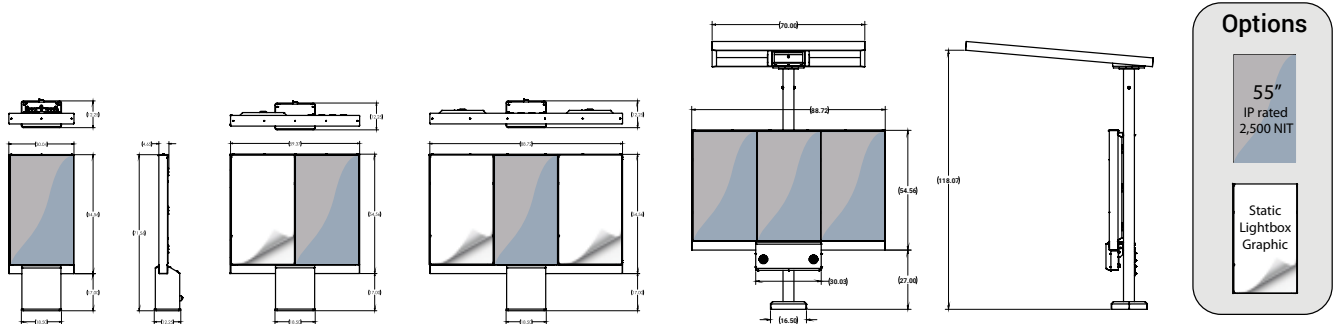
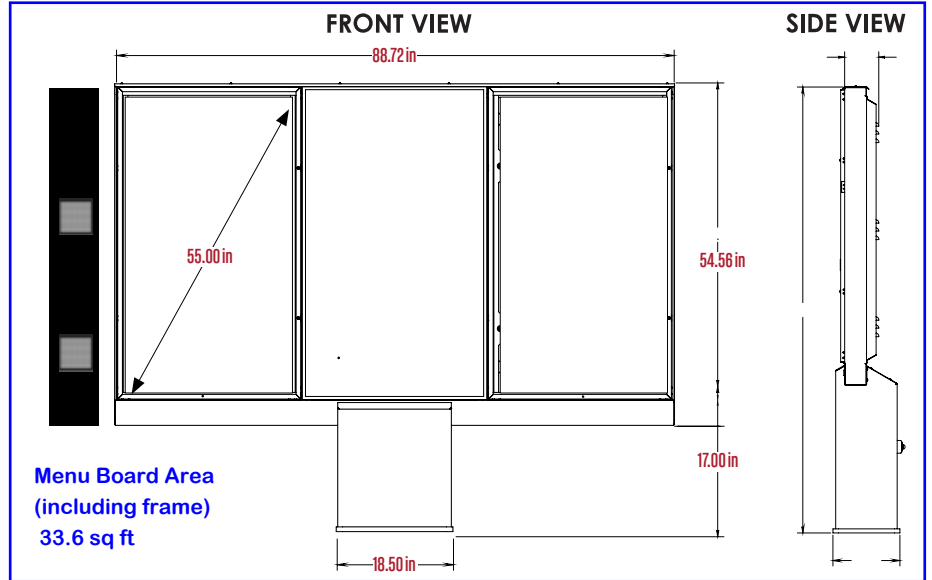
- 3 Digital Screens.
- 2 Digital Screens & 1 Static Graphic.
- 1 Digital Screen & 2 Static Graphics.

CONFIGURATIONS

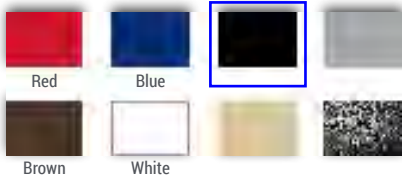
- 1, 2 or 3 55" Optically bonded displays.
- Optional Speaker/Mic Wing Cabinet.

SPECIFICATIONS

- Ambient light sensors.
- Aluminum and steel construction.
- Dynamic heating and cooling system keeps internal components safely warmed in extreme cold and properly cooled in extreme heat.
- Modular Design.



STANDARD METAL COLOR OPTIONS



South Elevation



East Elevation





Architectural Review Board Application Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 445 N. Taylor Ave Zoned R3

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work Addition

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name Mike Lewis Phone 314-226-3194

Address 204 Pecko Ave

City, State, Zip Kirkwood, MD 63122

E-mail (Agenda will be e-mailed to applicant) lewishomest1@gmail.com

PROPERTY OWNER

Name Dan + Angie McAloon Phone 314-608-4977

Address 445 N. Taylor Ave

City, State, Zip Kirkwood, MD 63122

ARCHITECT INFORMATION

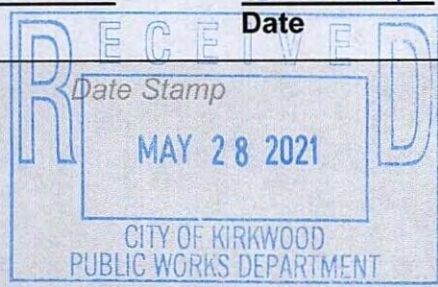
Name Ann Begemann Phone 314-614-0686

Address 3207 Charleston Blvd

City, State, Zip Rockingham, VA 22801

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Applicant's Signature [Signature] Date 5-28-21



City Use Only

Received by [Signature]

Agenda Date 06/21/21

Case # 84-21R

Permit # 22-881

Zoning Comments _____

Building Comments _____



Architectural Review Board Application Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: _____

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Federal

Number of Stories: 2 Building Height: _____ Number of Roof Lines: _____

Roof Type: 30 Year Architectural Primary Roof Pitch: 10:12

Secondary Roof Pitch: 12:12 Tertiary Roof Pitch: 8:12

2) Building Materials

Primary Exterior Wall Material: Wood Shingle Shake

Secondary Exterior Wall Material: _____

Tertiary Wall Material: _____

Primary Roof Material: 30 Year Architectural

Secondary Roof Material: _____

3) Exterior Windows and Doors

Type of Door: Stained wood door

Type of Window: Aluminum Clad Pane Arrangement: _____

4) Detailing

Foundation Wall Covering: _____

Location of Utility Equipment: _____

Screening of Utility Equipment: _____

Section C: Site Context Photos

Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

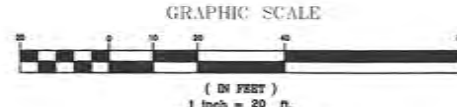
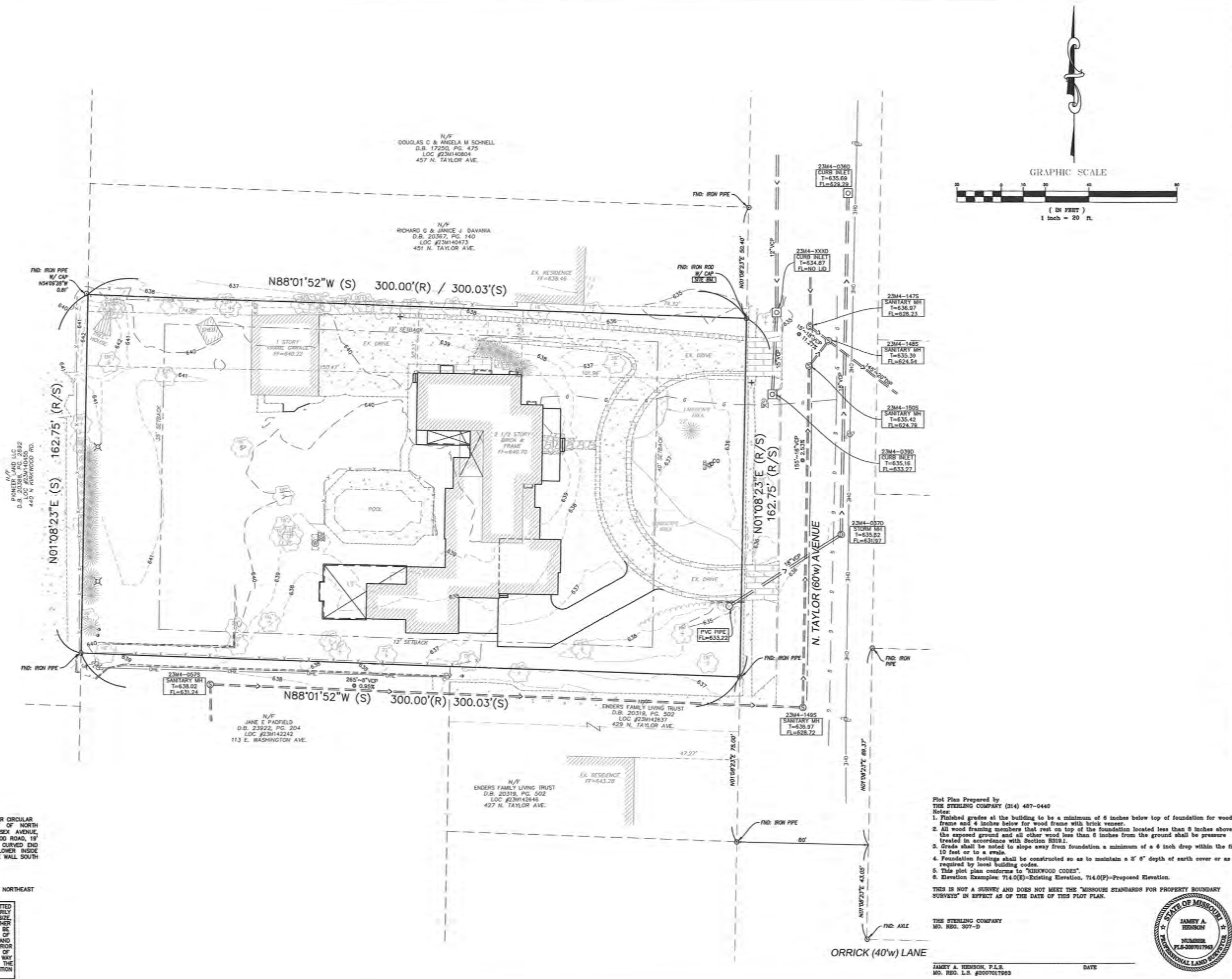


Drawing name: V:\201416 445 N. Taylor Ave\Drawings\Surveying\Plot Plan\20-11-416 Site Plan.dwg Plotted on: Feb 06, 2021 - 11:02am Plotted by: mgblin

BENCHMARK:
ST. LOUIS COUNTY BENCHMARK
BENCH MARK: 18-4071, ELEVATION 858.82 (NAVD 88)
OUT SQUARE ON SOUTHEAST QUADRANT OF 30" DIAMETER CIRCULAR CONCRETE BASE FOR TRAFFIC SIGNAL SOUTHEAST OF NORTH KIRKWOOD ROAD (A.K.A. LINDSEIGH BLVD) AND ESSEX AVENUE, ROUGHLY 5.3' EAST OF BACK OF WALK ALONG KIRKWOOD ROAD, 19' SOUTH OF CENTERLINE ESSEX AVENUE, 11' NORTH OF CURVED END STONE RETAINING WALL AND NORTHWEST OF THE LOWER INSIDE CORNER OF A SMALL TREATED LANDSCAPE TIMBER KNEE WALL SOUTH AND EAST OF THE TRAFFIC SIGNAL BASE.

SITE BENCHMARK:
IRON ROD WITH CAP, ELEVATION 834.96' (NAVD 88)
IRON ROD WITH CAP MARKED 'LS2842' LOCATED AT THE NORTHEAST CORNER OF SUBJECT TRACT AS SHOWN HEREON.

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.



- Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440
- Notes:
1. Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
 2. All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section 2319.1.
 3. Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
 4. Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
 5. This plot plan conforms to "KIRKWOOD CODES".
 6. Elevation Examples: 714.0(E)-Existing Elevation, 714.0(P)-Proposed Elevation.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

THE STERLING COMPANY
MO. REG. 307-D

JAMES A. HENSON, P.L.S.
MO. REG. L.S. #007617963



ISSUE	REMARKS/DATE
1	ORIGINAL ISSUE
2	

PREPARED FOR:
LEWIS HOMES LLC
204 PEEKE AVE.
KIRKWOOD, MO 63122
314-226-3194

PREPARED BY:
THE STERLING CO.
ENGINEERS & SURVEYORS
8095 NEW BAUMGARTNER ROAD
ST. LOUIS, MISSOURI 63129
(314)-487-0440 FAX 487-8944
E-Mail: Sterling@sterling-eng-survey.com
COMP. CERT. OF AUTHORITY: #001344

DRAWN:	M.T.G.	DESIGNED:	CHECKED:	J.A.H.
PROJECT: 445 N. TAYLOR AVE. SITE PLAN				
NO.	20	11	416	
M.S.D.	SHEET		2	
OF	SHEET		3	

GENERAL SPECIFICATIONS:

ROOF:

1. ROOF SHALL BE MADE OF 2X6S AND 2X8S ROOFING TRUSSES WITH 1/2" OSB SHEATHING TO ALL ROOF SLOPES. ROOF TRUSSES SHALL BE SPACED AT 24" ON CENTER WITH 1/2" OSB SHEATHING TO ALL ROOF SLOPES.
2. IF PROJECT IS LOCATED IN THE CITY OF ST. LOUIS, CONTACT ALL DEVELOPERS TO DETERMINE LOCAL CODES.

CONCRETE:

1. FOUNDATIONS ARE TO BE CONCRETE ON 4" MINIMUM COMPRESSIVE STRENGTH OF CONCRETE. ALL CONCRETE SHALL BE 4000 PSI AND 4" MINIMUM COMPRESSIVE STRENGTH. ALL CONCRETE SHALL BE 4000 PSI AND 4" MINIMUM COMPRESSIVE STRENGTH.
2. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE 4000 PSI. ALL CONCRETE SHALL BE 4000 PSI AND 4" MINIMUM COMPRESSIVE STRENGTH. ALL CONCRETE SHALL BE 4000 PSI AND 4" MINIMUM COMPRESSIVE STRENGTH.

WALLS:

1. REINFORCING STEEL: FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 18" ON CENTER. ALL REINFORCING STEEL SHALL BE #4 BARS AT 18" ON CENTER.
2. EXTERIOR WALLS: EXTERIOR WALLS SHALL BE 8" THICK CMU WITH 1/2" OSB SHEATHING TO ALL EXTERIOR WALLS. ALL EXTERIOR WALLS SHALL BE 8" THICK CMU WITH 1/2" OSB SHEATHING TO ALL EXTERIOR WALLS.

FLOORING:

1. EXTERIOR FLOORING: EXTERIOR FLOORING SHALL BE 2" THICK POLYPROPYLENE COMPOSITE DECKING. ALL EXTERIOR FLOORING SHALL BE 2" THICK POLYPROPYLENE COMPOSITE DECKING.
2. INTERIOR FLOORING: INTERIOR FLOORING SHALL BE 3/4" THICK OSB SHEATHING TO ALL INTERIOR FLOORING. ALL INTERIOR FLOORING SHALL BE 3/4" THICK OSB SHEATHING TO ALL INTERIOR FLOORING.

CEILING:

1. ALL INTERIOR CEILING SHALL BE 5/8" THICK Gypsum Board. ALL INTERIOR CEILING SHALL BE 5/8" THICK Gypsum Board.
2. ALL EXTERIOR CEILING SHALL BE 5/8" THICK Gypsum Board. ALL EXTERIOR CEILING SHALL BE 5/8" THICK Gypsum Board.

PAINTS AND FINISHES:

1. ALL INTERIOR WALLS SHALL BE PAINTED WITH 100% ACRYLIC EMULSION LATEX PAINT. ALL INTERIOR WALLS SHALL BE PAINTED WITH 100% ACRYLIC EMULSION LATEX PAINT.
2. ALL EXTERIOR WALLS SHALL BE PAINTED WITH 100% ACRYLIC EMULSION LATEX PAINT. ALL EXTERIOR WALLS SHALL BE PAINTED WITH 100% ACRYLIC EMULSION LATEX PAINT.

DOORS AND WINDOWS:

1. ALL DOORS SHALL BE 1 3/4" THICK SOLID CORE DOORS. ALL DOORS SHALL BE 1 3/4" THICK SOLID CORE DOORS.
2. ALL WINDOWS SHALL BE 1/2" THICK GLASS WITH 1 1/2" THICK WOOD FRAMES. ALL WINDOWS SHALL BE 1/2" THICK GLASS WITH 1 1/2" THICK WOOD FRAMES.

MECHANICAL:

1. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.

ELECTRICAL:

1. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.

PLUMBING:

1. ALL PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.

FINISHES:

1. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.

GENERAL NOTES:

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES.

VENTILATION:

1. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL BATHS AND KITCHENS. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL BATHS AND KITCHENS.
2. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL BATHS AND KITCHENS. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL BATHS AND KITCHENS.

ROOFING:

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WALLS:

1. WALLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. WALLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. WALLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. WALLS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.

FLOORING:

1. FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
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CEILING:

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ELECTRICAL:

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PLUMBING:

1. PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. PLUMBING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
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FINISHES:

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GENERAL NOTES:

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2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES.

GENERAL CONDITIONS:

1. ALL CONTRACTORS SHALL OBEY ALL REGULATIONS AND ORDINANCES OF THE CITY OF ST. LOUIS. ALL CONTRACTORS SHALL OBEY ALL REGULATIONS AND ORDINANCES OF THE CITY OF ST. LOUIS.
2. ALL CONTRACTORS SHALL OBEY ALL REGULATIONS AND ORDINANCES OF THE CITY OF ST. LOUIS. ALL CONTRACTORS SHALL OBEY ALL REGULATIONS AND ORDINANCES OF THE CITY OF ST. LOUIS.

APPLICABLE CODES:

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL ENERGY EFFICIENCY CODE

DESIGN:

- FLOOR LOADS: 40 PSF UNIFORM LOAD
- ROOF LOADS: 20 PSF UNIFORM LOAD
- WIND LOADS: AS PER LOCAL CODES

FINISHES:

- ALL INTERIOR WALLS: 100% ACRYLIC EMULSION LATEX PAINT
- ALL EXTERIOR WALLS: 100% ACRYLIC EMULSION LATEX PAINT

GENERAL NOTES:

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES.

RESIDENTIAL ADDITION TO THE MCALONE RESIDENCE 445 NORTH TAYLOR AVENUE KIRKWOOD, MO 63122

PROJECT DATA:

PROJECT NAME: RESIDENTIAL ADDITION TO THE MCALONE RESIDENCE
OWNER: LEWIS HOMES
ARCHITECT: ANN BEGEMANN ARCHITECT



EXISTING FRONT ELEVATION



EXISTING LEFT ELEVATION



EXISTING REAR ELEVATION



EXISTING RIGHT ELEVATION

EXISTING PHOTO NOT TO SCALE



Proposed Front Elevation 445 Taylor Avenue

Ann Begemann, ARCHITECT
 begemann_ann@sbglobal.net
 (314) 614-0686

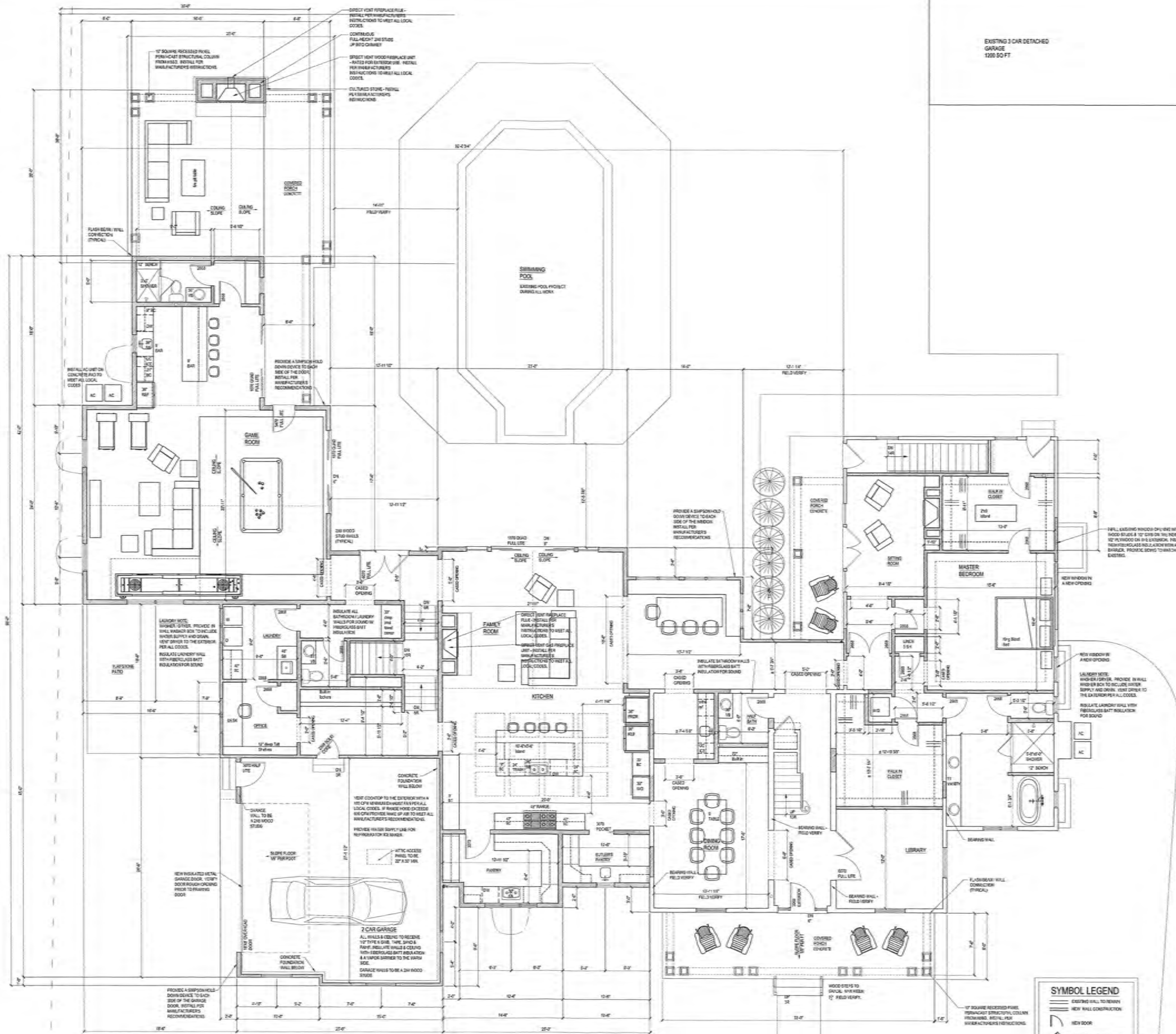
NEW ADDITION TO BE CONSTRUCTED at the McAlone Residence 445 North Taylor Avenue Kirkwood, MO 63122

LEWIS HOMES 335 Leffingwell Avenue Suite 100 Kirkwood, MO 63122

REV	DATE	ISSUE
1	8/21	ISSUE SET

SHEET NUMBER

A0



1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 1ST FLOOR TO CEILING
 2865 SQ FT ADDITION

SYMBOL LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	NEW DOOR
	EXISTING DOOR TO REMAIN

Ann Begemann, ARCHITECT
 begemann_ann@sbglobal.net
 (314) 614-0686

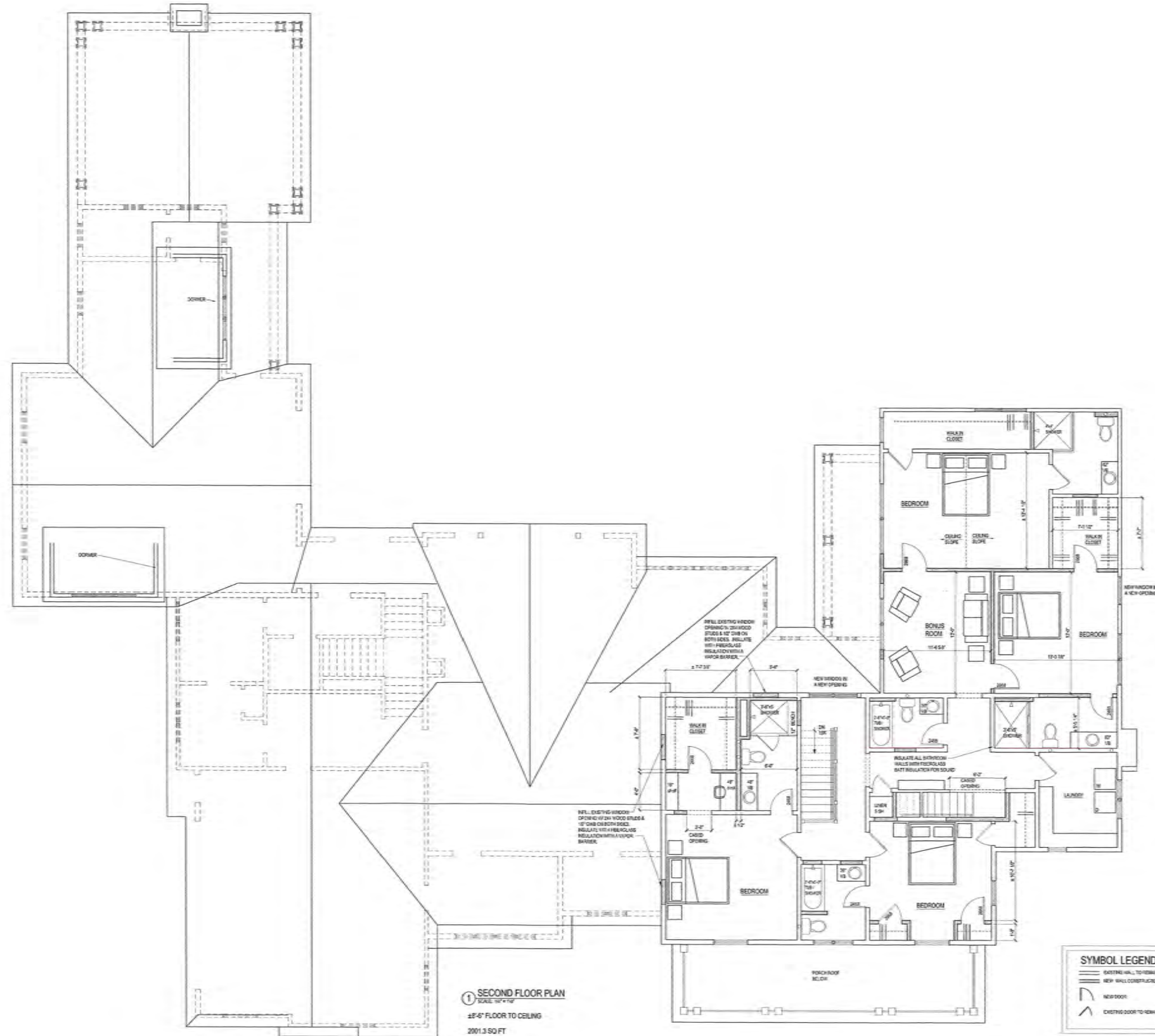
NEW ADDITION TO BE CONSTRUCTED
 at the McAloon Residence
 445 North Taylor Avenue
 Kirkwood, MO 63122

LEWIS HOMES
 335 Leffingwell Avenue
 Suite 100
 Kirkwood, MO 63122

REV	DATE	ISSUE
1	11.21.17	ISSUED

SHEET NUMBER
A3

937 2487
 345
 25x



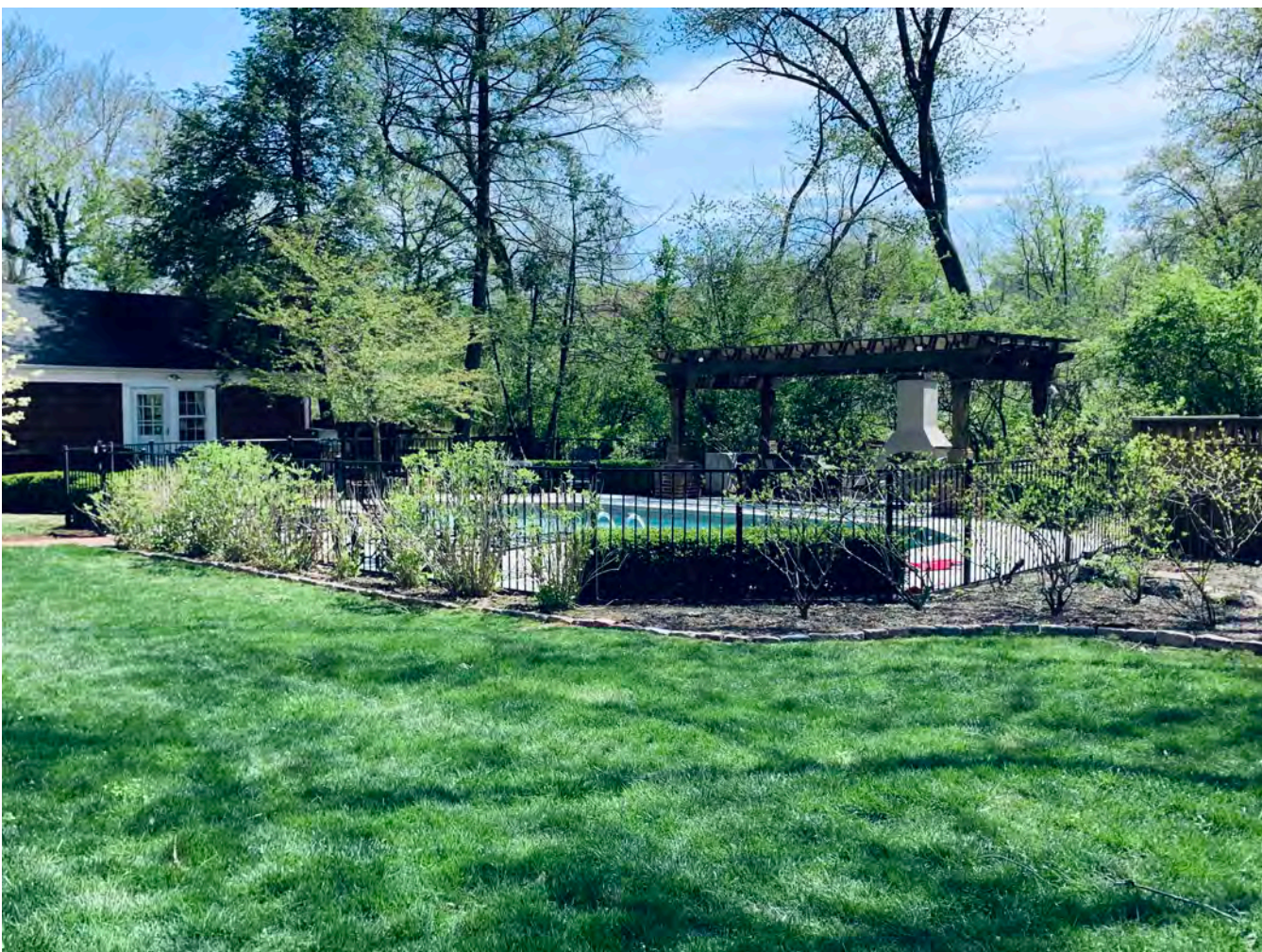
Ann Begemann, ARCHITECT
 begemann_ann@sbcglobal.net
 (314) 614-0686

NEW ADDITION to be CONSTRUCTED
 at the McAlone Residence
 445 North Taylor Avenue
 Kirkwood, MO 63122

LEWIS HOMES
 335 Leffingwell Avenue
 Suite 100
 Kirkwood, MO 63122

REV	DATE	BY	REVISION

SHEET NUMBER
A4





**ARCHITECTURAL REVIEW BOARD
DESIGN SUBMISSION APPLICATION**

139 S. Kirkwood Rd. Kirkwood, MO 63122
(314) 822-5816 Fax (314) 822-5898



Meetings are held on the **1st and 3rd Mondays** (excluding holidays) every month.

Submittals must be turned in by **2:00 p.m.** on the deadline date.

See checklist for required submittal documents to accompany this application

#22-903

Property Address 549 N Van Buren Case # 85-21 R Zoned R-4

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Scope of work - 2 Story Addition Permit # _____

Construction Type/Fee:

New House - \$150.00

Addition - \$100.00

Accessory Structure/All others - \$100.00

APPLICANT

Name Naismith-Allen, Inc./Nathan Rauh Phone 314-556-0986

Address 130 A E. Lockwood

City, State, Zip Webster Groves, MO 63119

E-mail (Agenda will be e-mailed to applicant) nathan.rauh@naismith-allen.com

PROPERTY OWNER

Name Stephen Rastberger Phone 314-680-2933

Address 549 N Van Buren

City, State, Zip Kirkwood, MO 63122

ARCHITECT INFORMATION

Name Naismith-Allen, Inc./Nathan Rauh Phone 314-556-0986

Address 130 A E. Lockwood

City, State, Zip Webster Groves, MO 63119

I have read the Architectural Review and Building regulations of the City of Kirkwood. I hereby certify that the project is located on property for which I have the legal right to construct. I hereby affirm the above statements are true and correct and agree to fully comply with the ordinances of Kirkwood. I hereby certify that the owner(s) of record authorizes the proposed work and I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

[Signature]
Applicant's Signature

Stephen Rastberger
Applicant's Printed Name

5/28/21
Date

City Use Only

Received by [Signature]

Agenda Date 06/21/2021

Zoning Comments _____

Building Comments _____

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- New Construction Addition
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: New rear 2 Story Addition

Section B: Neighborhood Context (New Construction & Additions)

Material Palette: Any material present on 20% or more of the front facades of existing houses within your Neighborhood Context is considered a Predominant Material (there may be more than one). If a single material is dominant on more than 70% of the houses within the site context that material is considered to be the Single Dominant Material.

Single Dominant Material: Stucco - matching existing

Predominant Material: Stucco - matching existing

Section C: Site Context

1.) Building Form and Articulation

Architectural Style: Craftsman

Number of Stories: 2 Building Height: 20' +/- Number of Roof Lines: 2

Roof Type: Gable Primary Roof Pitch: 4/12

Secondary Roof Pitch: 4/12 Tertiary Roof Pitch: _____

2.) Building Materials

Primary Exterior Wall Material: Stucco

Secondary Exterior Wall Material: _____

Tertiary Wall Material: _____

Primary Roof Material: Asphalt Shingles

Secondary Roof Material: _____

3.) Exterior Windows and Doors

Type of Door: 6 panel

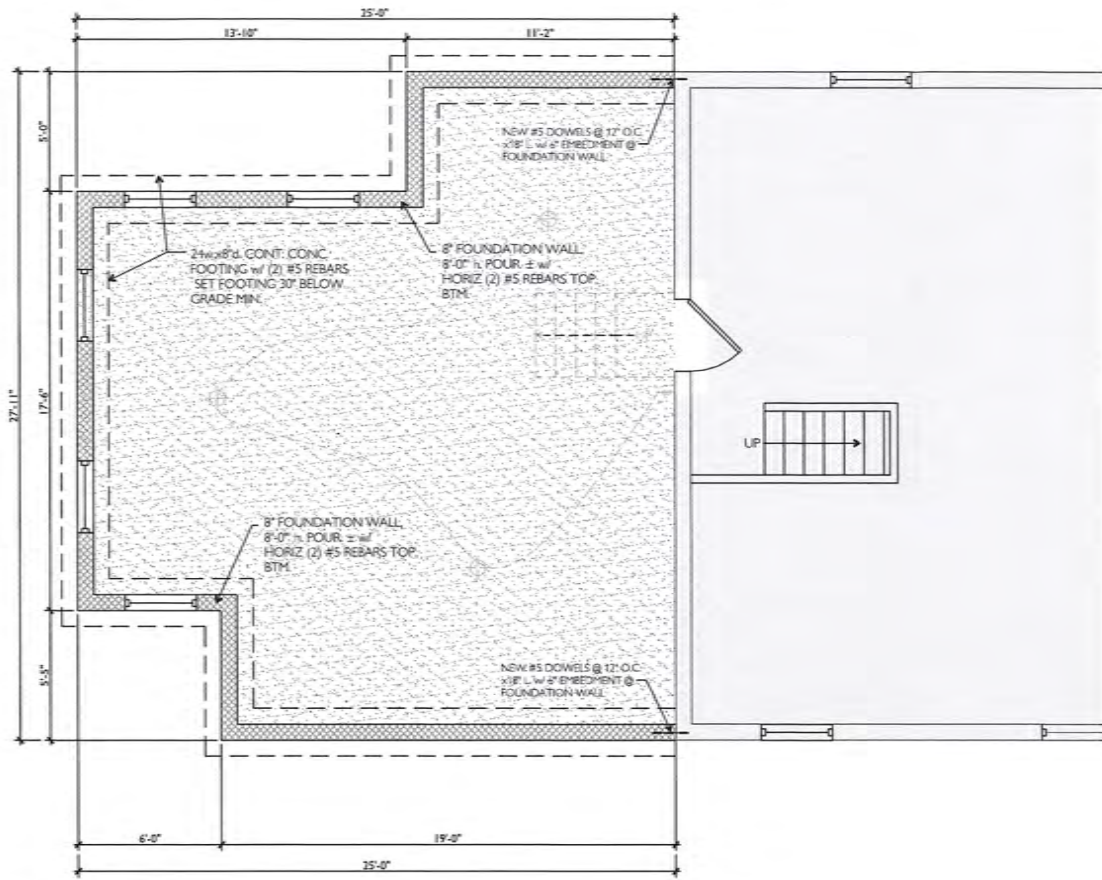
Type of Window: double hung Pane Arrangement: 3 over 1

4.) Detailing

Foundation Wall Covering: none

Location of Utility Equipment: side

Screening of Utility Equipment: none



FOUNDATION PLAN
SCALE: 1/4" = 1'-0" (24x36)
SCALE: 1/8" = 1'-0" (11x17)

SYMBOLS LEGEND

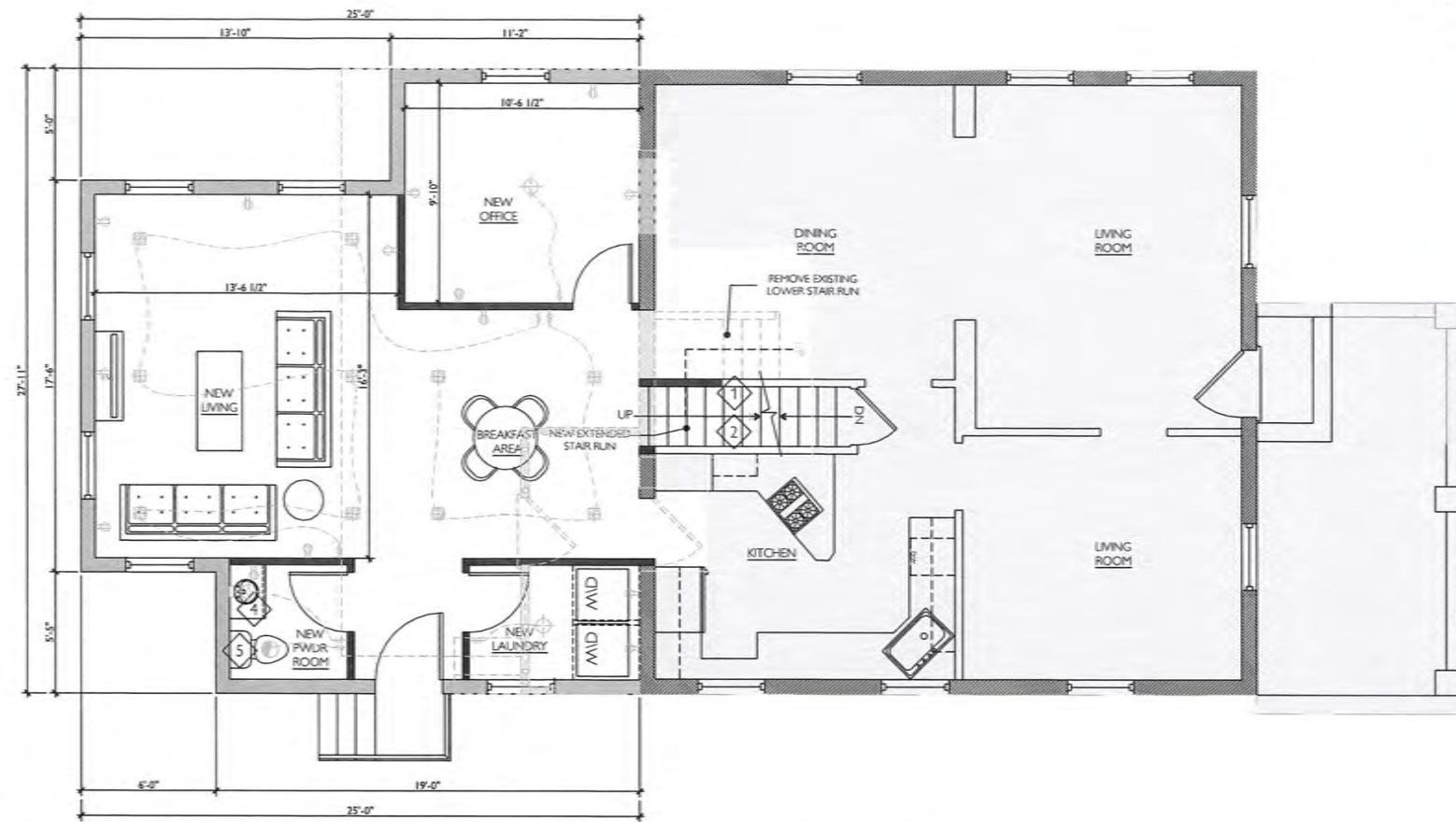
NOTE: ALL CIRCUITS TO BE ARC-FAULT PROTECTED UNLESS GFI PROTECTED	
DUPLEX OUTLET	SINGLE POLE SWITCH
DUPLEX OUTLET (EXTERIOR/WATER PROOF)	THREE WAY SWITCH
GROUND FAULT INTERRUPTER	EXHAUST FAN VENT TO EXTERIOR
WALL MOUNTED INCANDESCENT (EXTERIOR/WATER PROOF)	EXHAUST FAN + LITE KIT VENT TO EXTERIOR
CEILING MOUNTED INCANDESCENT	CEILING FAN/ LIGHT COMBO (EXTERIOR/WATER PROOF)
PENDANT LIGHT FIXTURE	U.L. LISTED SMOKE DETECTOR (ALL SMOKE DETECTORS TO BE INTERCONNECTED)
RECESSED LIGHT FIXTURE	
CABLE/DATA OUTLET - COORD. W/ OWNER	

FLOOR PLAN KEY NOTES

- 1 CONTINUOUS WOOD HANDRAIL, NEWEL POST - SEE STAIR DETAILS
- 2 WOOD TREADS WITH PAINTED RISERS - SEE STAIR DETAILS
- 3 PREFAB ACRYLIC SHOWER BASE ON SAND AND CEMENT SETTING BED, SLOPE TO DRAIN. CERAMIC TILE WALLS TO CEILING. TILE TO BE SELECTED BY OWNER.
- 4 VANITY AND SOLID SURFACE COUNTERTOP/INTEGRAL BOWL TO BE SELECTED BY OWNER.
- 5 WATER CLOSET TO BE SELECTED BY OWNER
- 6 NEW CLOSET STORAGE SYSTEM TO BE SELECTED BY OWNER

FLOOR PLAN LEGEND

—	NEW PARTITION	NEW DOOR and DOOR TAG
---	EXISTING EXTERIOR PARTITION	EXISTING DOOR TO REMAIN - NO WORK
---	EXISTING PARTITION TO REMAIN	EXISTING DOOR TO BE REMOVED
---	EXISTING PARTITION TO BE REMOVED	



1st FLOOR PLAN
SCALE: 1/4" = 1'-0" (24x36)
SCALE: 1/8" = 1'-0" (11x17)



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0" (24x36)
SCALE: 1/8" = 1'-0" (11x17)

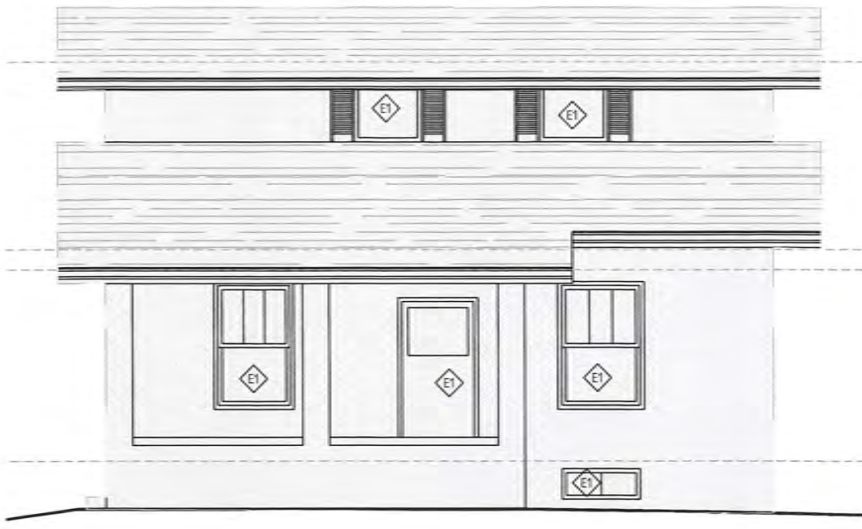
Addition + Renovation to:
RASTBERGER-PETRIE RESIDENCE
 549 VAN BUREN
 KIRKWOOD, MO 63122

ARB SUBMITTAL

ISSUE DATE

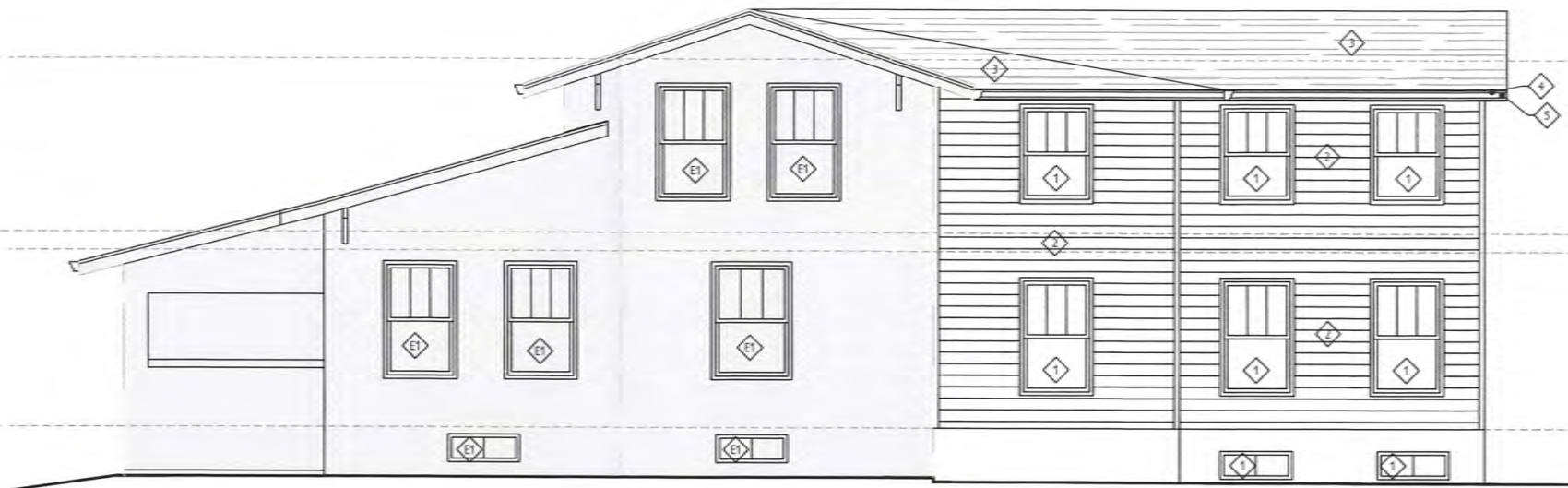


DATE: 06.01.21
CONTACT: Nathan Rauh



EAST ELEVATION

SCALE: 1/4" = 1'-0" (24x36)
SCALE: 1/8" = 1'-0" (11x17)



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" (24x36)
SCALE: 1/8" = 1'-0" (11x17)

ELEVATION KEY NOTES

** SHADED AREA INDICATES EXISTING STRUCTURE**

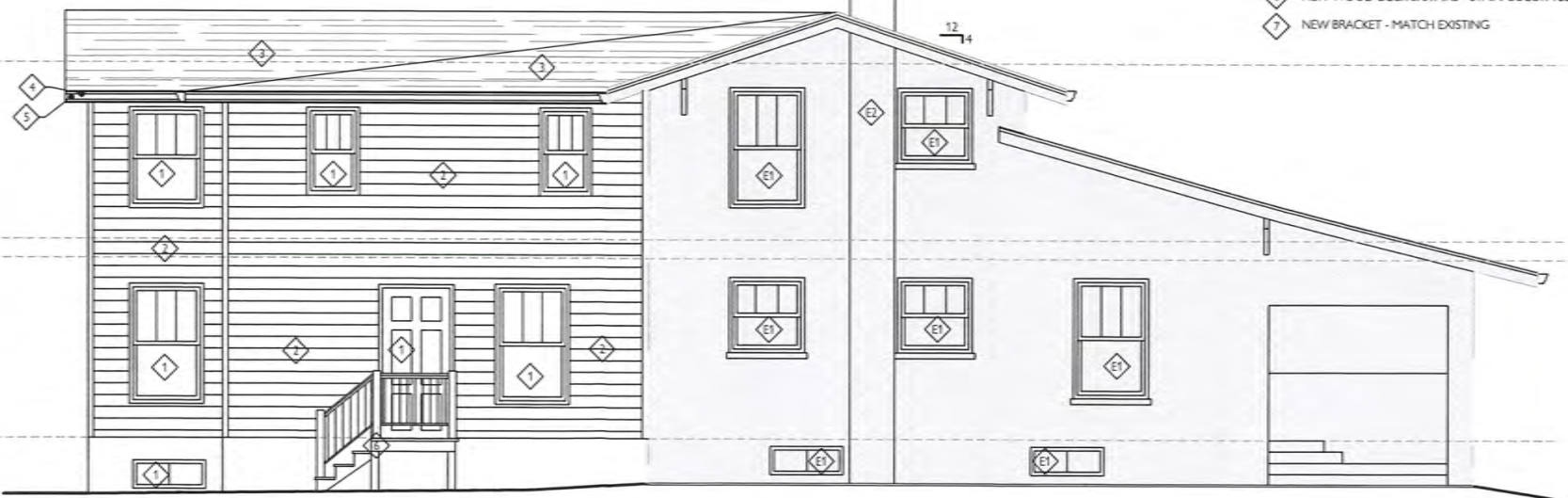
** PROVIDE CORROSION RESISTANT FLASHING AT ALL WALL AND ROOF INTERSECTIONS, CHANGES IN ROOF SLOPE OR DIRECTION, AROUND ALL ROOF OPENINGS, INTERSECTIONS WITH CHIMNEYS, EXTERIOR WALLS, PORCHES, DECKS, ETC. PROVIDE VALLEY FLASHING PER MANUFR, REQTS.

- ◊ EXISTING DOOR/WINDOW ASSEMBLY - TO BE REPLACED
- ◊ EXISTING CHIMNEY TO REMAIN
- 1 NEW WINDOW/DOOR ASSEMBLY - MATCH EXIST'G. SEE ELEVATIONS/PLANS FOR SIZES - ANDERSON 200 SERIES
- 2 NEW VINYL LAP SIDING - COLOR TBD
- 3 NEW ASPHALT ARCHITECTURAL SHINGLE ROOF - GAF WEATHERED WOOD
- 4 NEW ALUM. FASCIA BD. W/ PRE-FIN. ALUM. WRAP.
- 5 NEW ALUM. GUTTER & DOWNSPOUTS
- 6 NEW WOOD DECK & STAIRS - STAIN COLOR TBD
- 7 NEW BRACKET - MATCH EXISTING



NORTH ELEVATION

SCALE: 1/4" = 1'-0" (24x36)
SCALE: 1/8" = 1'-0" (11x17)



WEST ELEVATION

SCALE: 1/4" = 1'-0" (24x36)
SCALE: 1/8" = 1'-0" (11x17)

ARB SUBMITTAL

Addition + Renovation to:
RASTBERGER-PETRIE RESIDENCE
549 VAN BUREN
KIRKWOOD, MO 63122

ISSUE _____ DATE _____

© NAISMITH ALLEN, INC. 2021
MISSOURI STATE CERTIFICATE OF AUTHORITY
#A-260503421

NATHAN ANDREW RAUH - ARCHITECT
INC. & ASSOCIATES
JOB: 19-042



WEST ELEVATION - FRONT



EAST ELEVATION - REAR



SOUTH ELEVATION - SIDE



NORTH ELEVATION - SIDE



ACROSS STREET - WEST ELEVATION



NORTH ADJACENT - EAST ELEVATION



ACROSS STREET - PROPERTY



SOUTH ADJACENT - EAST ELEVATION



ACROSS STREET - PROPERTY



DATE: 06.01.21
CONTACT: Nathan Rauh

ARB SUBMITTAL
Addition + Renovation to:
RASTBERGER-PETRIE RESIDENCE
549 VAN BUREN
KIRKWOOD, MO 63122

ISSUE DATE



Architectural Review Board Application

Additions & Detached Structures

NOTE: ENTIRE EXACT FOOTPRINT REMAINS EXACT SAME AS 1991

DESIGN SUBMISSION APPLICATION

Property Address 1007 KRAUSWOOD DRIVE Zoned RESIDENTIAL

Is the property a Kirkwood Landmark? Yes (No) In a Local Historic District? Yes (No)

Complete scope of work SIMPLE ENCLOSURE OVER EXISTING DECK

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name ROBERT & MAUREEN REED Phone 314-966-4005

Address 1007 KRAUSWOOD DRIVE (PRIVATE ROAD)

City, State, Zip KIRKWOOD, MO 63122

E-mail (Agenda will be e-mailed to applicant) mmr715@hotmail.com

PROPERTY OWNER

Name ROBERT & MAUREEN REED Phone 314-966-4005

Address 1007 KRAUSWOOD DRIVE (PRIVATE ROAD)

City, State, Zip KIRKWOOD, MO 63122

ARCHITECT INFORMATION

Name N/A Phone

Address

City, State, Zip

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Kathy Reed Maureen M. Reed

Applicant's Signature

6/4/2021 Date

City Use Only

Received by [Signature]

Agenda Date 6-21-22

Case # 89-21R

Permit # 22-991

Zoning Comments

Building Comments





Architectural Review Board Application

Additions & Detached Structures

NOTE: ~~EXISTING~~ ENTIRE FOOTPRINT REMAINS EXACT SAME AS 1991

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): Two sided enclosure to existing deck
- Other (Please Specify): (west & south)

Description of Work: Share existing deck, install walls, windows, doors and siding, merge existing south gutter

Section B: Site Context

1) Building Form and Articulation

Architectural Style: RANCH

Number of Stories: 0 Building Height: EXISTING Number of Roof Lines: 1

Roof Type: METAL TO MATCH Primary Roof Pitch: 12/6

Secondary Roof Pitch: N/A Tertiary Roof Pitch: 12/0.75

2) Building Materials

Primary Exterior Wall Material: WOOD, ALUMINUM SIDING, matching siding and windows

Secondary Exterior Wall Material: N/A

Tertiary Wall Material: DRYWALL

Primary Roof Material: METAL

Secondary Roof Material: N/A

3) Exterior Windows and Doors

Type of Door: 1-sliding, 1-STORM DOOR

Type of Window: 5' ~~casement~~ SLIDER Pane Arrangement: Double pane

4) Detailing

Foundation Wall Covering: N/A

Location of Utility Equipment: N/A

Screening of Utility Equipment: N/A

Section C: Site Context Photos

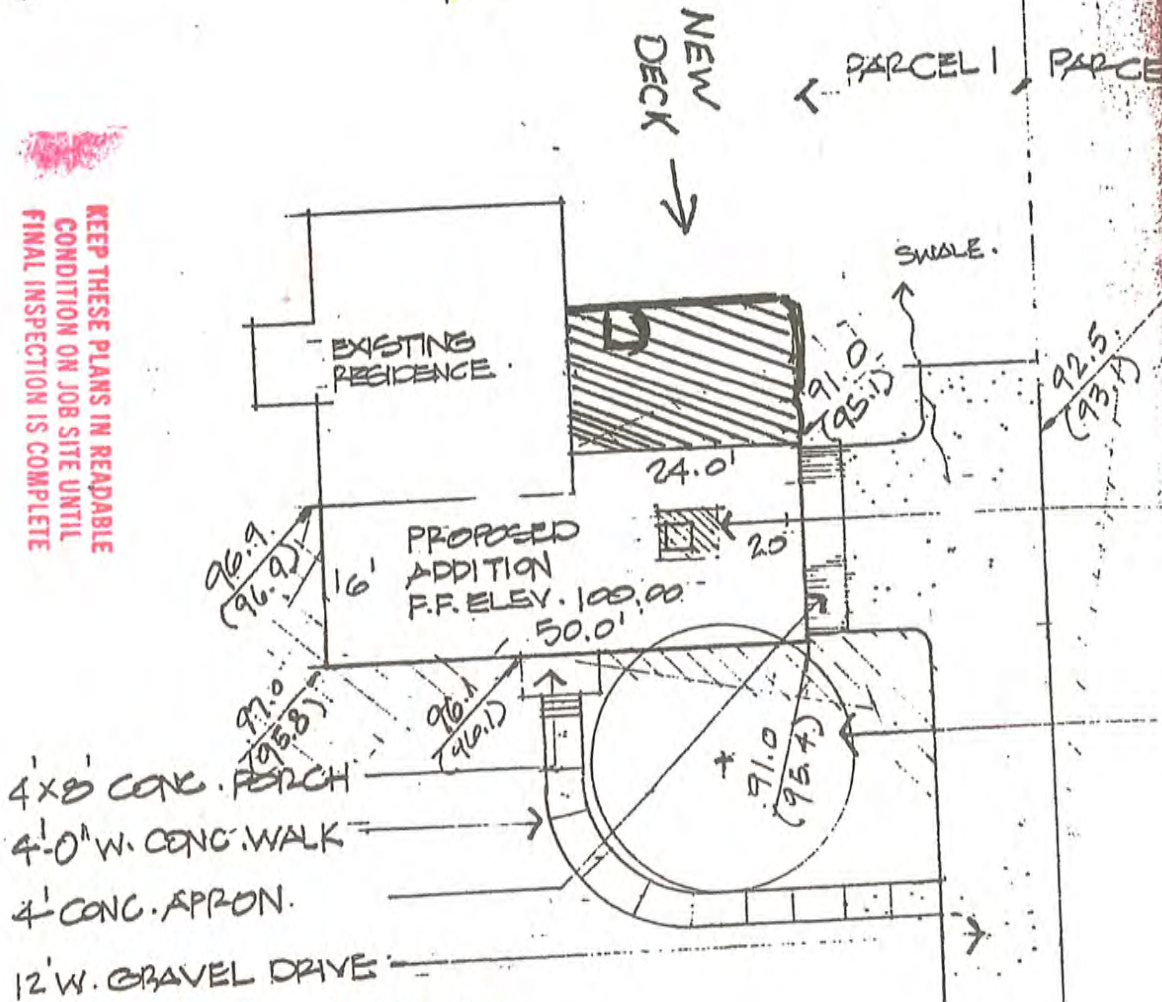
Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

1007 KRAUSWOOD DR.

230.00

KRAUSWOOD DRIVE 40' W.

KEEP THESE PLANS IN READABLE CONDITION ON JOB SITE UNTIL FINAL INSPECTION IS COMPLETE



RECEIVED
 JUN 04 2021
 CITY OF KIRKWOOD
 PUBLIC WORKS DEPARTMENT

OFFICE OF BUILDING PLAN REVIEW
 BUILDING PLAN REVIEW
 BUILDING COMMISSIONER

The issuance of a building permit shall not relieve the builder or contractor from compliance with all regulations of the KIRKWOOD BUILDING CODE

Approved as noted
 Amend and resubmit
 Approved
 Permit Denied

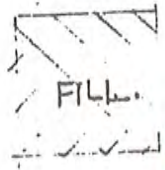
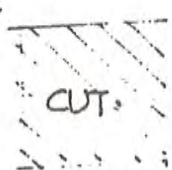
Review 9/13/15 By *gmv*

SITE PLAN

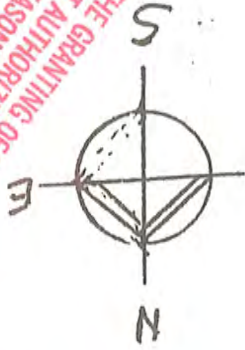
1" = 20'

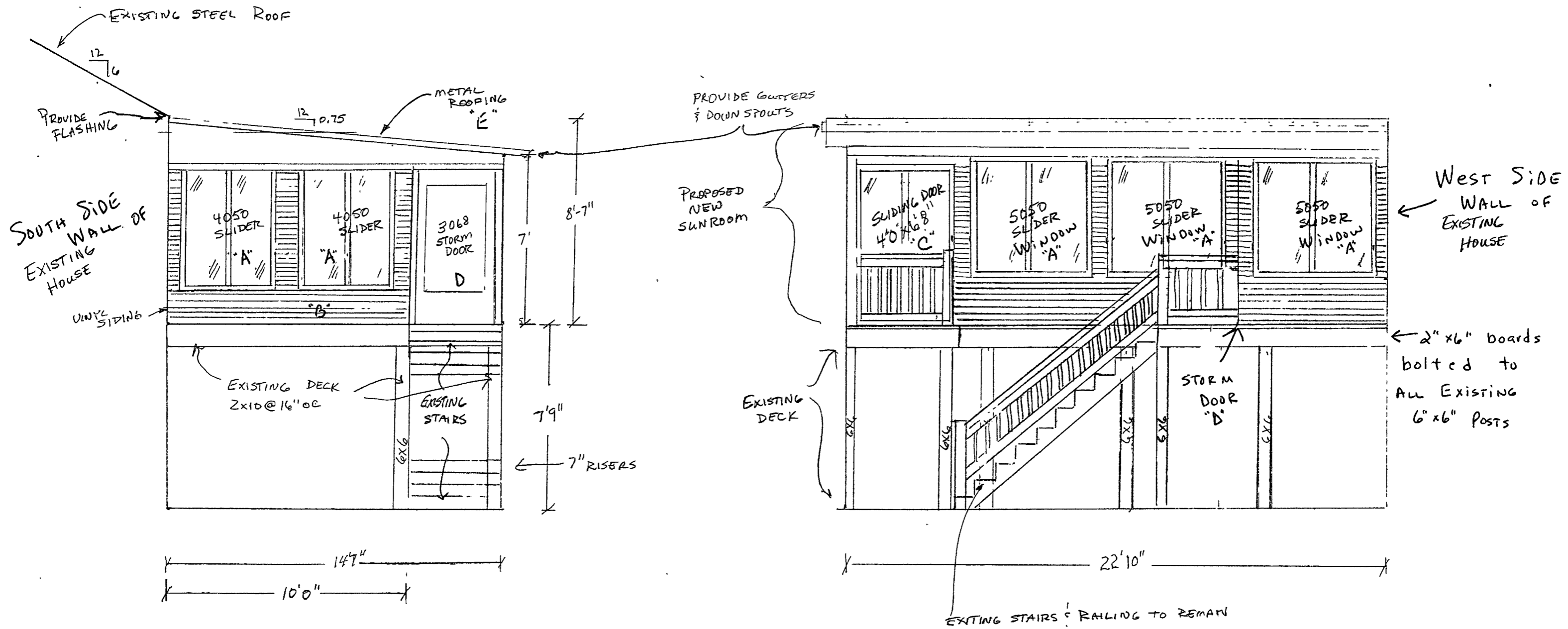
GRAPHIC LEGEND

FINISH GRADE.
(ORIGINAL GRADE)



THE GRANTING OF THIS PERMIT SHALL NOT AUTHORIZE ANY PERSON TO UNREASONABLY ALTER THE SURFACE WATER RUNOFF SO AS TO CAUSE HARM TO ANY PERSON





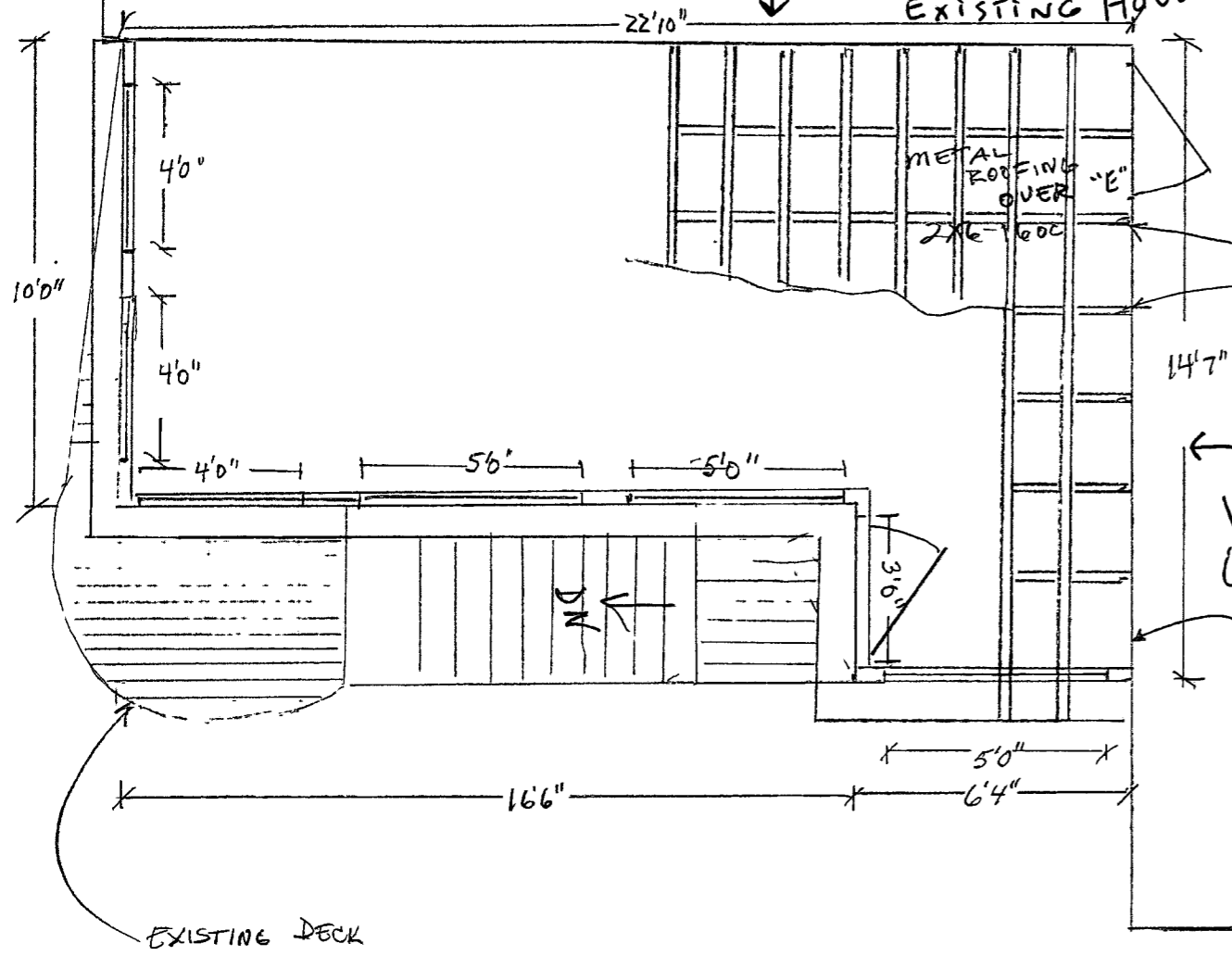
SCALE: 1/4" = 1 FOOT

REED
 1007 KRAUSWOOD DR
 ST. LOUIS, MO 63122

TOP VIEW

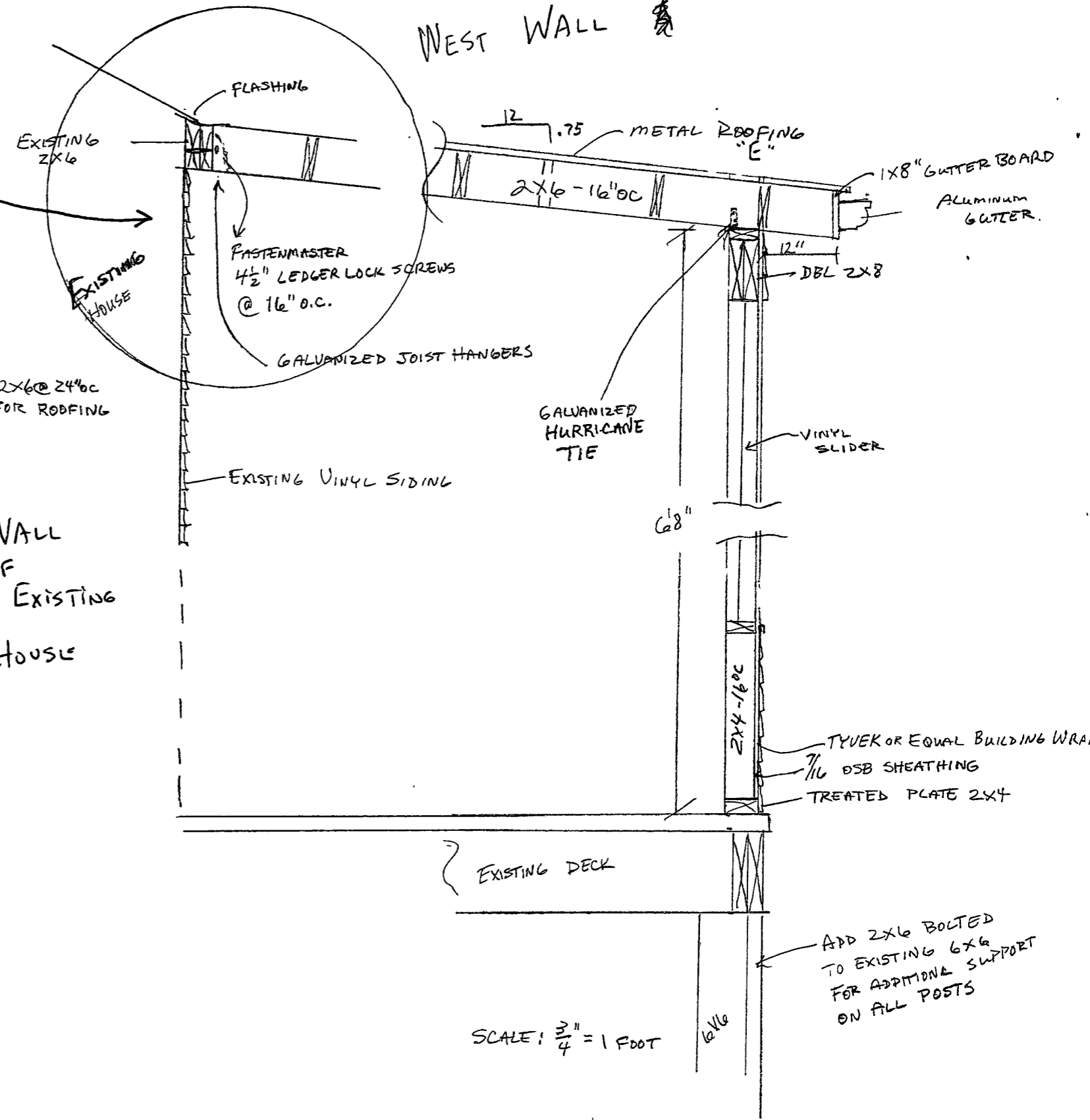
EXISTING HOUSE

SOUTH SIDE EXISTING HOUSE



SCALE: 1/4" = 1 FOOT

WEST WALL



SCALE: 3/4" = 1 FOOT

REED
 1007 KRAUSWOOD DR
 ST. LOUIS, MO, 63122

Description & Documents

JELD-WEN® vinyl windows are made to be durable, energy efficient, and low-maintenance. With features like a steel-reinforced frame and insulated glass, JELD-WEN® vinyl windows are suitable for any architectural style or design. Backed by a Lifetime Limited Warranty, they're just as reliable as they are attractive!



30 INCHES

Shipping Dimensions: 62.25 H x 62.25 W x 3.50 D
Shipping Weight: 89.75 lbs

Click here to see more products from [JELD-WEN](#)

JELD-WEN

Features

- Vinyl construction allows for low maintenance
- Steel-reinforced sash for long-lasting strength
- Low-E glass with Argon reduces energy costs, interior condensation, and protects against harmful UV rays
- ENERGY STAR® certified windows reduce energy bills by an average of 12% nationwide, compared to non-certified products
- Built-in Brickmould and J-Channel frame creates a clean, streamlined appearance for a traditional look while also saving a step in the installation process
- Built-in nailing flange for complete installation and a tight seal
- Left side sliding viewed from the outside of the house
- Half Screen Included
- Vinyl white interior and exterior
- Accidental glass breakage coverage included for all of life's unexpected events

Specifications

Product Type	Sliding Windows	Material	Vinyl
Collection	Better Series	Mounting Method	With Nailing Flange (New Construction)
Rough Opening Dimensions	60" W x 60" H	Frame Width	59-1/2 inches
Frame Height	59-1/2 inches	Frame Depth	3-3/32 inches
Screen Color	Gray	Screen Material	Fiberglass Mesh
Hardware Type	Nylon Rollers and Cam-Lock	Hardware Finish	White
Glazing Type	Double Pane	Interior Color	White
Exterior Color	White	Special Features	Screen, Brickmould, Low-E
Grid Pattern	No Grid Pattern	Air Leakage (AL) Rating	0.3 CFM
U-Value	0.3	Visible Light VT Rating	0.62
Energy Star Zones	Northern	Solar Heat Gain Coefficient	0.51
Listing Agency Standards	UL, AAMA, NFRC	Meets IRC for Egress	Yes
Manufacturer Warranty	Lifetime Limited, Accidental Glass Breakage Warranty, Skilled Labor Coverage - 2 years year	Return Policy	Regular Return (view Return Policy)

Please Note: Prices, promotions, styles and availability may vary by store and online. Inventory is sold and received continuously throughout the day; therefore, the quantity shown may not be available when you get to the store. This inventory may include a store display unit. Online orders and products purchased in-store qualify for rebate redemption. Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®. By submitting this rebate form, you agree to resolve any disputes related to rebate redemption by binding arbitration and you waive any right to file or participate in a class action. Terms and conditions available at www.rebateinternational.com®

MainStreet™ Triple 3" x 12' 1" Natural Clay Brushed Vinyl Siding

Model Number: 3913160 | Menards® SKU: 1480549



Variation: Natural Clay


Increments of 11 may be required

* Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®.

(B)



FREE Ship To Store
Available for Special Order at
ST. PETERS
Get it as soon as **08/01/2021**



Delivery
Available

Description & Documents

MainStreet™ triple three-inch siding offers value with the benefits of a premium panel: a reinforced rolled-over nail hem, DuraLock™, and the STUDfinder™ installation system with a smooth, brushed finish for the look of freshly-painted wood. It's .042 inches thick.



Shipping Dimensions: 145.00 H x 9.00 W x 0.56 D

Shipping Weight: 4.4375 lbs

Brand Name: **Mainstreet**

Features

- Patented STUDfinder™ is designed for accurate and secure installation
- DuraLock® post-formed lock design
- RigidForm™ 160 technology has been tested to withstand wind load pressures up to 160 mph
- 11 pieces cover 100 sq ft
- Limited lifetime warranty
- Smooth low gloss brushed finish
- 9/16" panel projection
- Class 1(A) fire rating

Specifications

Siding Profile	Triple 3"	Color	Natural Clay
Thickness	0.042 inch	Material	Vinyl
Siding Surface Design	Brushed	Overall Width	9 inch
Overall Length	145 inch	Exposure	9 inch
Coverage Per Piece	9.06 square foot	Manufacturer Warranty	Limited Lifetime
Special Features	Class 1(A) Fire Rating	Maximum Wind Resistance	200 miles per hour
Listing Agency Standards	Class 1(A) Fire Rating	Return Policy	Special Order Merchandise (view Return Policy)

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MainStreet™

Vinyl Siding

General Description: MainStreet™ siding is appropriate for use in new construction for single family homes, multi-housing projects and light commercial developments. MainStreet is also an ideal product for remodeling.

Styles:

Profile	Finish	Panel Projection	Wall Thickness (Nominal)	Lock Design	Colors	Accessory Pocket
Double 4" Clapboard	Woodgrain	9/16"	.042"	Post-formed	24	1/2", 5/8" or 3/4"
Double 4" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	24	1/2", 5/8" or 3/4"
Double 5" Clapboard	Woodgrain	9/16"	.042"	Post-formed	24	1/2", 5/8" or 3/4"
Double 5" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	24	1/2", 5/8" or 3/4"
Triple 3" Clapboard	Smooth Brushed	9/16"	.042"	Post-formed	11	1/2", 5/8" or 3/4"
Single 6-1/2" Beaded	Smooth Brushed	9/16"	.042"	Post-formed	13	1/2", 5/8" or 3/4"
Single 8" Clapboard	Woodgrain	5/8"	.042"	Post-formed	1	3/4"

Colors: MainStreet siding profiles are available in a wide selection of colors. All colors are Spectrophotometer controlled and utilize exclusive Permacolor™ color science.

Autumn Red	Colonial White	Forest	Light Maple	Sandstone Beige	Snow
Autumn Yellow	Cypress	Granite Gray	Natural Clay	Savannah Wicker	Spruce
Buckskin	Desert Tan	Hearthstone	Oxford Blue	Seagrass	Sterling Gray
Charcoal Gray	Flagstone	Heritage Cream	Sandpiper	Silver Ash	Suede

*Color availability varies by profiles - check Product Catalog for detail.

STUDfinder™: The patented STUDfinder Installation System combines precisely engineered nail slot locations with graphics. Nail slots are positioned 16" on center to allow for alignment with studs. STUDfinder graphics centered at each slot provide a quick and easy guide to help locate studs.

RigidForm™: MainStreet RigidForm 200 double nail hem technology stiffens siding for a straighter-on-the-wall appearance and provides wind load performance.

Lock: MainStreet's exclusive DuraLock™ is a substantially larger lock than is found on competing products, with a rigid teardrop shape and engineered angular locking leg for a positive, snap fit application and exceptional wind resistance.

Accessories: CertainTeed manufactures a wide range of siding accessories which are compatible with MainStreet siding styles and colors. Accessory products include installation components, soffit, window and door trim, corner lineals, corner systems and decorative moldings.

Composition: MainStreet siding products are produced using CertaVin™ custom-formulated PVC resin. This resin is produced exclusively by CertainTeed, allowing CertainTeed to maintain the high quality of its siding products.

Technical Data: MainStreet siding is in compliance with ASTM specification for Rigid Polyvinyl Chloride (PVC) Siding D 3679, and the requirements of section R703.11 of the International Residential Code, and section 1405.14 of the International Building Code. MainStreet siding meets or exceeds the properties noted in Table 1.

Table 1

ASTM E 84	Meets Class A flame spread requirements as tested according to ASTM E84.
ASTM D 1929	Self-ignition temperature 813°F
ASTM D 635	Material is self-extinguishing with no measurable extent of burn when tested in accordance with this specification.
NFPA 268	Radiant Heat Test - Ignition Resistance of Exterior Walls - Conclusion that CertainTeed met the conditions for allowable use as specified in section 1406 of the International Building Code.

Important Fire Safety Information: When rigid vinyl siding is exposed to significant heat or flame, the vinyl will soften, sag, melt or burn, and may thereby expose material underneath. Care must be exercised when selecting underlayment materials because many underlayment materials are made from organic materials that are combustible. You should ascertain the fire properties of underlayment materials prior to installation. All materials should be installed in accordance with local, state and federal Building Code and fire regulations.

Wind Load Testing: CertainTeed MainStreet double 4" siding has been tested per ASTM D 5206 standard test method for resistance to negative wind load pressures exceeding 55 psf, which equates to more than 200 mph (V_{ASD}) and 260mph (V_{ULT}), when installed with nails positioned 16" on center. Check with your local building inspector for wind load requirements in your area on the type of structure you are building.

Documents: CertainTeed Vinyl Siding meets the requirements of one or more of the following specifications.

- Texas Department of Insurance Product Evaluation EC-11
- Conforms to ASTM Specification D3679
- Florida BCIS Approval FL1573
- ICC-ES Evaluation Report ESR-1066
- For specific product evaluation/approval information, call 800-233-8990.

Installation: Prior to commencing work, verify governing dimensions of building, examine, clean and repair, if necessary, any adjoining work on which the siding is in any way dependent for its proper installation. Sheathing materials must have an acceptable working surface. Siding, soffit and accessories shall be installed in accordance with the latest editions of CertainTeed installation manuals on siding and soffit. Installation manuals are available from CertainTeed and its distributors.

Warranty: CertainTeed supports MainStreet siding products with a Lifetime Limited Warranty including PermaColor Lifetime Fade Protection to the original homeowner. The warranty is transferable if the home is sold.

Technical Services: CertainTeed maintains an Architectural Services staff to assist building professionals with questions regarding CertainTeed siding products. Call 800-233-8990 for samples and answers to technical or installation questions.

Sample Short Form Specification: Siding as shown on drawings or specified herein shall be MainStreet™ Vinyl Siding as manufactured by CertainTeed Corporation, Valley Forge, PA. The siding shall have a .042" nominal thickness. Installation shall be in accordance with manufacturer's instructions.

Three-part Format Specifications: Long form specifications in three-part format are available from CertainTeed by calling our Architectural Services Staff at 800-233-8990. These specifications are also available on our website at certainteed.com.



CertainTeed Corporation
P.O. Box 860
Valley Forge, PA 19482
certainteed.com
© 01/15

Description & Documents

JELD-WEN® vinyl patio doors are made to be durable, energy efficient, and low maintenance. These vinyl patio doors are suitable for any architectural style or design. Plus, they're just as attractive as they are reliable! Every JELD-WEN® product is designed to create lasting value and style for your home, which is why this model is backed by a lifetime limited warranty.



Shipping Dimensions: 79.50 H x 59.50 W x 3.75 D

Shipping Weight: 165.0 lbs

Click here to see more products from [JELD-WEN](#)



Features

- Features 3/4" tempered, clear, insulated glass for added safety in your home
- Right or left operation is determined as viewed from the outside
- Includes a matching white handleset for a firm, comfortable grip
- Includes an integral nailing flange for faster installation and a tight seal
- Sliding screen door included
- Backed by a lifetime limited warranty and made in the USA

Specifications

Screen Included	Yes	Air Leakage (AL) Rating	0.1
Product Type	Sliding Patio Door	Door Material	Vinyl
Door Handing	Left Sliding	Listing Agency Standards	UL, AAMA, NFRC
Exterior Color	White	Frame Material	Vinyl
Glass Type	Double Pane	Hardware Finish	White
Includes	Screen Included	Interior Color	White
Rough Opening Height	80 inch	Rough Opening Width	60 inch
Screen Color	Charcoal	Screen Material	Fiberglass Mesh
Solar Heat Gain Coefficient	0.65	U-Value	0.47
Manufacturer Warranty	Limited Lifetime	Weight	165 pound
Nominal Door Width	60 inch	Nominal Door Height	80 inch
Return Policy	Special Order Merchandise (view Return Policy)		

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JELD-WEN® Builders Series 60"W x 80"H White Vinyl Left Hand Sliding Patio Door

Model Number: MENOLJW156200092 | Menards® SKU: 4214552

C



Door Operation: Left Hand Sliding

* Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®.



FREE Ship To Store

Available for Special Order at
ST. PETERS
Get it as soon as 07/17/2021



Delivery

Available

WALLS: 2x4 WW STUDS @ 16" O.C. w/ 7/16 OSB SHEATHING w/ TYVEK OR EQUAL HOUSE WRAP w/ VINYL SIDING

Description & Documents

Invite in the breeze with the Timberline Screen Away® retractable screen storm door. The Screen Away design converts your storm door to a screen door instantly and the screen rolls up and hides when not in use.



Shipping Dimensions: 84.19 H x 36.81 W x 1.81 D

Shipping Weight: 70.0 lbs

Brand Name: Larson



Features

- Screen Away® retractable screen disappears into top cassette when not in use; balanced window system and ergonomic handle moves the screen up and down to ventilate
- Color-matched adjustable speed closer provides dependable closing without slamming for your convenience
- Patented Secure Lock® handle set includes a built-in latch and matching handles
- Maintenance-free DuraTech® surface over a solid core
- Designer screw covers conceal exterior screws for a finished look
- Reversa-Hinge allows for right or left hinge installation
- EasyHang® installation system installs in half the time with no cutting
- This item is not for sale to these states: HI, AK

Specifications

Collection	Cottage Collection	Color/Finish	White
Includes	2 Closer, Brushed Nickel Handle Set, Screen Insert, Installation Screw Covers	Material	Solid Core DuraTech® Surface
Special Features	Easy Hang Installation, Keyed Lock, Magnetic Weatherstrip, Retractable Screen	Style	Traditional
Door Handing	Reversible	Screen Type	ScreenAway
Fits Opening Height	80 to 81 inch	Glass Type	Tempered
Fits Opening Width	35-7/8 to 36-3/8 inch	Actual Width	35-3/4
Manufacturer Warranty	10	Actual Height	79-3/4
Product Type	High View Storm Door	Actual Depth	1
Handleset Finish	Nickel	Weight	70 pound
Return Policy	Regular Return (view Return Policy)		

Please Note: Prices, promotions, styles and availability may vary by store and online. Inventory is sold and received continuously throughout the day; therefore, the quantity shown may not be available when you get to the store. This inventory may include a store display unit. Online orders and products purchased in-store qualify for rebate redemption. Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®. By submitting this rebate form, you agree to resolve any disputes related to rebate redemption by binding arbitration and you waive any right to file or participate in a class action. Terms and conditions available at www.rebateinternational.com®

Larson® Timberline ScreenAway® 36"W x 80"H White Retractable Screen Highview Storm Door

Model Number: 691-52_36X80_Nickel_White | Menards® SKU: 4152366



Color: White

Nominal Size: 36" W x 80" H

Handle Finish: Brushed Nickel

* Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®.



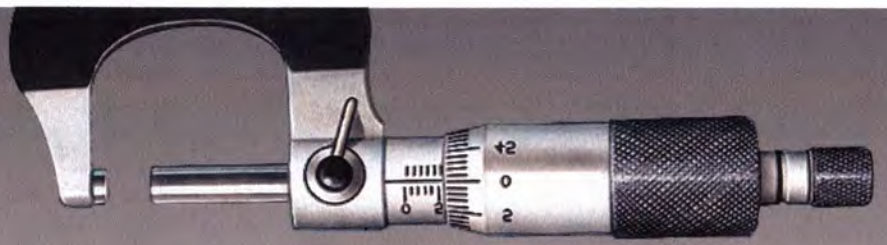
Pick Up At Store

3 In-Stock at [ST. PETERS](#)
[Check Another Store for Availability](#)



Shipping & Delivery

Available



OUR STEEL MEASURES UP, DO OTHERS?



THICKNESS

- Pro-Rib .0165" nominal thickness
- Premium Pro-Rib and Premium Pro-Snap- .018" nominal thickness
- Many companies boast a thick gauge panel. Gauge is not a measurement, to verify actual thickness measure with a micrometer.
- **A micrometer measures in thousandths of an inch and is the only way to know actual panel thickness. The difference between 26 and 29 gauge is less than the thickness of a sheet of paper. Testing shows this difference is not enough to change the strength properties in a panel.**

"Builders need to stop thinking in terms of gauge and start thinking in terms of actual decimal thickness."
 -Don Switzer, Steel Dynamics Sales Manager (Rural Builder Magazine- September 2016)

HARDNESS

- Pro Rib, Premium Pro Rib, and Pro Snap are all 100,000 p.s.i. nominal tensile strength
- Companies selling a 26 gauge panel, use a 60,000 p.s.i. tensile strength.
- Our 28 gauge panel (Premium Pro-Rib) with 100,000 p.s.i. nominal strength has 25% more strength than the thicker panel.
- **Hail and Dent resistance is determined by the hardness of the panel. Testing shows hardness delivers the most VALUE to the owners.**

ZINC & PAINT

- Pro-Rib has a G-60 and Premium Pro-Rib and Pro-Snap have a G-100 Galvanized Coating plus Zinc Phosphate
- Pro-Rib has a Limited 40 Year Paint Warranty while Premium Pro-Rib and Pro-Snap have a Limited Lifetime Paint Warranty.
- Menards has the most extensive testing to make sure the metal thickness, tensile strength and coatings are correct.
- **Advances in Coatings make our steel longer lasting than ever! Our high quality paint systems provide the best warranties in the business. Coatings are the most important factor in panel lifespan.**

MENARDS® HAS THE BEST TESTING PROGRAM IN THE BUSINESS, PERIOD. THIS PROVIDES THE BEST PERFORMING PANEL YOU CAN GET.

Description & Documents

Architectural steel panels have a Menards® exclusive pattern that uses a triple paint system to create the appearance of depth for an architectural shingled look with the benefits of a steel panel. Premium Pro-Rib® is one of the most versatile members of the Pro-Rib® family of quality products. It's truly a premium wall and roof panel whose applications span a tremendous variety of residential, commercial, and industrial construction projects. The superior performance of the Premium Paint System sets this panel apart from the crowd. All Pro-Rib® products are manufactured to the highest industry standards. Pro-Rib® is an environmentally friendly product.



Shipping Dimensions: 240.00 H x 38.00 W x 0.75 D

Shipping Weight: 73.875 lbs

Brand Name: Premium Pro-Rib Architectural



Features

- Panel features a painted design that mimics the look of architectural shingles
- Panel covers a 36" width
- Custom cut lengths from 2' to 36' in 1" increments available special order in Menards store and Menards.com
- Actual .0157" minimum thickness before painting .018" nominal thickness after painting
- G100 galvanization - 66% more than 40-year warranty panels
- Manufactured from structural strength ASTM-A653, grade 80 steel
- Superior hail resistance (Class 4), Class A Fire Rated, 200 MPH wind resistance, properly installed steel panels will withstand devastating winds
- Through fastener panel system, faster installation than shingles
- Limited Lifetime paint warranty, and Energy Star Rated
- All steel over 36' to 50' must be ordered at a Menards® store and delivered directly to the jobsite or picked up at the plant in Eau Claire, WI; Holiday City, OH; or Valley, NE. Delivery is extra. Additional packaging/handling charges required. Exposed fastener/premium pro-rib price is figured on 38" nominal width.
- Weighs approximately 74 lbs per 100 sq ft
- Trim colors that complement the Desert Tan Architectural Steel are Brown and Chocolate

Specifications

Product Type	Steel Panel	Material	Steel
Manufacturer Warranty	Limited Lifetime	Color/Finish	Desert Tan
Overall Width	38 inch	Overall Length	Custom inch
Coverage Per Piece	Varies by size ordered square foot	Rib Spacing	9 inch
Minimum Slope	3/12	Rib Height	3/4 inch
Thickness	0.018 inch	Return Policy	Special Order Merchandise (view Return Policy)

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Pricing available after measurements are entered

Variation: Desert Tan

! Additional Packaging/Handling Charges May Apply.



Shipping & Delivery

Available

Local Utility Rebates

Up to \$27.10 in Local Utility Rebates

Rebate information provided by EcoRebates





*All-season sunroom in white, with a studio roof,
and solid knee panels*

Example Sun Room - FOR REFERENCE ONLY





Architectural Review Board Application
New Single Family Residence (SFR)

DESIGN SUBMISSION APPLICATION

Property Address 411 West Adams Zoned R-4

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work This project includes a new two story frame residence with four bedrooms and 2.5 baths and an attached two car garage.

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name Michael E. Blaes, AIA Phone (314) 968-9202

Address 643 Glen Road

City, State, Zip Webster Groves, MO 63119

E-mail (Agenda will be e-mailed to applicant) mike@blaesdesign.com

PROPERTY OWNER

Name Matt Midden - STL Homebuyers, LLC Phone (314) 783-6842

Address 34 North Brentwood Blvd, suite 205

City, State, Zip Clayton, MO 63105

ARCHITECT INFORMATION

Name Michael E. Blaes, AIA Phone (314) 968-9202

Address 643 Glen Road

City, State, Zip Webster Groves, MO 63119

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

[Signature]
 Applicant's Signature

5-24-2021
 Date

City Use Only

Received by *[Signature]*

Agenda Date 6-21-21

Case # 92-21R

Permit # 22-1009

Zoning Comments _____

Building Comments _____





Architectural Review Board Application New Single Family Residence (SFR)

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- New Single Family Residence
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: This project includes a new two story frame residence with four bedrooms and 2.5 baths and an attached two car garage.

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Folk Victorian Vernacular Revival

Number of Stories: 2 Building Height: 29'-7" Number of Roof Lines: 8

Roof Type: Gable Primary Roof Pitch: 9:12

Secondary Roof Pitch: 7 5/8:12 Tertiary Roof Pitch: 4 1/2:12

2) Building Materials

Primary Exterior Wall Material: Vinyl Lap Siding

Secondary Exterior Wall Material: Fiber Cement Board and Batten Siding

Tertiary Wall Material: _____

Primary Roof Material: Architectural Asphalt Shingles

Secondary Roof Material: _____

3) Exterior Windows and Doors

Type of Door: Fiberglass

Type of Window: Vinyl Pane Arrangement: 2 over 2

4) Detailing

Foundation Wall Covering: None

Location of Utility Equipment: _____

Screening of Utility Equipment: _____

Section C: Neighborhood Context (New Primary Construction Only)

Material Palette: Any material present on 20% or more of the front facades of existing houses within your Neighborhood Context is considered a Predominant Material (there may be more than one). If a single material is dominant on more than 70% of the houses within the site context that material is considered to be the Single Dominant Material.

Single Dominant Material: Vinyl Siding

Predominant Material: Brick



425 West Adams



419 West Adams



415 West Adams



411 West Adams



304 North Van Buren



303 North Van Buren



337 West Adams



448 West Adams



444 West Adams



450 West Adams



340 West Adams



342 West Adams



344 West Adams



404 - 418 West Adams



New Single Family Residence for:

MIDDEN

DEVELOPMENT GROUP, LLC

411 West Adams
Kirkwood MO, 63122

Architectural Review Board Set: June 7, 2021

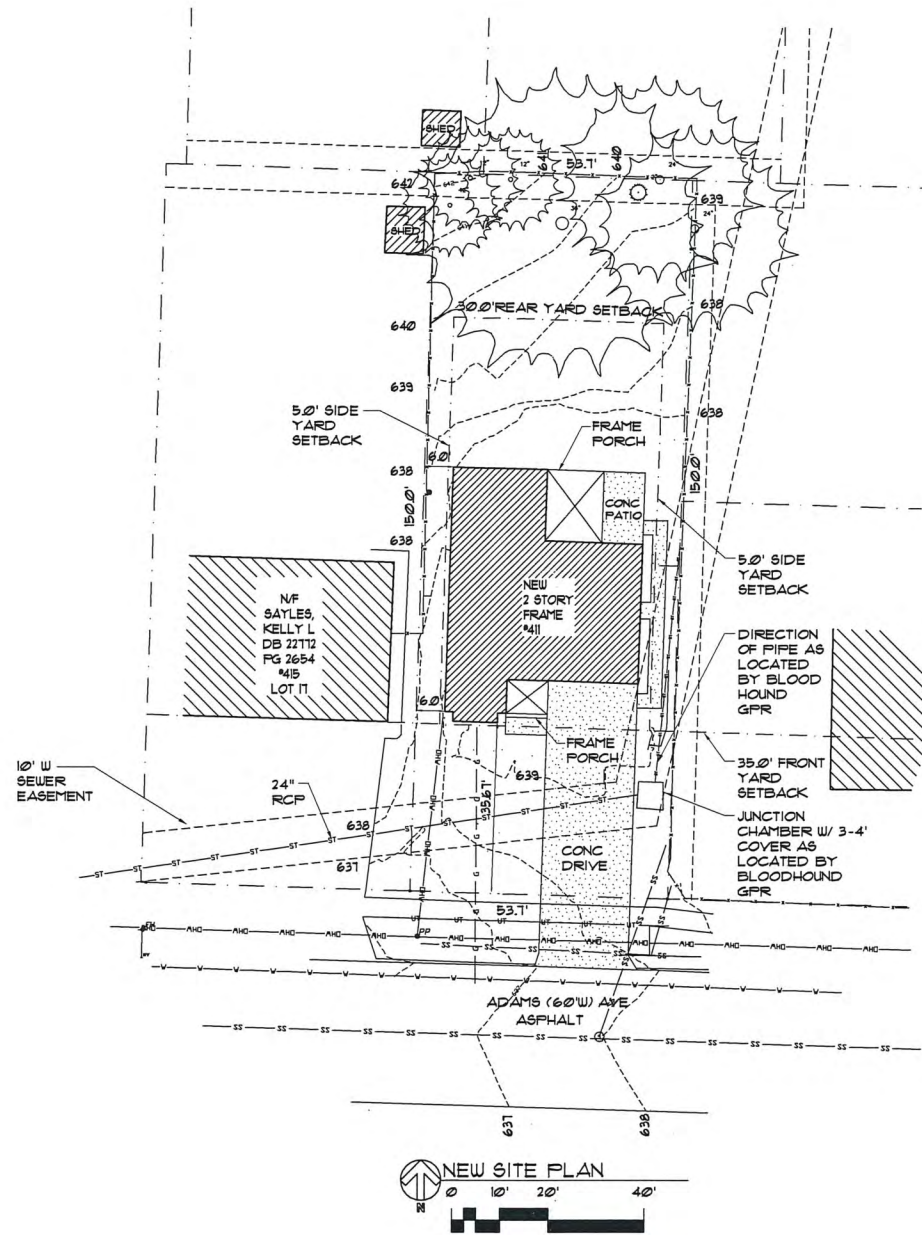
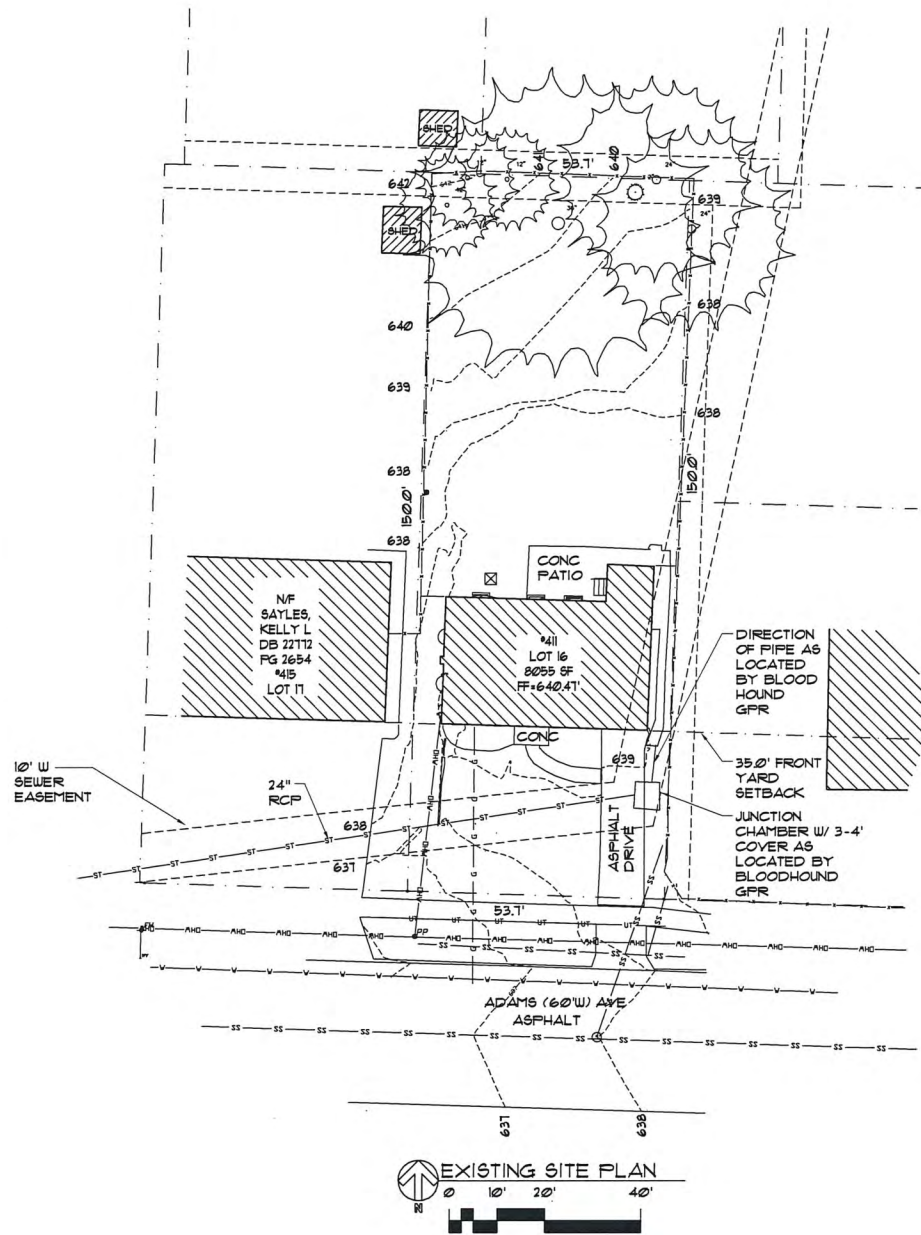
DRAWING INDEX

ARCHITECTURAL

- C-1 ARCHITECTURAL SITE PLANS
- A-1 FOUNDATION PLAN
- A-2 BASEMENT PLAN
- A-3 FIRST FLOOR PLAN
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- A-5 SECOND FLOOR PLAN
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Blaes Architects, LLC
Michael E. Blaes, AIA at Tuwedo Park Station
643 Glen Road Webster Groves, MO 63119
www.blaesdesign.com (314) 968-9202
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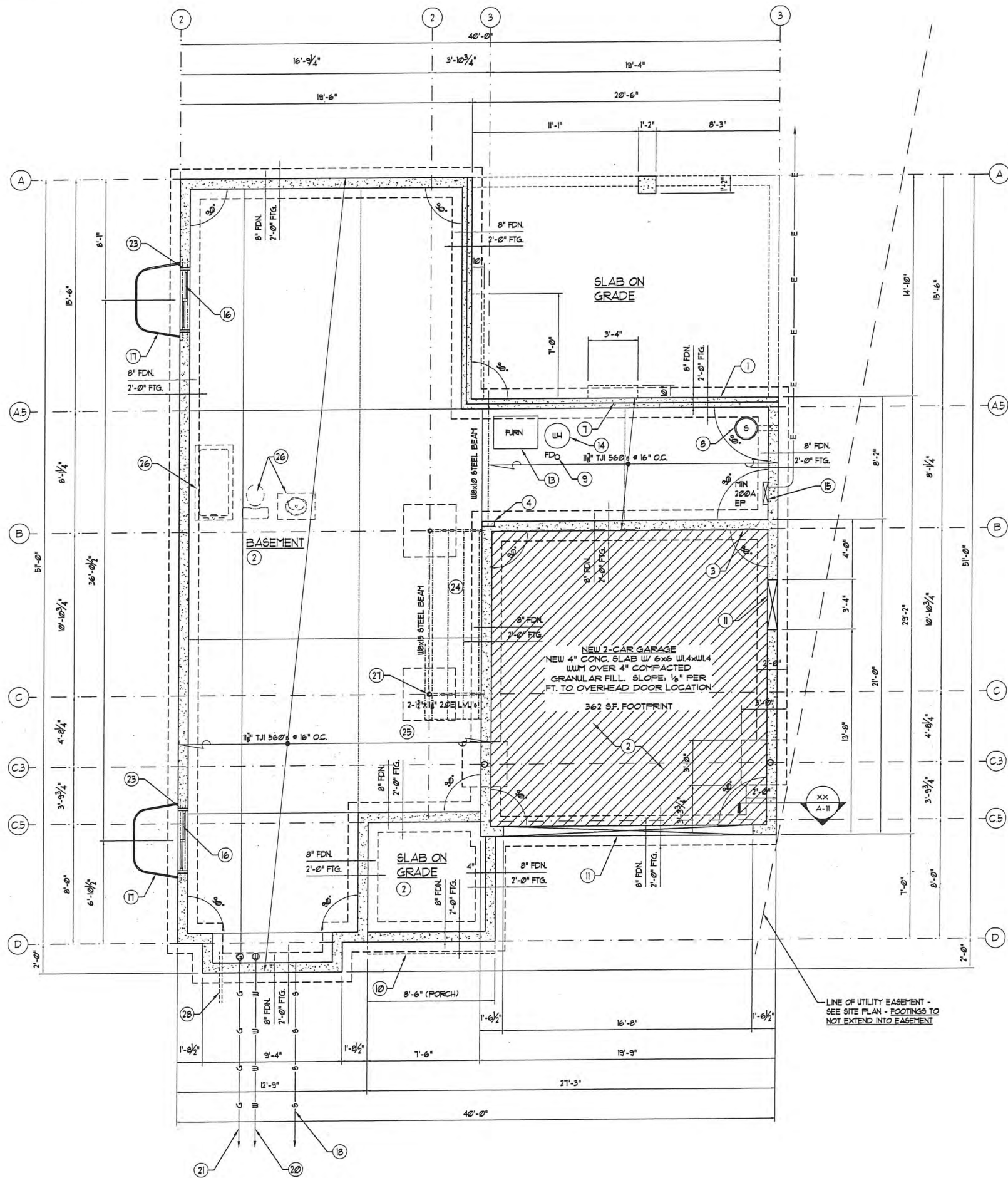
Date:
June 7, 2021
△ REVISION (DATE-BY):

New Residence for:
STL Homebuyers, LLC
411 West Adams Avenue
Kirkwood, MO 63122

Michael E. Blaes - Architect
MO # A-6158
CERTIFICATE OF AUTHORITY #2016000492
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Existing Site Plan
New Site Plan
Sheet No.
C-1



FLOOR PLAN NOTES:

- ALL EXTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GWB ONE SIDE UNLESS OTHERWISE NOTED
- ALL INTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GWB BOTH SIDES UNLESS OTHERWISE NOTED
- PROVIDE DOUBLE JOISTS UNDER WALLS PARALLEL TO JOIST SPANS
- PROVIDE SOLID BLOCKING BENEATH GIRDER TRUSS BEARING POINTS TO FOUNDATION OR STEEL BEAM BELOW
- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL LIGHTS, FANS, RECEPTACLES, SWITCHES & FLOOR RECEPTACLES WITH THE OWNER PRIOR TO SUBMITTING BID.
- MECHANICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL SUPPLY DUCTS & SIZE OF ANY PENETRATIONS THRU FDN. WALLS & ROUTING OF SUPPLY/RETURN DUCTS PRIOR TO SUBMITTING BID.
- THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE CONTINUOUS SHEATHING METHOD WITH CORNER FRAMING OF SECTION R602.10.4.1 OF THE 2009 EDITION OF IRC. (ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL PANELS)
- DOUBLE FLOOR JOISTS BENEATH PARTITIONS ABOVE

LUMBER NOTE:

- ALL STRUCTURAL & FRAMING LUMBER TO BE MIN #1 GRADE SYP OR BETTER
- ALL LVL'S MIN. 3/4" BEARING UNLESS OTHERWISE NOTED

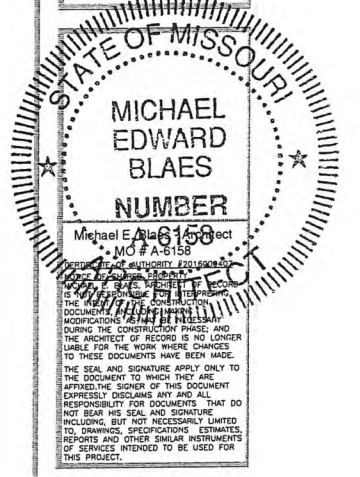
BASEMENT PLAN KEYED NOTES:

- CONTINUOUS POURED CONCRETE FOUNDATION WALL W/ CONT. POURED CONCRETE FOOTING MIN. 2'-6" BELOW GRADE - SEE PLAN FOR SIZE
- 4" TK CONCRETE SLAB W/ 6x6 W4xW4 WUF OVER 10 MIL VAPOR BARRIER & 4" COMPACTED GRANULAR FILL - PROVIDE CRACK CONTROL JOINTS @ 10'-0" MAX O.C. EA. WAY, TOOLED CONTROL JOINTS @ DRIVE & PATIOS (LT. BROOM FINISH), ZIP STRIPS @ BASEMENT & GARAGE SLABS (MAG FINISH) - SLOPE GARAGE SLAB TO OVERHEAD DOOR LOCATIONS - MIN 1/8" / FT. - SLOPE DRIVEWAY SLAB MIN 1/8" / FT AWAY FROM HOUSE
- TOP OF FOUNDATION WALL - MIN 4" ABOVE GARAGE SLAB
- BEAM POCKET - GROUT SOLID - LEVEL W/ STEEL SHIMS
- 3" DIA. x 158 LB/FT. (SCHEDULE 40) FIXED, NON-ADJUSTABLE STL. PIPE COL. (WHERE OCCURS - SEE PLAN FOR DIAMETER) ON 3'-0" x 3'-0" x 12" TK. (MIN) CONC. PAD W/ 4/8 @ 8" O.C. EACH WAY - SEE DETAIL
- TURNED DOWN CONC. SLAB W/ 10" CONTINUOUS POURED CONCRETE FOUNDATION WALL - MIN 2'-6" BELOW GRADE - SEE PORCH SECTION
- SHELF FOR JOIST BEARING - SEE SECTION
- SUMP PIT & PUMP W/ MIN. 15"x10" DEEP W/ FITTED COVER W/ BATTERY BACKUP - VERIFY SUMP LOCATION W/ OWNER - PROVIDE 4" PERFORATED DRAIN @ BASE OF FOOTING IN 1" CLEAN CRUSHED STONE FOR ENTIRE PERIMETER OF BASEMENT. CONNECT TO SUMP
- FLOOR DRAIN - SLOPE FLOOR 1/8" / FT. TO DRAIN - VERIFY LOCATION W/ OWNER
- POURED IN PLACE CONCRETE STAIR - MIN 10" TREADS & MAX 1 1/2" RISERS
- DEPRESS FOUNDATION @ GARAGE DOOR & MAN DOOR
- 14" SQUARE OR 16"x8" CONCRETE PIER - MIN 30" BELOW GRADE
- FURNACE / A/C UNITS - COORDINATE W/ HVAC CONTRACTOR
- WATER HEATER
- MIN 200 AMP (599 AMPS MAX) ELECTRIC PANEL
- CODE APPROVED EMERGENCY EGRESS WINDOW - MAX SILL 44" AFF. - MIN 20" CLEAR OPENING WIDTH - MIN 24" CLEAR OPENING HEIGHT - MIN 5.7 SQ. FT. NET CLEAR OPENING OBTAINED BY NORMAL OPERATION OF THE WINDOW FROM THE INSIDE
- EMERGENCY EGRESS ESCAPE WELL BY BOULMAN KEMP OR EQUAL - SEE DETAIL
- PROVIDE NEW SEWER LINE TO MAIN @ STREET
- PROVIDE OPTION FOR NEW UNDERGROUND ELECTRIC SERVICE, MIN. 200 AMPS, NEW PANEL & CIRCUIT BREAKERS IN LIEU OF NEW SERVICE DROP FROM POLE. PANEL LOCATION TO BE COORDINATED BETWEEN ELECTRICIAN & OWNER
- CONNECT TO EXISTING U.G. WATER SERVICE TO STREET MAIN - MIN 12" @ - COORDINATE METER LOCATION W/ UTILITY COMPANY & OWNER
- CONNECT TO EXISTING U.G. GAS SERVICE TO STREET - COORDINATE METER LOCATION W/ UTILITY COMPANY & OWNER
- LINE INDICATES LIMIT OF CONCRETE PATIO ABOVE
- TWO (2) #5 BARS ALL AROUND WINDOW OPENING
- FOUR (4) P.T. 2x12 STRINGERS - EQUALLY SPACED
- 1 1/2" 360's TJI's @ 16" O.C.
- PROVIDE ROUGH IN FOR BATH - SEE SHEET A-2
- FIFTH STRINGER (PT. 2x12) FROM BASE OF STAIR TO WALL
- PROVIDE CONDUIT FOR OWNER SELECTED LANDSCAPE LIGHTING

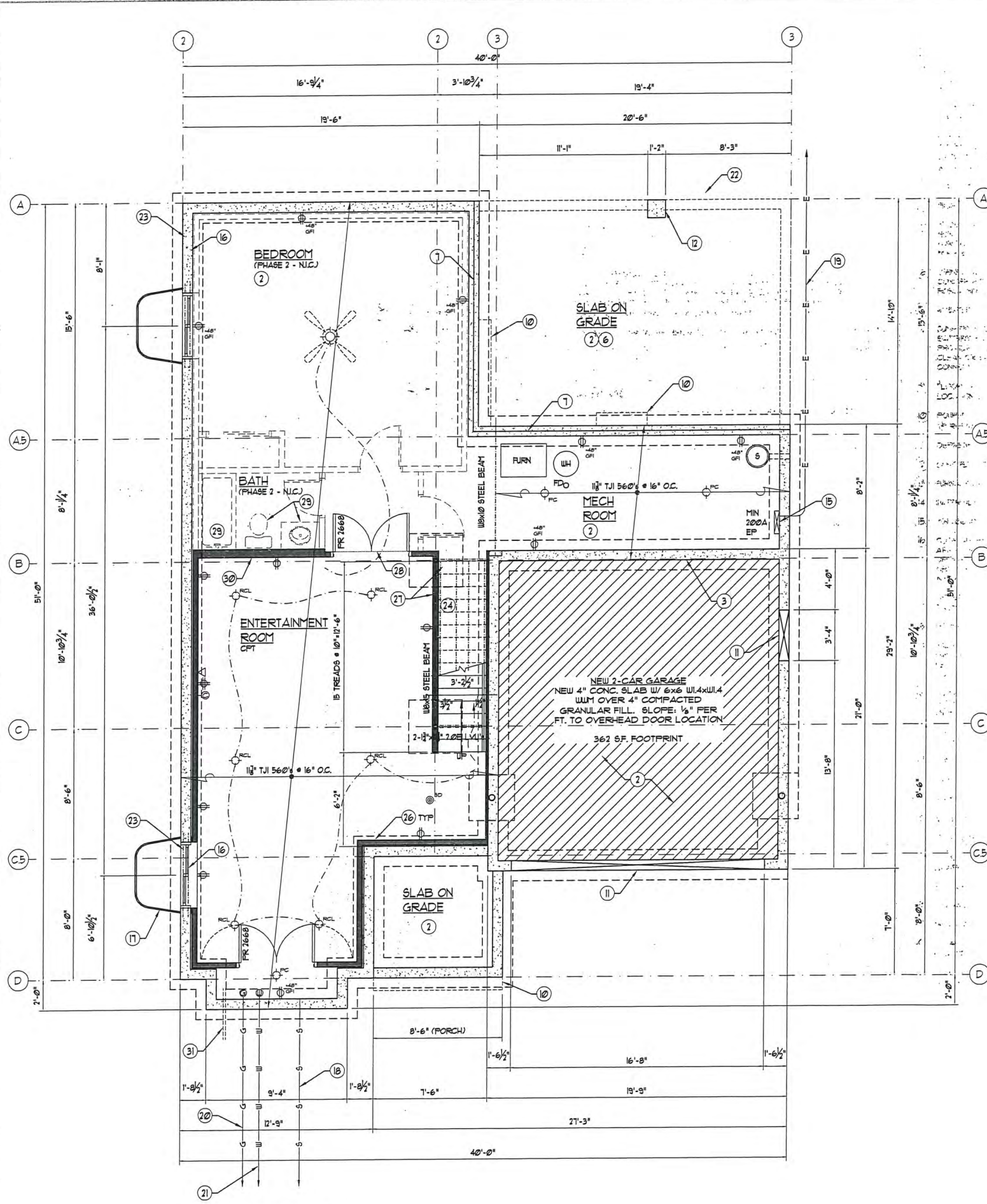


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Kirkwood, MO 63122



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Drawing Name:
Foundation Plan
Sheet No.
A-1



BASEMENT PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES:

ALL EXTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GUB ONE SIDE UNLESS OTHERWISE NOTED

ALL INTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GUB BOTH SIDES UNLESS OTHERWISE NOTED

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PROVIDE SOLID BLOCKING BENEATH GIRDER TRUSS BEARING POINTS TO FOUNDATION OR STEEL BEAM BELOW

ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL LIGHTS, FANS, RECEPTACLES, SWITCHES AND FLOOR RECEPTACLES WITH THE OWNER PRIOR TO SUBMITTING BID.

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DOUBLE FLOOR JOISTS EDNEATH PARTITIONS ABOVE

LUMBER NOTE:

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ALL LVL'S MIN 3/4" BEARING UNLESS OTHERWISE NOTED

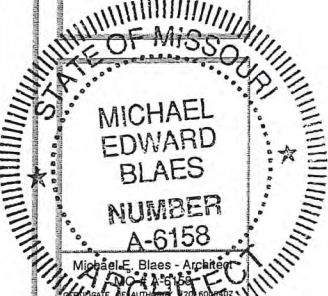
- BASEMENT PLAN KEYED NOTES:**
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 - TOP OF FOUNDATION WALL - MIN 4" ABOVE GARAGE SLAB
 - BEAM POCKET - GROUT SOLID - LEVEL W/ STEEL SHIMS
 - 3" DIA. OR 3" DIA. x 158 LB/FT. (SCHEDULE 40) FIXED, NON-ADJUSTABLE STL. PIPE COL. (WHERE OCCURS - SEE PLAN FOR DIAMETER) ON 3'-0" x 3'-0" x 12" TK (MIN) CONC. PAD W/ 3/4" @ 8" O.C. EACH WAY - SEE DETAIL
 - TURND DOWN CONC. SLAB W/ 10" CONTINUOUS POURED CONCRETE FOUNDATION WALL - MIN 2'-6" BELOW GRADE - SEE PORCH SECTION
 - 4" W/ELF FOR JOIST BEARING - SEE SECTION
 - 18"x18" FIT & PUMP W/ MIN 15"x18" DEEP W/ FITTED COVER W/ BATTERY BACKUP - VERIFY SUMP LOCATION W/ OWNER - PROVIDE 4"x4" PERFORATED DRAIN @ BASE OF FOOTING IN 1" CLEAN CRUSHED STONE FOR ENTIRE PERIMETER OF BASEMENT. CONNECT TO SUMP
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 - TWO (2) #5 BARS ALL AROUND WINDOW OPENING
 - FOUR (4) P.T. 2x12 STRINGERS - EQUALLY SPACED
 - 1 1/2" 360° TJI @ 16" O.C.
 - TYPICAL WALL FURRING - P.T. 2x4 SILL PLATE, 2x4 WOOD STUDS @ 16" O.C., MINIMUM R-10 INSULATION, 6 MIL VAPOR BARRIER & 1/2" GYPSUM BOARD - HOLD STUDS 1" OFF FOUNDATION WALL TO ENSURE STRAIGHT, PLUMB WALL SURFACE (PHASE 2 - N.I.C.)
 - 1/2" WOOD HANDRAIL & STAIR - SEE STAIR DETAILS
 - FLOORING CHANGE TRANSITION STRIP
 - PROVIDE ROUGH-IN FOR FUTURE BATH
 - COORDINATE WALL FRAMING & WIDTH W/ PLUMBING CHASE REQUIREMENTS
 - PROVIDE CONDUIT FOR OWNER SELECTED LANDSCAPE LIGHTING



Date:
June 7, 2021

REVISION (DATE-BY):

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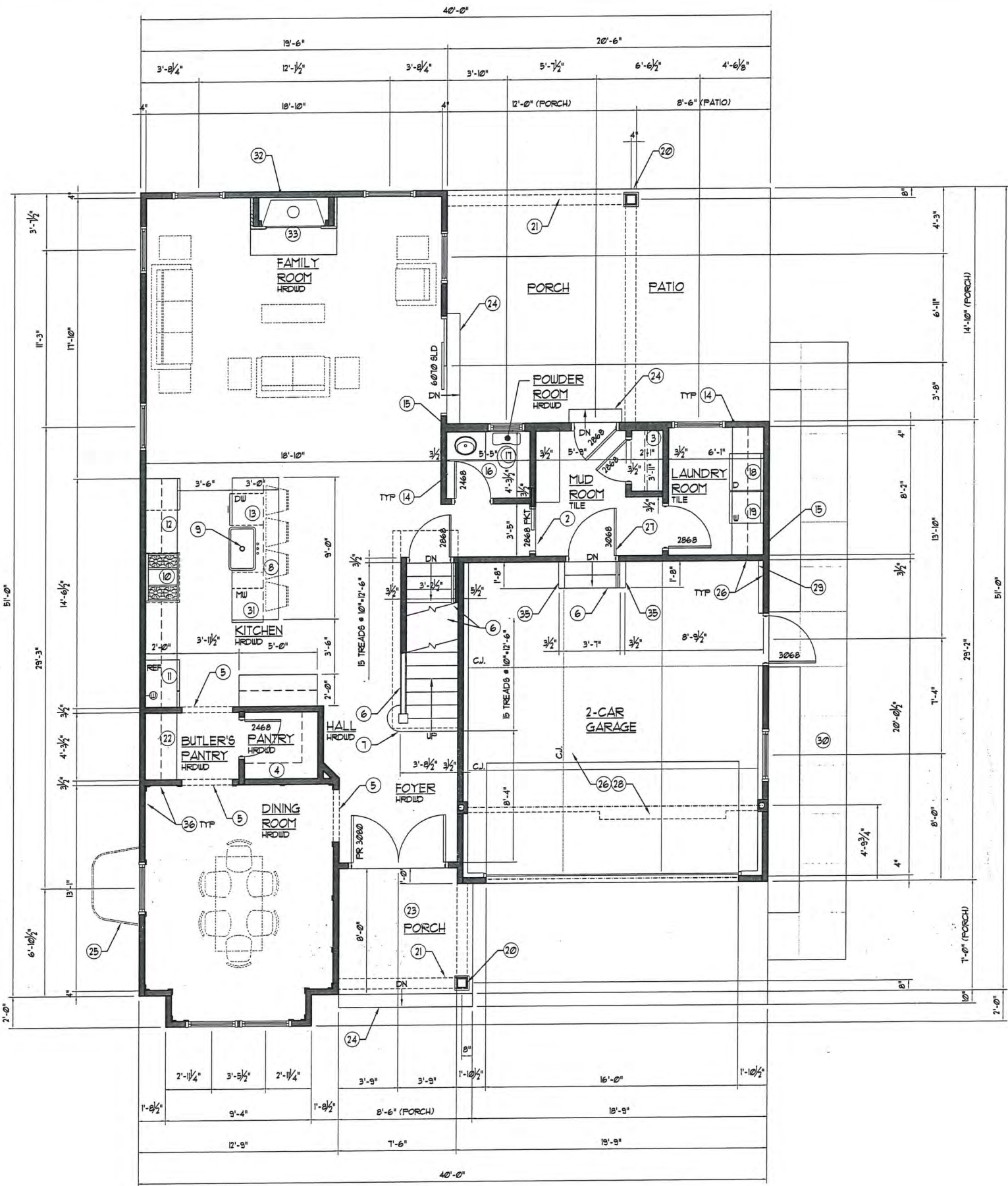
Michael E. Blaes - Architect
Professional Seal
STATE OF MISSOURI
MICHAEL EDWARD BLAES
NUMBER A-6158
ARCHITECT

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TS/BE

Checked By:

Drawing Name:
Basement Plan

Sheet No.
A-2



FLOOR PLAN NOTES:

ALL EXTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GIBS ONE SIDE UNLESS OTHERWISE NOTED

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DOUBLE FLOOR JOISTS BENEATH PARTITIONS ABOVE

LUMBER NOTE:

ALL STRUCTURAL & FRAMING LUMBER TO BE MIN #1 GRADE GYP OR BETTER

ALL LVL'S MIN 3/4" BEARING UNLESS OTHERWISE NOTED

- FIRST FLOOR KEYED NOTES:**
- 1 PROVIDE SOLID BLOCKING @ ALL BEARING POINTS TO STEEL OR CONC. STRUCTURE BELOW
 - 2 FLOORING CHANGE TRANSITION STRIP
 - 3 SHELF & CENTERPOLE
 - 4 MIN FOUR (4) ADJUSTABLE SHELVES
 - 5 CASED OPENING
 - 6 1/4" WOOD HANDRAIL @ STAIR - SEE STAIR DETAILS
 - 7 MIN 6" SQUARE NEUEL POST - COORDINATE SELECTION W/ OWNER
 - 8 ISLAND W/ BASE CABINETS - SEE KITCHEN DESIGNER'S PLANS FOR FINAL SIZE & LOCATION
 - 9 GARBAGE DISPOSAL W/ WALL SWITCH
 - 10 OVEN/RANGE W/ HOOD & LIGHTS - VENT DIRECTLY TO EXTERIOR - SEE KITCHEN DESIGNER'S PLAN
 - 11 REFRIGERATOR W/ WATER VALVE IN WALL FOR ICEMAKER
 - 12 COUNTERTOP W/ OWNER SELECTED TILE BACKSPASH - EXTEND TO WALL CABINETS - SEE KITCHEN DES. PLAN
 - 13 24" DISHWASHER - COORDINATE SELECTION W/ OWNER
 - 14 PROVIDE MR. GYP BD @ ALL BATH & LAUNDRY ROOM WALLS & CEILING FULL HEIGHT
 - 15 COORDINATE WALL FRAMING & WIDTH W/ PLUMBING CHASE REQUIREMENTS
 - 16 VANITY - COORDINATE SELECTION W/ CONTRACTOR
 - 17 TOILET - MIN 21" CLEAR IN FRONT OF FIXTURE PER IRC
 - 18 VENT DRYER TO EXTERIOR
 - 19 PROVIDE ALL-IN-ONE WASHER PLUMBING BOX W/ WASTE & W/C WATER SUPPLIES RECESSED IN STUD WALL - PROVIDE DRAIN PAN BENEATH WASHER (OR FLOOR DRAIN)
 - 20 8" SQUARE LOAD BEARING PERMACAST COLUMN W/ CAP & BASE BY HB4G OR APPROVED EQUAL
 - 21 PROFILE OF BOX BEAM ABOVE - SEE PORCH SECTION
 - 22 BUTLER'S PANTRY CABINETRY - COORDINATE SELECTION W/ OWNER
 - 23 POURED IN PLACE CONCRETE PORCH / PATIO SLAB - COORDINATE FINAL SLAB COLOR & FINISH W/ OWNER - SLOPE AWAY FROM HOUSE MIN 1/4" FT
 - 24 POURED IN PLACE CONCRETE STAIR - MIN 10" TREADS, MAX 1 1/2" RISERS - SEE SECTION
 - 25 EMERGENCY EGRESS WINDOW WELL
 - 26 PROVIDE 1/2" GYP BD @ ALL GARAGE WALLS & 3/8" TYPE 'X' GYP BD. @ GARAGE CEILING
 - 27 20 MINUTE FIRE DOOR OR 3/4" SOLID CORE WOOD DOOR OR MINIMUM 1 1/2" SOLID OR HONEYCOMB CORE STEEL DOOR
 - 28 4" CONC. SLAB W/ 6x6 W4x14 WUF OVER 10 MIL VAPOR BARRIER OVER 4" COMPACTED GRANULAR FILL. SLOPE 1/4" PER FT. (MIN) TO OVERHEAD DOOR LOCATIONS - PROVIDE ZIP STRIP CONTROL JOINTS @ 10'-0" O.C. EA/ WAY - MAG FINISH
 - 29 TOP OF FOUNDATION WALL - MIN 4" ABOVE GARAGE SLAB
 - 30 4" CONC. WALK W/ 6x6 W4x14 WUF OVER 4" COMPACTED GRANULAR FILL - PROVIDE TOOLED CONTROL JOINTS @ 5'-0" O.C. MAX. (LT. BROOM FINISH)
 - 31 BUILT-IN MICROWAVE OR MICROWAVE DRAWER - COORDINATE SELECTION W/ OWNER
 - 32 DIRECT VENT GAS FIREPLACE UNIT BY HEAT-N-GLO OR EQUAL - INSTALL PER MANUFACTURER'S SPECIFICATIONS
 - 33 MINIMUM 18" NON-COMBUSTIBLE HEARTH READILY DISTINGUISHED FROM SURROUNDING FLOOR AREA
 - 34 2" STONE VENEER @ FIREPLACE
 - 35 HALF WALL W/ 1x CAP - MIN 36" ABOVE STAIR NOSING - PROVIDE 1/4" WOOD HANDRAIL - SEE DETAIL
 - 36 3/4" CROWN MOLDING @ PERIMETER OF DINING ROOM
 - 37 OWNER SELECTED MICROWAVE DRAWER - INSTALL PER MANUFACTURER'S SPECIFICATIONS

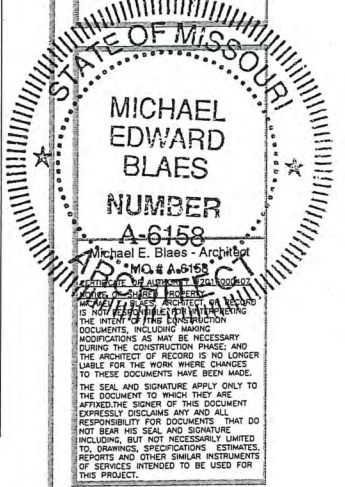


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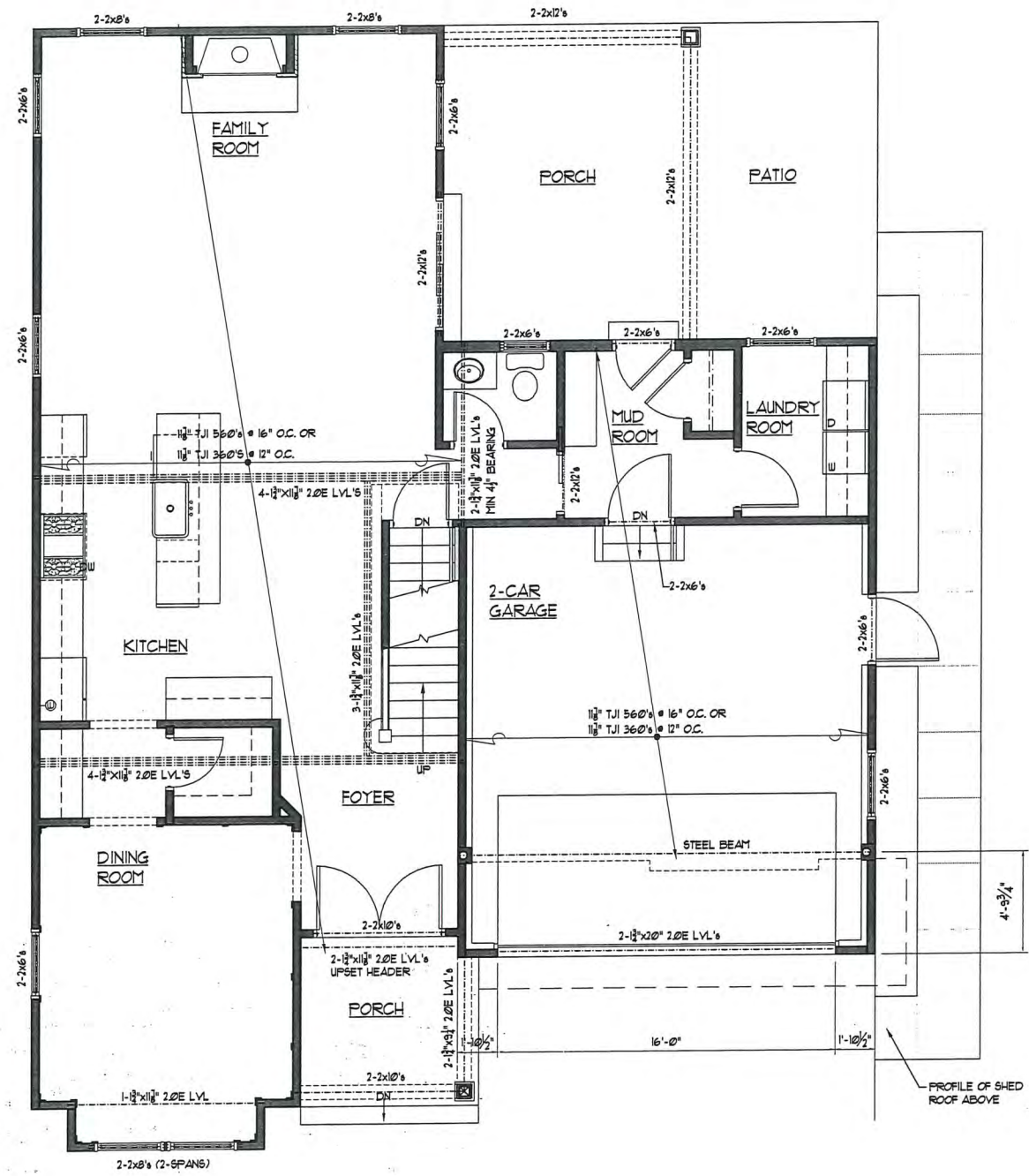


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Drawing Name:
 First Floor Plan

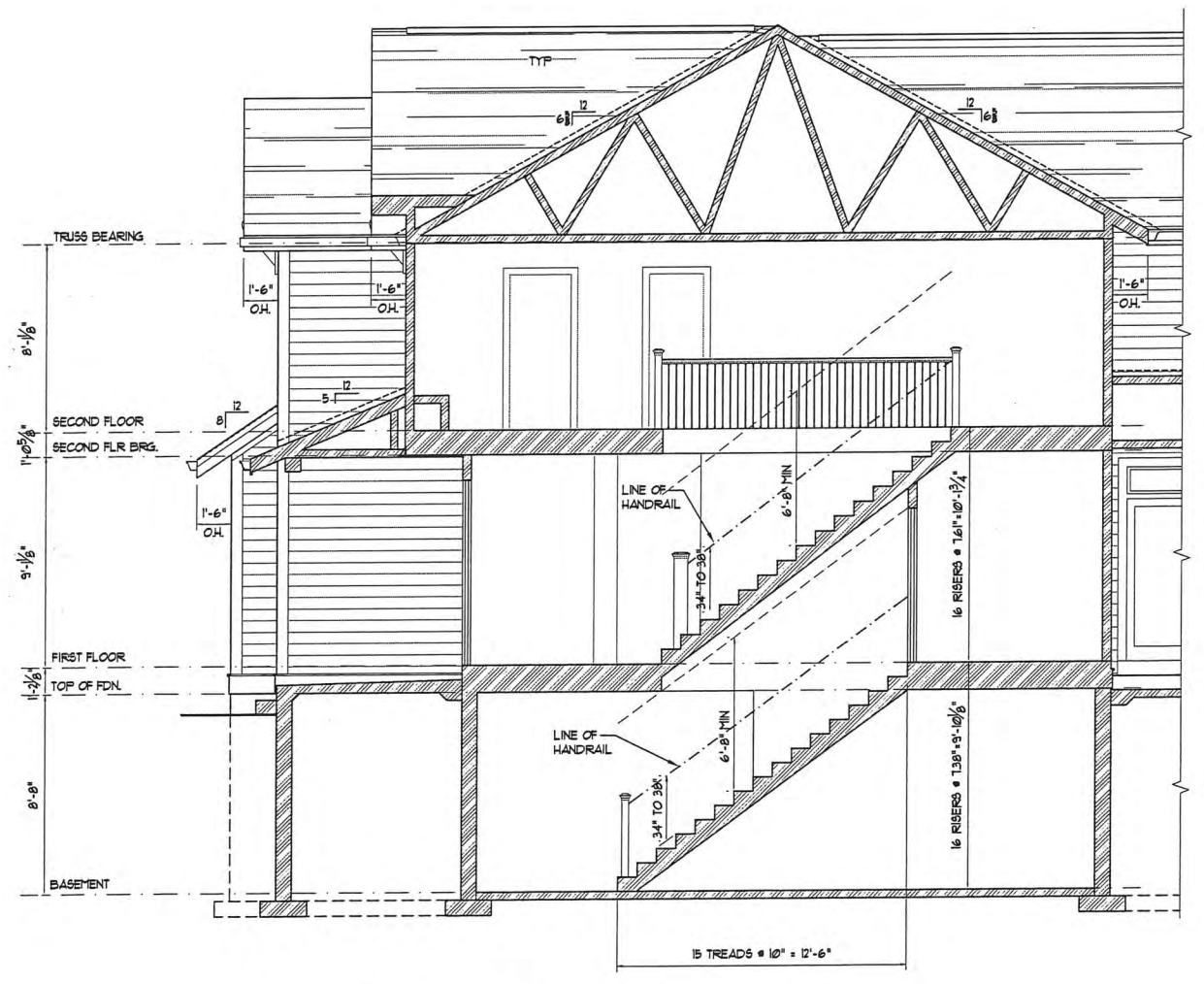
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A-3



FIRST FLOOR PLAN (W/ SECOND FLOOR FRAMING)
 1/4" = 1'-0"

LEADER NOTE:
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 ALL LVL'S MIN 3/4" BEARING UNLESS OTHERWISE NOTED

FLOOR PLAN NOTES:
 ALL EXTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GUB ONE SIDE UNLESS OTHERWISE NOTED
 ALL INTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GUB BOTH SIDES UNLESS OTHERWISE NOTED
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 DOUBLE FLOOR JOISTS BENEATH PARTITIONS ABOVE



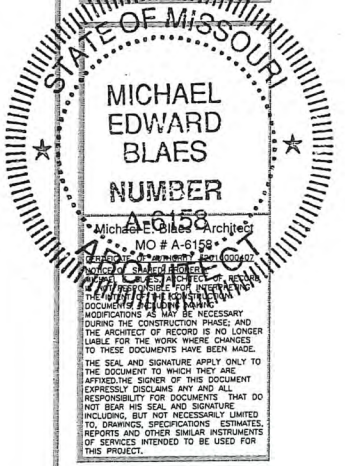
STAIR / BUILDING SECTION
 SCALE: 1/4" = 1'-0" (SPINDLES OMITTED FOR CLARITY)



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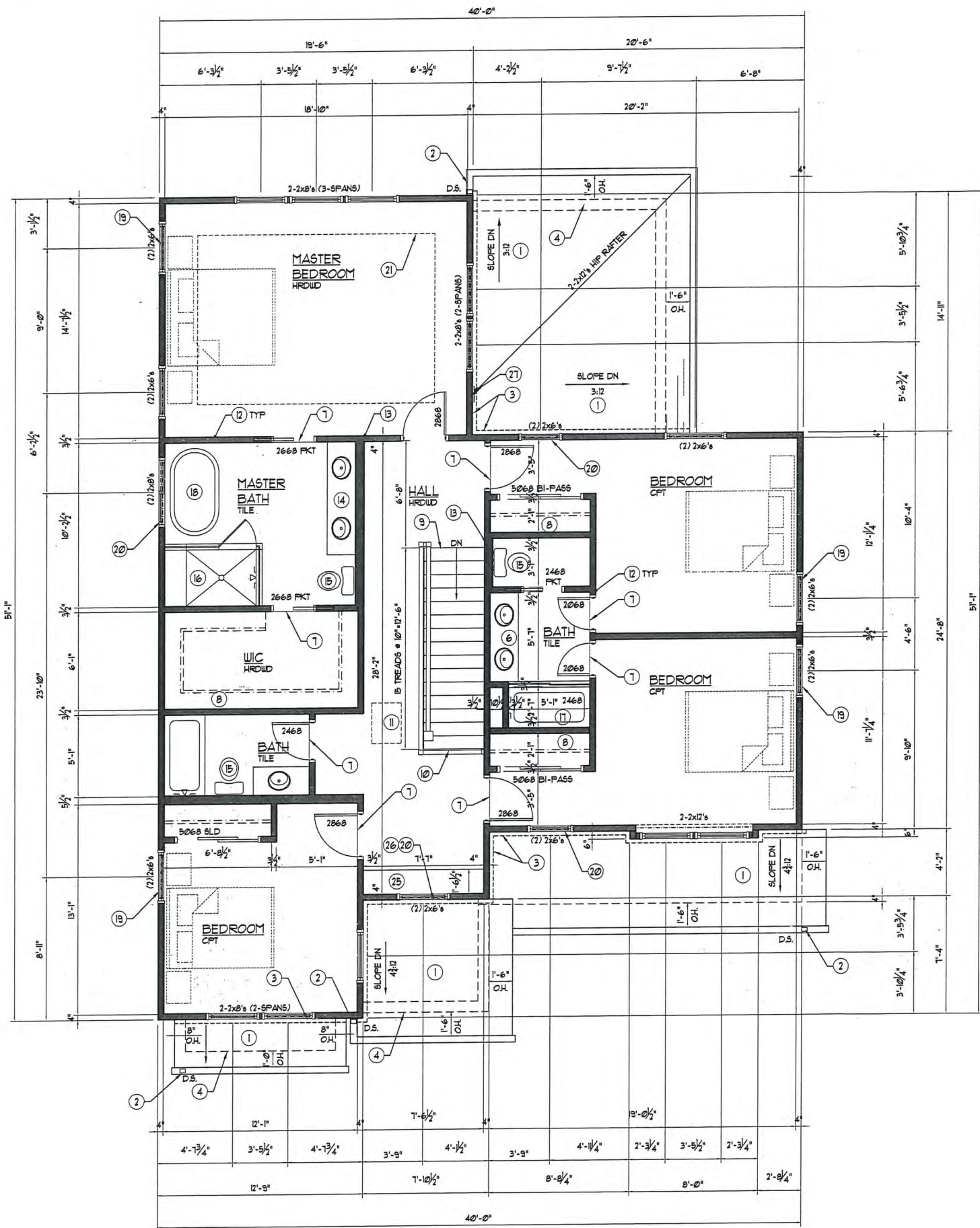


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Drawing Name:
 Framing Plan,
 Stair Section

Sheet No.
A-4



- SECOND FLOOR / ROOF PLAN KEYED NOTES:**
- 1 ASPHALT SHINGLES ON 1/2" ROOFING FELT & 1/2" STRUCTURAL WOOD PANELS
 - 2 5" ALUMINUM GUTTER & 3x4 D.S. - PROVIDE LEAF GUARDS
 - 3 CONTINUOUS ALUMINUM FLASHING - INTERLACE SHINGLES & ROOF VALLEYS W/ ICE & WATER SHIELD BELOW
 - 4 PROFILE OF STRUCTURE BELOW
 - 5 PROFILE OF WOOD BRACKET BELOW
 - 6 5'-0" DOUBLE VANITY - COORDINATE SELECTION W/ CONTRACTOR
 - 7 FLOORING CHANGE TRANSITION STRIP
 - 8 SHELF & CENTERPOLE
 - 9 1 1/4" WOOD HANDRAIL & STAIR - SEE STAIR DETAILS
 - 10 WOOD GUARDRAIL & NEWEL POST - SEE DETAIL
 - 11 MIN 22"x30" CODE REQUIRED ATTIC ACCESS HATCH
 - 12 PROVIDE MR. GYP BD @ ALL BATH WALLS & CEILING RILL HEIGHT
 - 13 COORDINATE WALL FRAMING & WIDTH W/ PLUMBING CHASE REQUIREMENTS
 - 14 T-0" VANITY - COORDINATE SELECTION W/ CONTRACTOR
 - 15 TOILET - COORDINATE SELECTION W/ CONTRACTOR
 - 16 CUSTOM SHOWER PAN & ENCLOSURE W/ TYPE II TEMPERED GLASS SHOWER ENCLOSURE
 - 17 5'-0" TUB/SHOWER COMBO UNIT - COORDINATE SELECTION W/ OWNER
 - 18 OWNER SELECTED FREE STANDING TUB
 - 19 CODE APPROVED EMERGENCY EGRESS WINDOW - MAX SILL 44" AFF. - MIN 20" CLEAR OPENING WIDTH - MIN 24" CLEAR OPENING HEIGHT - MIN 5.7 SQ FT NET CLEAR OPENING OBTAINED BY NORMAL OPERATION OF THE WINDOW FROM THE INSIDE
 - 20 PROVIDE TEMPERED GLASS @ WINDOWS ADJACENT TO DOOR SWINGS & HAZARDOUS LOCATIONS
 - 21 PROFILE OF TRAY CEILING ABOVE
 - 22 MIN FOUR (4) ADJUSTABLE SHELVES
 - 23 2x6 RAFTERS @ 2x6 CEILING JOISTS @ 24" O.C. W/ 2x12'S HIP RAFTERS OR PRE-ENGINEERED CODE APPROVED TRUSSES @ 24" O.C.
 - 24 2 1/2" TK WALL: 2x4 STUDS (FLAT) @ 16" O.C. W/ 1/2" GYP BD EA. SIDE
 - 25 18" HIGH AFF. BUILT IN BENCH SEAT - COORDINATE W/ OWNER
 - 26 PROVIDE TEMPERED GLASS & CODE REQUIRED FALL PROTECTION DEVICE @ WINDOW ABOVE BENCH SEAT
 - 27 FACE MOUNT HANGER: SIMPSON HUI20-2X SKL45SLD10
 - 28 3'-6" VANITY - COORDINATE SELECTION W/ CONTRACTOR
 - 29 3'-0" x 5'-0" SHOWER PAN W/ TEMPERED GLASS SHOWER DOOR

- FLOOR PLAN NOTES:**
- ALL EXTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GUB ONE SIDE UNLESS OTHERWISE NOTED
- ALL INTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GUB BOTH SIDES UNLESS OTHERWISE NOTED
- PROVIDE DOUBLE JOISTS UNDER WALLS PARALLEL TO JOIST SPANS
- PROVIDE SOLID BLOCKING BENEATH GIRDER TRUSS BEARING POINTS TO FOUNDATION OR STEEL BEAM BELOW
- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL LIGHTS, FANS, RECEPTACLES, SWITCHES AND FLOOR RECEPTACLES WITH THE OWNER PRIOR TO SUBMITTING BID.
- MECHANICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL SUPPLY DUCTS & SIZE OF ANY PENETRATIONS THRU FDN WALLS & ROUTING OF SUPPLY/RETURN DUCTS PRIOR TO SUBMITTING BID.
- THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE CONTINUOUS SHEATHING METHOD WITH CORNER FRAMING OF SECTION R602.10.4.1 OF THE 2009 EDITION OF IRC. (ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL PANELS)

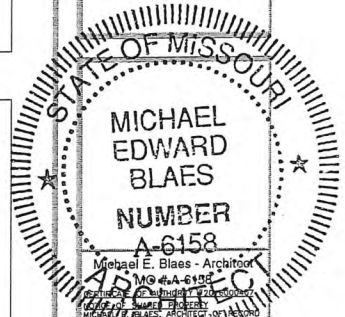
LUMBER NOTE:
ALL STRUCTURAL & FRAMING LUMBER TO BE MIN # GRADE SYP OR BETTER



Date:
June 7, 2021

REVISION (DATE-BY):

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STL Homebuyers, LLC
411 West Adams Avenue
Kirkwood, MO 63122

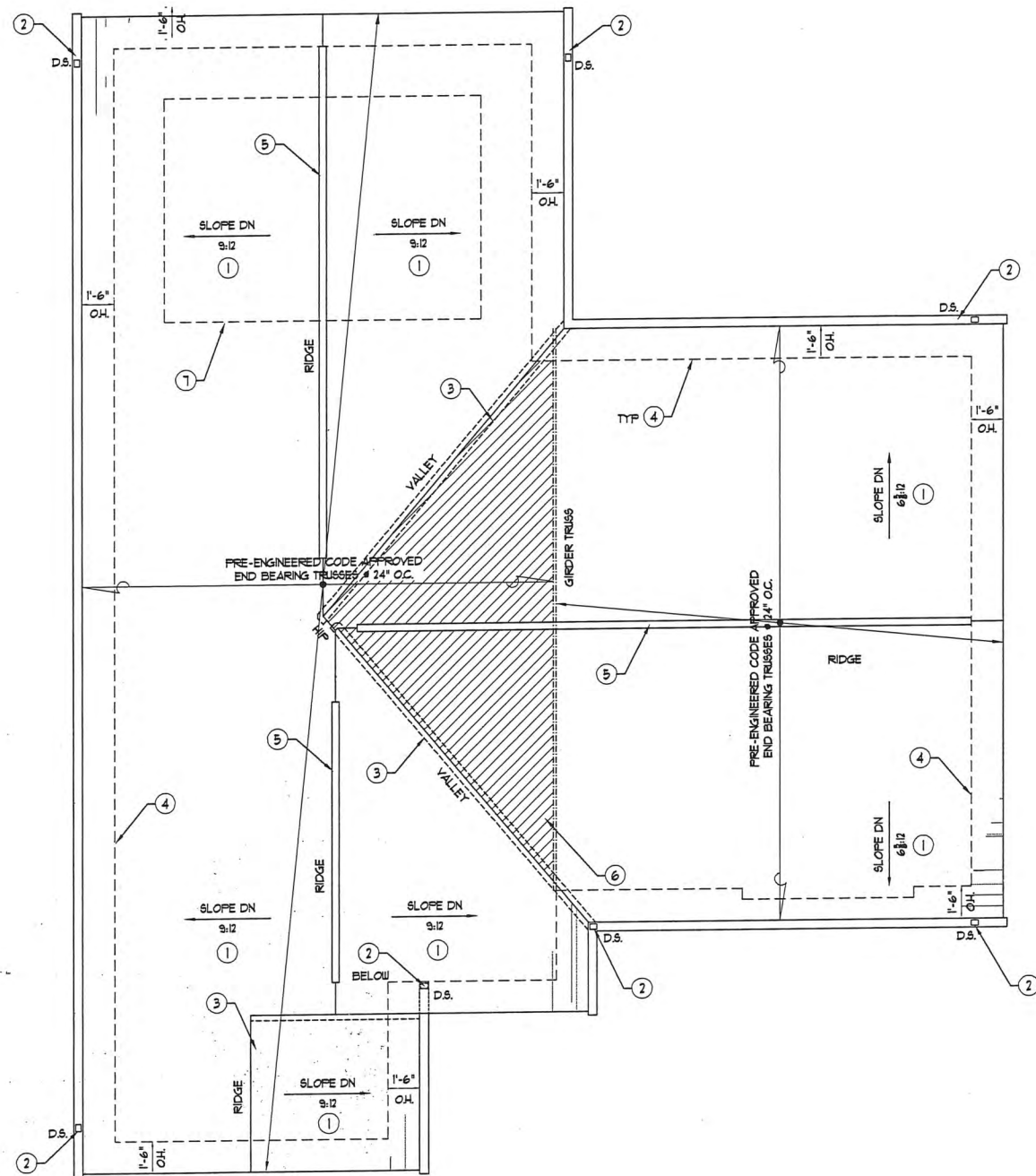


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TS/BE

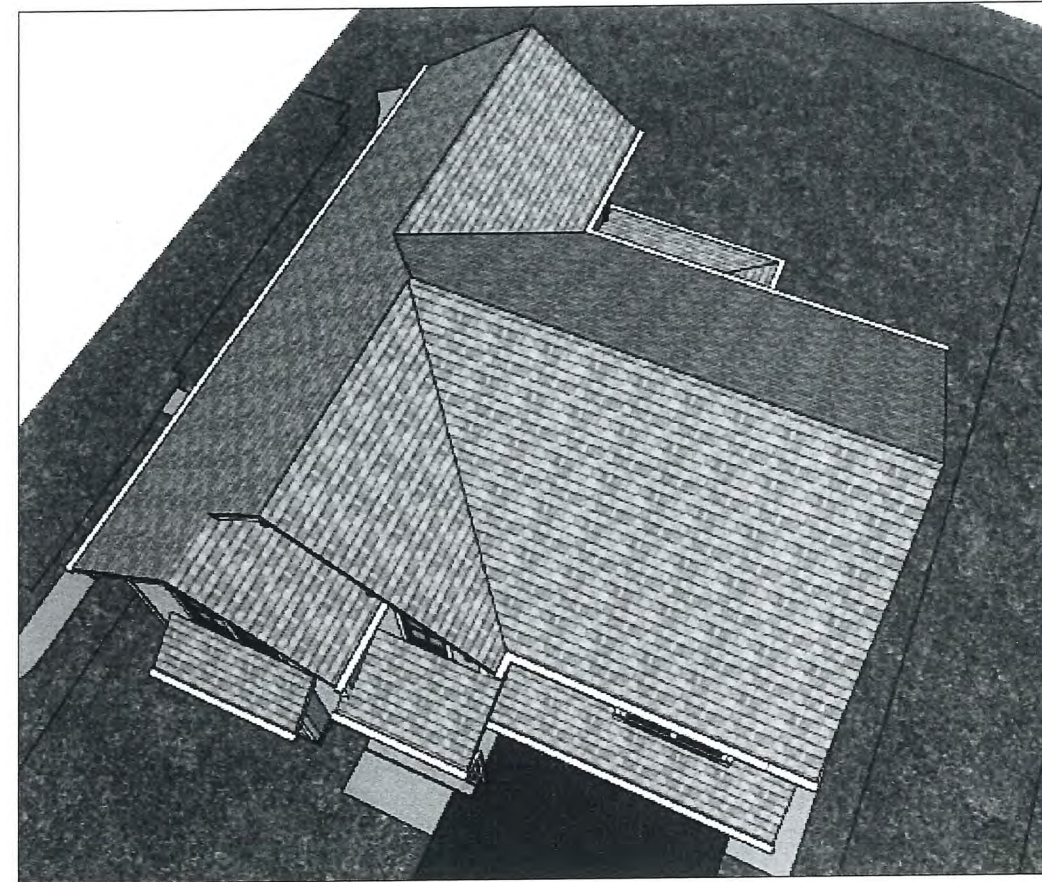
Checked By:

Drawing Name:
Second Floor Plan

Sheet No.
A-5



ROOF PLAN
1/4" = 1'-0"



1 ROOF RENDERING
A-6 SCALE: N.T.S.

FLOOR PLAN NOTES:

ALL EXTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. w/ 1/2" WOOD STRUCTURAL PANELS ONE SIDE & 1/2" GIB ONE SIDE UNLESS OTHERWISE NOTED

ALL INTERIOR WALLS 2x4 WOOD STUDS @ 16" O.C. w/ 1/2" GIB BOTH SIDES UNLESS OTHERWISE NOTED

PROVIDE DOUBLE JOISTS UNDER WALLS PARALLEL TO JOIST SPANS

PROVIDE SOLID BLOCKING BENEATH GIRDER TRUSS BEARING POINTS TO FOUNDATION OR STEEL BEAM BELOW

ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL LIGHTS, FANS, RECEPTACLES, SWITCHES AND FLOOR RECEPTACLES WITH THE OWNER PRIOR TO SUBMITTING BID.

MECHANICAL CONTRACTOR TO COORDINATE FINAL LOCATION & QUANTITY OF ALL SUPPLY DUCTS & SIZE OF ANY PENETRATIONS THRU FDN WALLS & ROUTING OF SUPPLY/RETURN DUCTS PRIOR TO SUBMITTING BID.

THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE CONTINUOUS SHEATHING METHOD WITH CORNER FRAMING OF SECTION R6-02.10.41 OF THE 2009S EDITION OF IRC. (ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL PANELS)

ROOF PLAN KEYED NOTES:

- 1 ASPHALT SHINGLES ON 15" ROOFING FELT & 1/2" STRUCTURAL WOOD PANELS
- 2 5" ALUMINUM GUTTER & 3x4 D.S. - PROVIDE LEAF GUARDS
- 3 CONTINUOUS ALUMINUM FLASHING - INTERLACE SHINGLES @ ROOF VALLEYS w/ ICE & WATER SHIELD BELOW
- 4 PROFILE OF STRUCTURE BELOW
- 5 CONTINUOUS RIDGE VENT
- 6 HATCHING INDICATES AREA OF 2x OVERFRAMING.
- 7 PROFILE OF TRAY CEILING BELOW - SEE SECOND FLOOR PLAN & ELEVATIONS
- 8 STANDING SEAM METAL ROOF - INSTALL PER MANUFACTURER'S SPECIFICATIONS

LUMBER NOTE:

ALL STRUCTURAL & FRAMING LUMBER TO BE MIN #1 GRADE SYP OR BETTER

ROOF NOTE:

SEE SECOND FLOOR / ROOF PLAN ON SHEET A-5 FOR BALANCE OF PORCH & BAY ROOF NOTES & DIMENSIONS

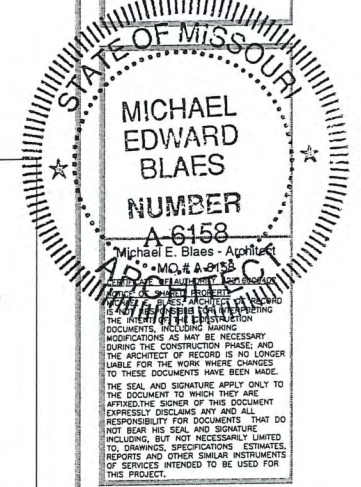


Blaes Architects, LLC
Michael E. Blaes, AIA at Tuscedo Park Station
643 Glen Road Webster Groves, MO 63119
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STL Homebuyers, LLC
411 West Adams Avenue
Kirkwood, MO 63122

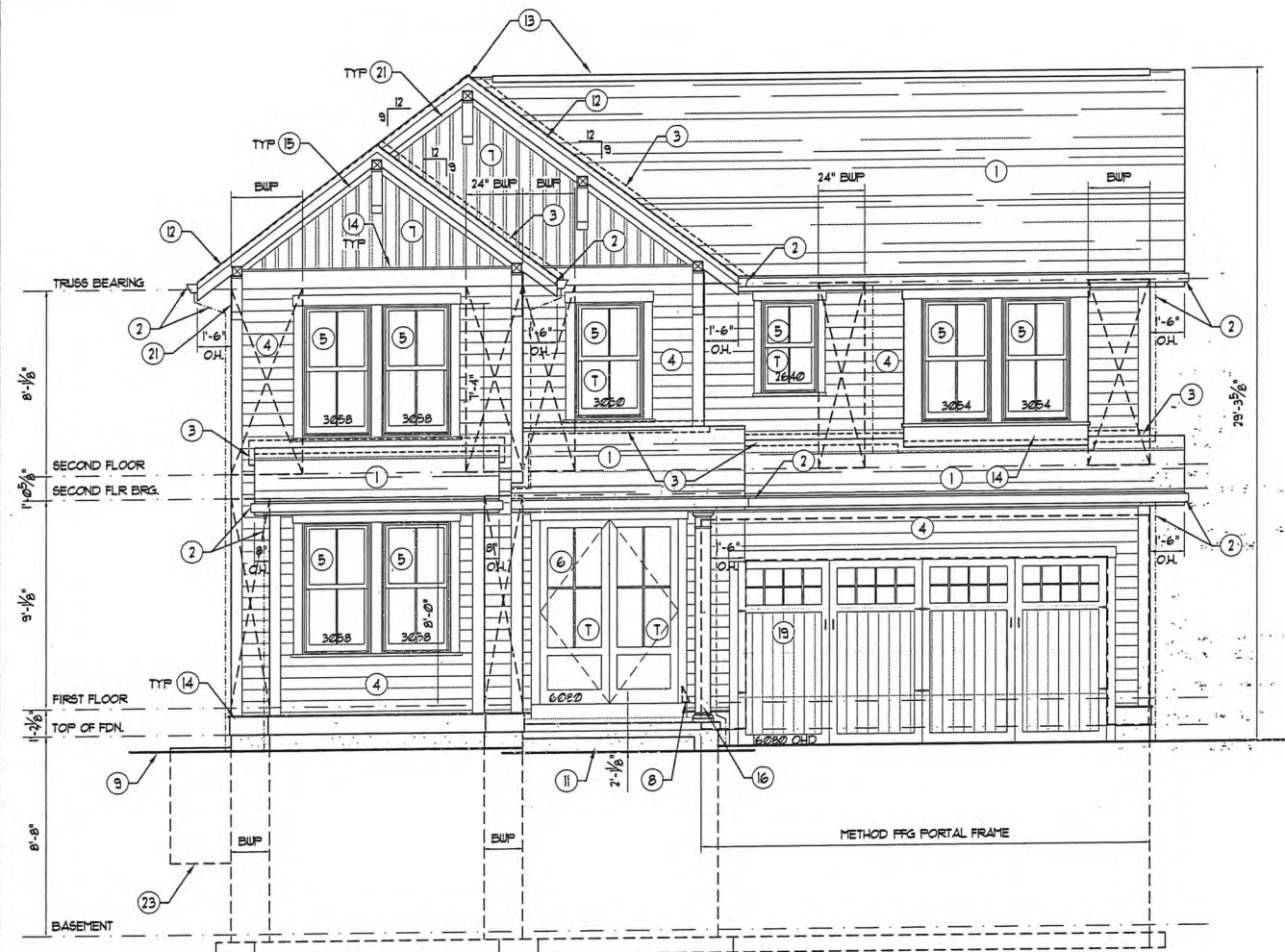


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TS/BE

Checked By:

Drawing Name:
Roof Plan

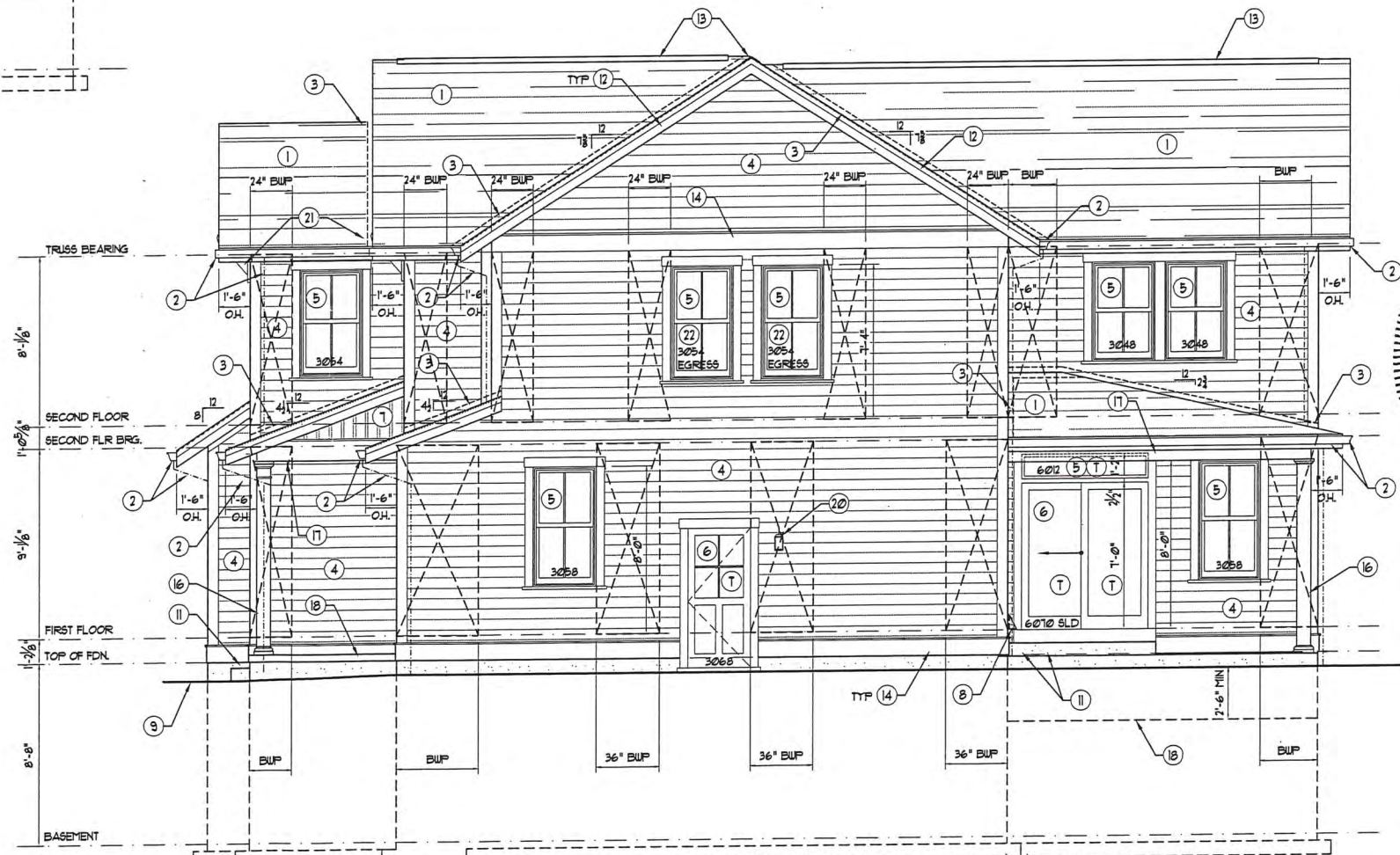
Sheet No.
A-6



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0" (T) = TEMPERED GLASS

ELEVATION KEYED NOTES:

- 1 ROOFING:
MATERIAL: ARCHITECTURAL ASPHALT SHINGLES
MANUFACTURER: GAF
PRODUCT NAME: DESIGNER SHINGLES
WARRANTY: 50 YEAR MINIMUM
COLOR: DK GRAY - 'STORM CLOUD'
MISC: INSTALL SOFFIT VENTS & CONTINUOUS ROOF RIDGE VENTS
- 2 GUTTERS & DOWNSPOUTS:
MATERIAL: ALUMINUM
SIZE: 5" 3x4 DOWNSPOUTS W/ BRACKETS
PROFILE: OGEE
COLOR: WHITE, D.S.
MISC: 1x8 GUTTER BD. & CONTINUOUS ALUMINUM GUTTER & DOWNSPOUT W/ OPTIONAL LEAF GUARDS
- 3 FLASHING:
MATERIAL: CORROSION-RESISTANT METAL FLASHING (ALUM)
* ROOF/WALL: CORROSION-RESISTANT METAL FLASHING (ALUM)
* ROOF VALLEYS: INTERLACE SHINGLES W/ ICE & WATER SHIELD BELOW MISC:
- 4 VINYL LAP SIDING:
MANUFACTURER: T.B.D.
MATERIAL: VINYL LAP SIDING
PROFILE: 6" EXPOSURE LAP W/ 6" CORNER TRIM
COLOR: 'CYPRESS'
WINDOW TRIM: 4" - WHITE
SOFFITS: VENTED VINYL OR ALUM.
BEADED SOFFITS
ALUMINUM WRAP * ALL FASCIAS
- 5 WINDOWS: (SIZES SHOWN IN FT.-IN, NOM. UNIT SIZE)
MANUFACTURER: JELD WEN
MATERIAL: PREMIUM VINYL
GLASS: INSULATED, LOW E
MUNTINS: GBG - AS SHOWN
COLOR: STONE WHITE EXTERIOR, PRE-FINISH WHITE INTERIOR
HARDWARE: STANDARD - WHITE
SCREENS: CHARCOAL / WHITE FRAMES
JAMB THICKNESS: 4 3/16"
WINDOW TRIM: 4"
MISC: MANUFACTURER TO FIELD VERIFY SIZES AND LOCATIONS W/ OWNER PRIOR TO ORDERING. DOUBLE HUNG WINDOW PAIRS TO HAVE SUPPORT MULLION - HEADERS SIZED ACCORDINGLY
MINIMUM U-FACTOR = 0.35
- 6 DOORS: (SIZES SHOWN IN FT.-IN, NOM. UNIT SIZE)
MANUFACTURER: T.B.D.
MATERIAL: CLAD WOOD UNITS
GLASS: INSULATED, LOW E
MUNTINS: SDL, AS SHOWN
COLOR: (WHITE)
HARDWARE: STANDARD
SCREENS: CHARCOAL / WHITE FRAMES
JAMB THICKNESS: 4 3/16"
DOOR TRIM: 4"
MISC: MANUFACTURER TO FIELD VERIFY SIZES AND LOCATIONS W/ OWNER PRIOR TO ORDERING
- 7 BOARD & BATTEN SIDING:
MANUFACTURER: T.B.D.
MATERIAL: VINYL BOARD & BATTEN
PROFILE: 15" BATTENS @ 1" O.C.
COLOR: 'CYPRESS'
WINDOW TRIM: 4" - WHITE, 2" BRICK MOULD * MASONRY
SOFFITS: VENTED VINYL OR ALUM.
BEADED SOFFITS
ALUMINUM WRAP * ALL FASCIAS
- 8 800° HOLD DOWN DEVICE - SEE DETAIL
- 9 APPROXIMATE GRADE LINE
- 10 CONC. WALL & FOOTING - MIN 30" BELOW GRADE - SEE SECTIONS
- 11 POURED IN PLACE CONCRETE STEP - MIN 10" TREADS, MAX 13" RISERS
- 12 RAKE TRIM - SEE DETAIL
- 13 CONTINUOUS RIDGE VENT
- 14 1x CPVC BAND BOARD & WATER TABLE - SEE SECTION
- 15 1x CPVC TRIM
- 16 8" SQUARE LOAD BEARING COLUMN W/ CAP & BASE BY HB4G OR EQUAL - SEE SECTION
- 17 BOX BEAM - SEE SECTION
- 18 TURNED DOWN PORCH SLAB - SEE SECTION
- 19 16000 (FT.-IN, NOM) OVERHEAD 'CARRIAGE STYLE' DOOR BY OVERHEAD DOOR OF ST. LOUIS - 61M TO STYLE SHOWN
- 20 EXTERIOR WALL MOUNTED LIGHT FIXTURE - COORDINATE SELECTION W/ OWNER
- 21 DECORATIVE WOOD BRACKET - SEE DETAIL
- 22 CODE APPROVED EMERGENCY EGRESS WINDOW - MAX SILL 44" AFF. - MIN 20" CLEAR OPENING WIDTH - MIN 24" CLEAR OPENING HEIGHT - MIN 5.7 SQ FT NET CLEAR OPENING OBTAINED BY NORMAL OPERATION OF THE WINDOW FROM THE INSIDE
- 23 EMERGENCY EGRESS ESCAPE WELL W/ LADDER & COVER BY BOLMAN KEMP OR EQUAL - SEE DETAIL - INSTALL PER MANUFACTURER'S SPECIFICATIONS

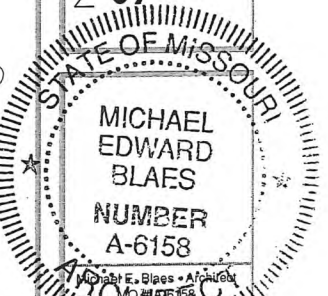


2 WEST ELEVATION
SCALE: 1/4" = 1'-0" (T) = TEMPERED GLASS



Date:
June 7, 2021
REVISION (DATE-BY):

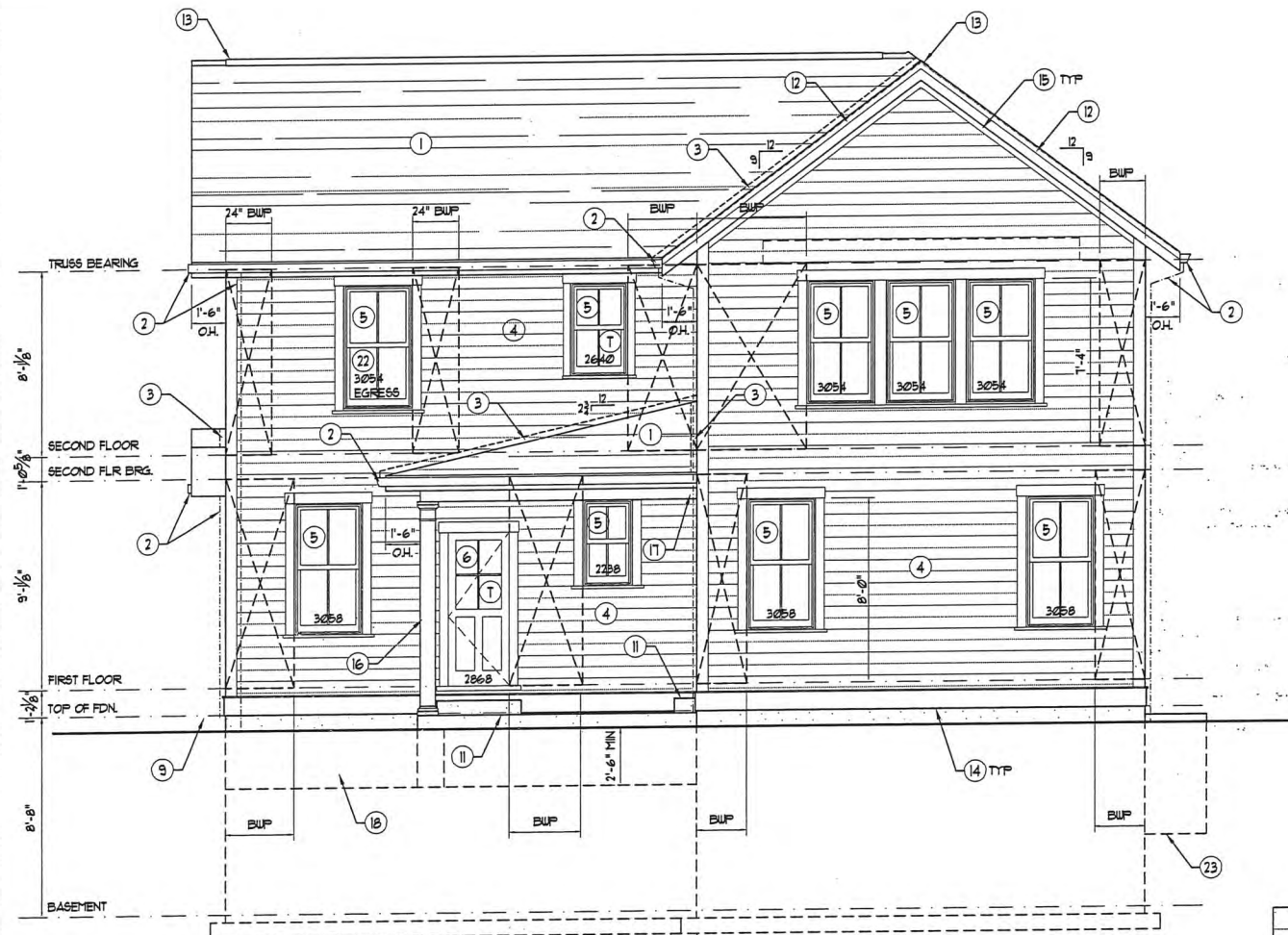
for:
STL Homebuyers, LLC
411 West Adams Avenue
Kirkwood, MO 63122



MICHAEL E. BLAES, ARCHITECT
I, MICHAEL E. BLAES, ARCHITECT, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF MISSOURI AND THAT I AM THE ARCHITECT OF RECORD FOR THE PROJECT DESCRIBED IN THESE DOCUMENTS. I AM NOT RESPONSIBLE FOR INTERPRETING OR FOR THE ACCURACY OF THE INFORMATION CONTAINED IN THESE DOCUMENTS. I AM NOT RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THESE DOCUMENTS THAT DO NOT BEAR MY SEAL AND SIGNATURE. I AM NOT RESPONSIBLE FOR ANY CHANGES TO THESE DOCUMENTS THAT DO NOT BEAR MY SEAL AND SIGNATURE. I AM NOT RESPONSIBLE FOR ANY CHANGES TO THESE DOCUMENTS THAT DO NOT BEAR MY SEAL AND SIGNATURE. I AM NOT RESPONSIBLE FOR ANY CHANGES TO THESE DOCUMENTS THAT DO NOT BEAR MY SEAL AND SIGNATURE.

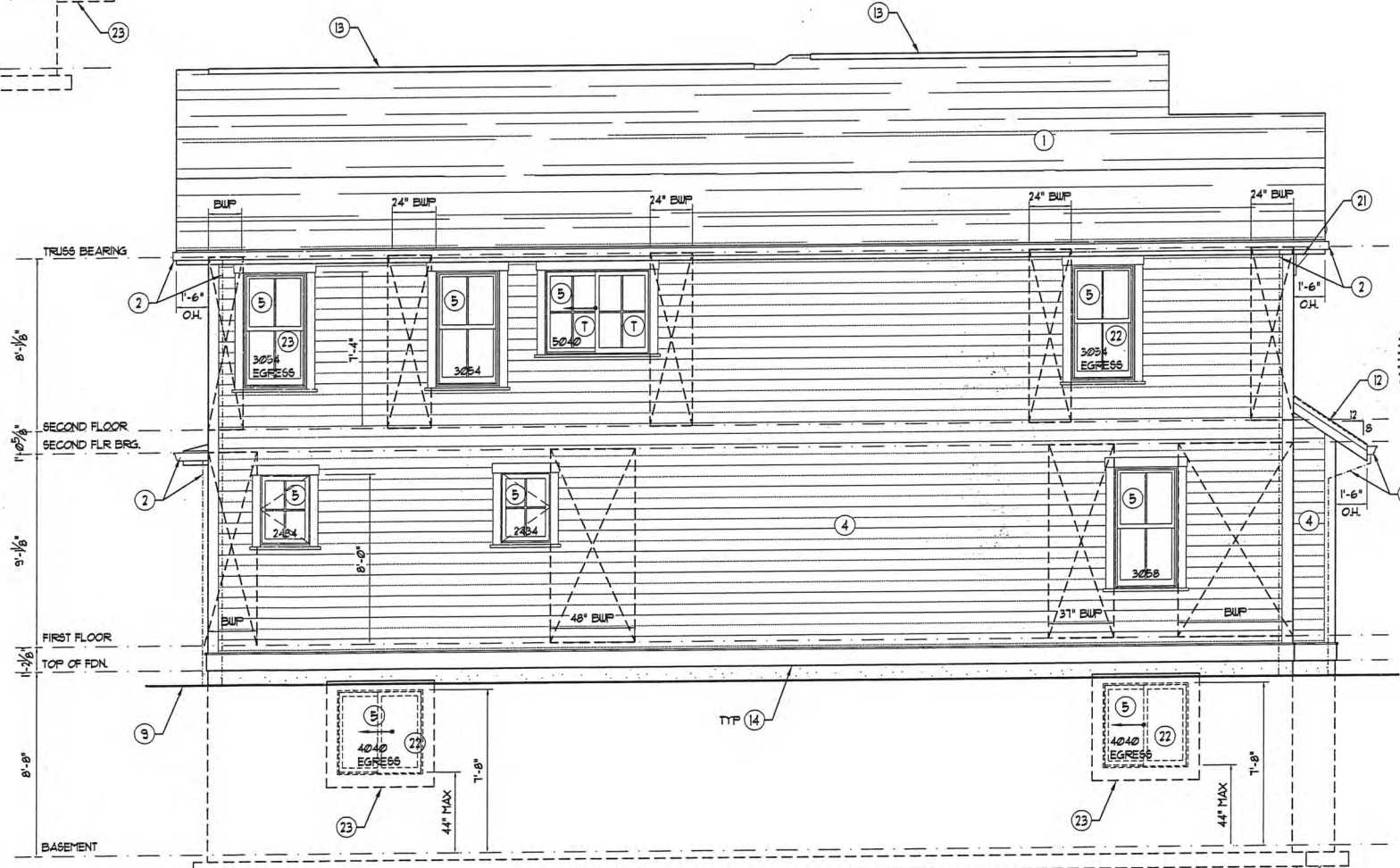
Drawn By:
TS/BE
Checked By:
Drawing Name:
Elevations

Sheet No.
A-8



1 SOUTH ELEVATION
A-9 SCALE: 1/4" = 1'-0" (T) = TEMPERED GLASS

- ELEVATION KEYED NOTES:**
- 1 ROOFING:
MATERIAL: ARCHITECTURAL ASPHALT SHINGLES
MANUFACTURER: GAF
PRODUCT NAME: DESIGNER SHINGLES
WARRANTY: 50 YEAR MINIMUM
COLOR: DK GRAY - 'STORM CLOUD'
MISC: INSTALL SOFFIT VENTS & CONTINUOUS ROOF RIDGE VENTS
 - 2 GUTTERS & DOWNSPOUTS:
MATERIAL: ALUMINUM
SIZE: 5" 3x4 DOWNSPOUTS W/ BRACKETS
PROFILE: OGEE
COLOR: WHITE, D.S.
MISC: 1/2" GUTTER BD. & CONTINUOUS ALUMINUM GUTTER & DOWNSPOUT W/ OPTIONAL LEAF GUARDS
 - 3 FLASHING:
MATERIAL: CORROSION-RESISTANT METAL FLASHING (ALUM)
ROOF/WALL: CORROSION-RESISTANT METAL FLASHING (ALUM)
ROOF VALLEYS: INTERLACE SHINGLES W/ ICE & WATER SHIELD BELOW
MISC:
 - 4 VINYL LAP SIDING:
MANUFACTURER: T.B.D.
MATERIAL: VINYL LAP SIDING
PROFILE: 6" EXPOSURE LAP W/ 6" CORNER TRIM
COLOR: 'CYPRESS'
WINDOW TRIM: 4" - WHITE
SOFFITS: VENTED VINYL OR ALUM.
ALUMINUM WRAP = ALL FASCIAS
 - 5 WINDOWS: (SIZES SHOWN IN FT.-IN, NOM. UNIT SIZE)
MANUFACTURER: JELD WEN
MATERIAL: PREMIUM VINYL
GLASS: INSULATED, LOW E
MUNTINS: AS SHOWN
COLOR: STONE WHITE EXTERIOR, PRE-FINISH WHITE INTERIOR
HARDWARE: STANDARD
SCREENS: CHARCOAL / WHITE FRAMES
JAMB THICKNESS: 4 3/16"
WINDOW TRIM: 4"
MISC: MANUFACTURER TO FIELD VERIFY SIZES AND LOCATIONS W/ OWNER PRIOR TO ORDERING. DOUBLE HUNG WINDOW PAIRS TO HAVE SUPPORT MULLION - HEADERS SIZED ACCORDINGLY
MINIMUM U-FACTOR = 0.35
 - 6 DOORS: (SIZES SHOWN IN FT.-IN, NOM. UNIT SIZE)
MANUFACTURER: T.B.D.
MATERIAL: CLAD WOOD UNITS
GLASS: INSULATED, LOW E
MUNTINS: SDL, AS SHOWN
COLOR: (WHITE)
HARDWARE: STANDARD
SCREENS: CHARCOAL / WHITE FRAMES
JAMB THICKNESS: 4 3/16"
DOOR TRIM: 4"
MISC: MANUFACTURER TO FIELD VERIFY SIZES AND LOCATIONS W/ OWNER PRIOR TO ORDERING
 - 7 BOARD & BATTEN SIDING:
MANUFACTURER: T.B.D.
MATERIAL: VINYL BOARD & BATTEN
PROFILE: 15" BATTENS @ 1" O.C.
COLOR: 'CYPRESS'
WINDOW TRIM: 4" - WHITE, 2" BRICK MOULD
MASONRY
SOFFITS: VENTED VINYL OR ALUM.
ALUMINUM WRAP = ALL FASCIAS
 - 8 800# HOLD DOWN DEVICE - SEE DETAIL
 - 9 APPROXIMATE GRADE LINE
 - 10 CONC. WALL & FOOTING - MIN 30" BELOW GRADE - SEE SECTIONS
 - 11 Poured in PLACE CONCRETE STEP - MIN 10" TREADS, MAX 1 1/2" RISERS
 - 12 RAKE TRIM - SEE DETAIL
 - 13 CONTINUOUS RIDGE VENT
 - 14 1x CPVC BAND BOARD & WATER TABLE - SEE SECTION
 - 15 1x CPVC TRIM
 - 16 8" SQUARE LOAD BEARING COLUMN W/ CAP & BASE BY HB#4 OR EQUAL - SEE SECTION
 - 17 BOX BEAM - SEE SECTION
 - 18 TURNED DOWN PORCH SLAB - SEE SECTION
 - 19 16200 (FT.-IN, NOM.) OVERHEAD 'CARRIAGE STYLE' DOOR BY OVERHEAD DOOR OF ST. LOUIS - 61M TO STYLE SHOWN
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 - 23 EMERGENCY EGRESS ESCAPE WELL W/ LADDER & COVER BY BOLMAN KEMP OR EQUAL - SEE DETAIL - INSTALL PER MANUFACTURER'S SPECIFICATIONS

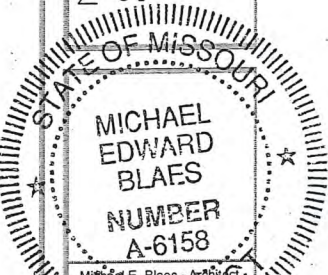


1 EAST ELEVATION
A-9 SCALE: 1/4" = 1'-0" (T) = TEMPERED GLASS

Blaes Architects, LLC
Michael E. Blaes, AIA at Tweedo Park Station
643 Glen Road, Webster Groves, MO 63119
www.blaesdesign.com (314) 966-9202
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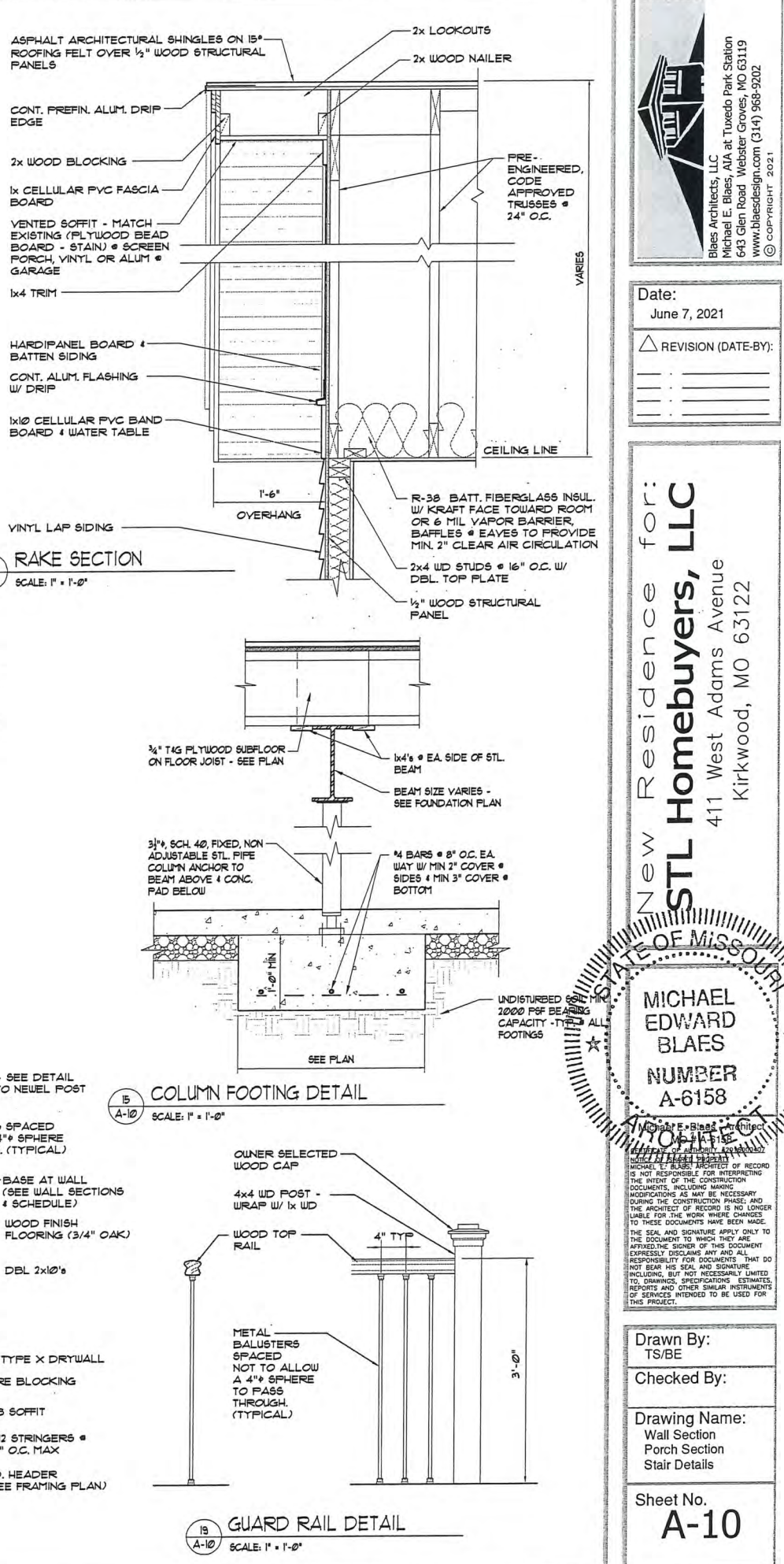
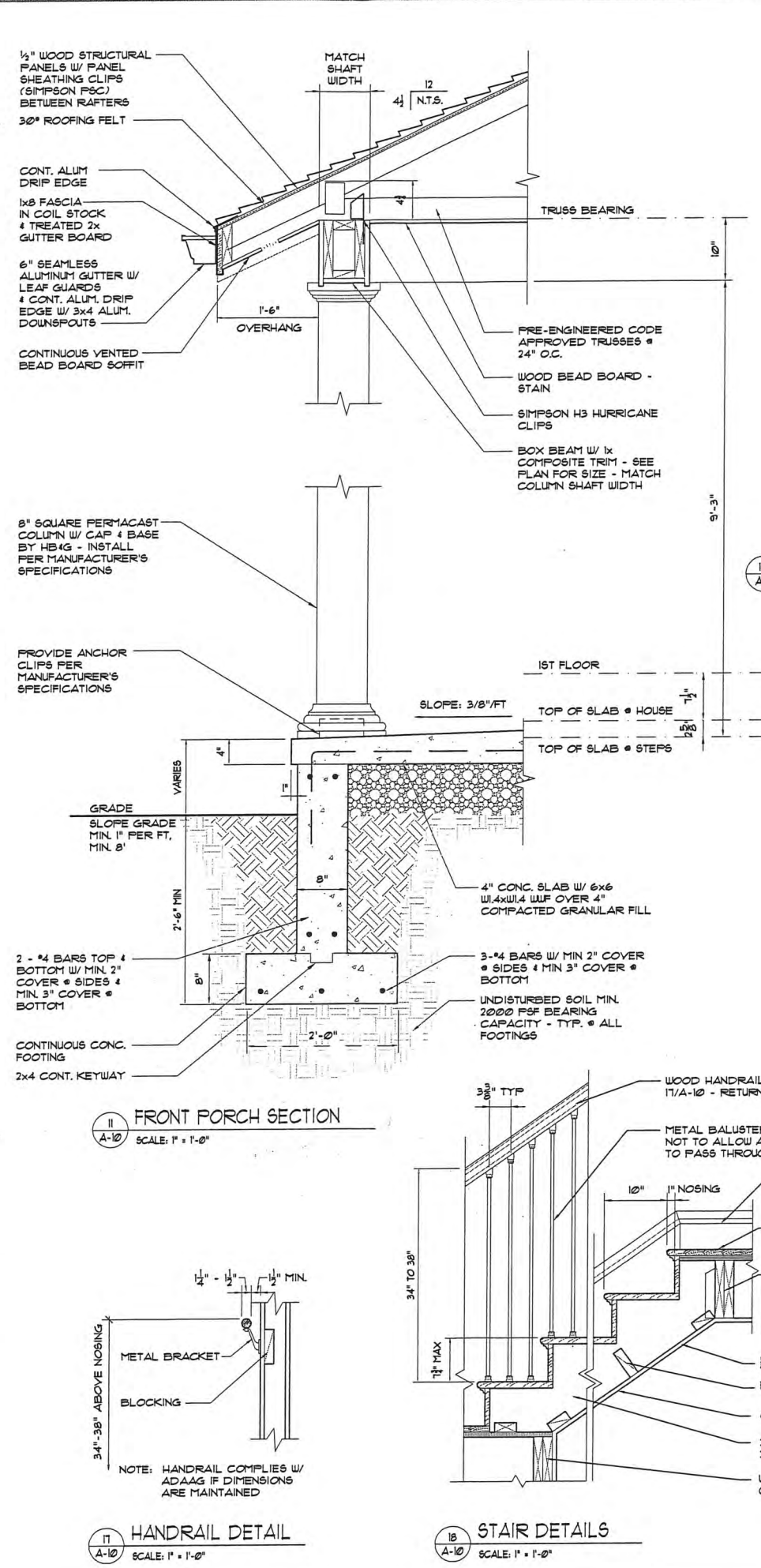
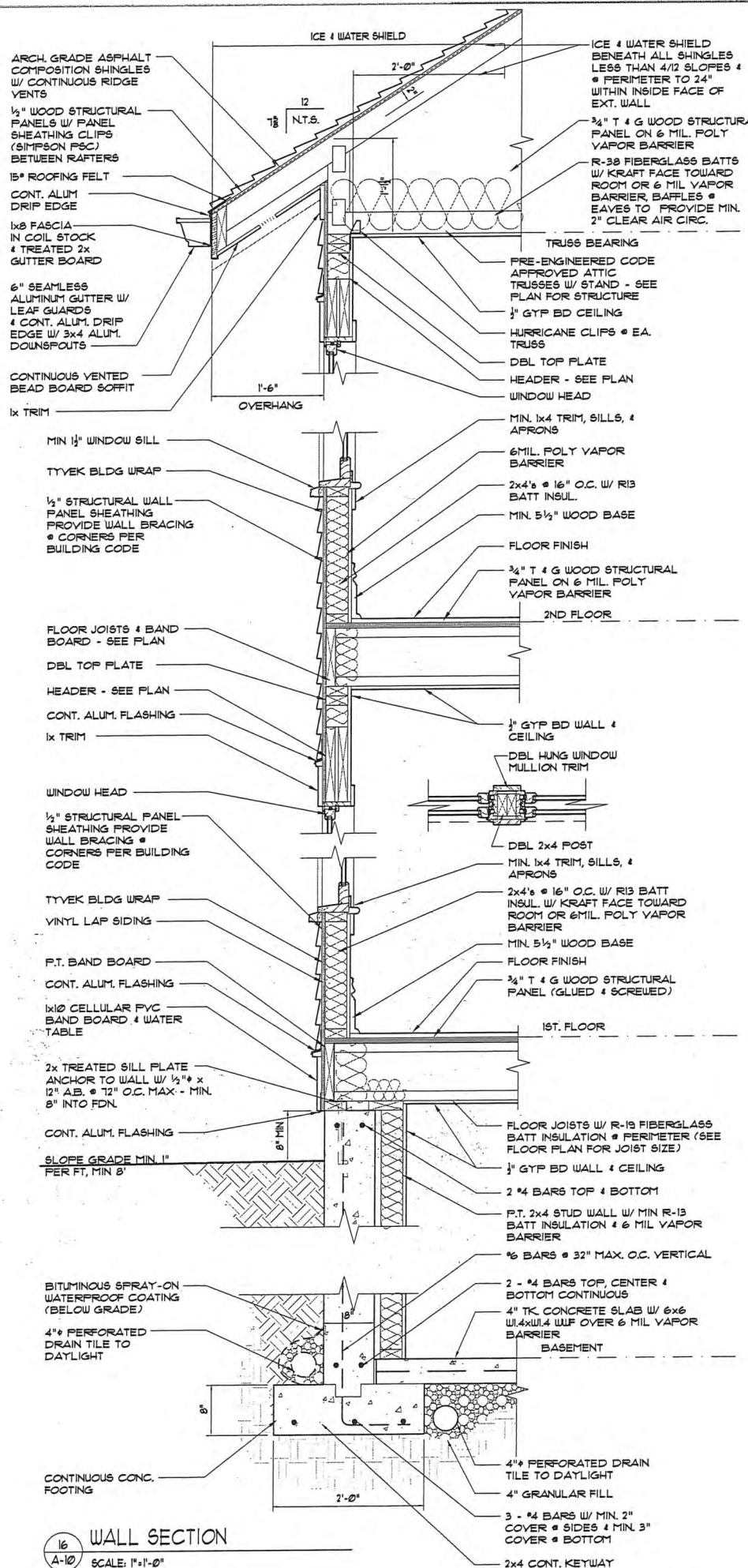
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411 West Adams Avenue
Kirkwood, MO 63122



Michael E. Blaes, Architect
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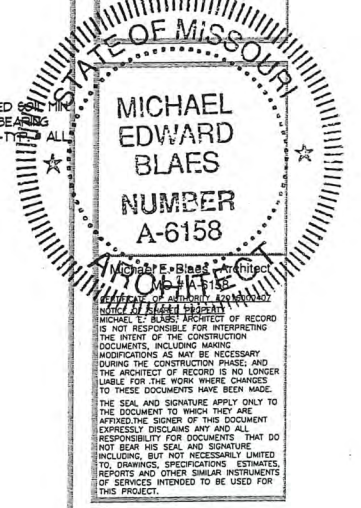
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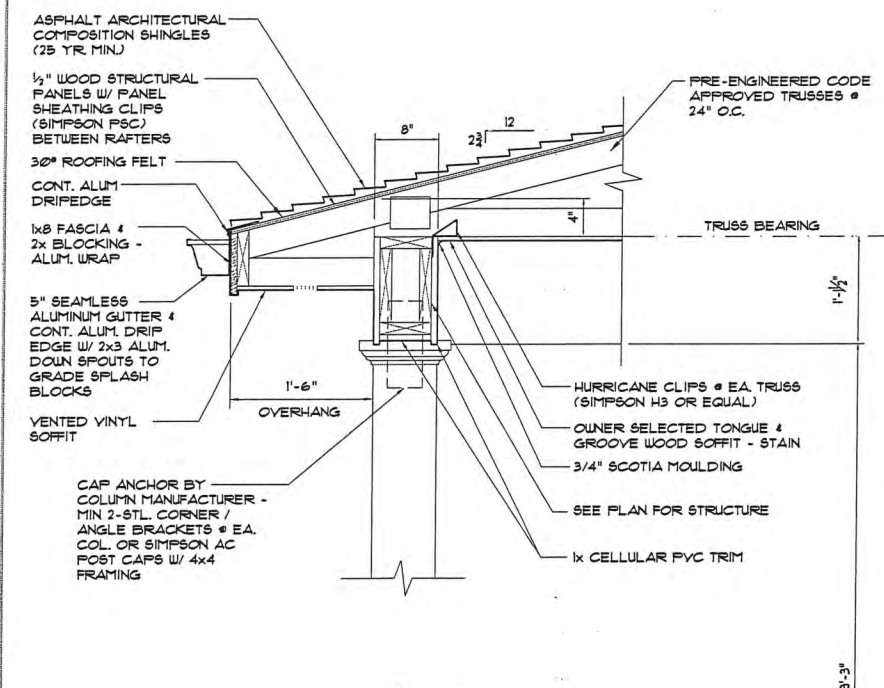
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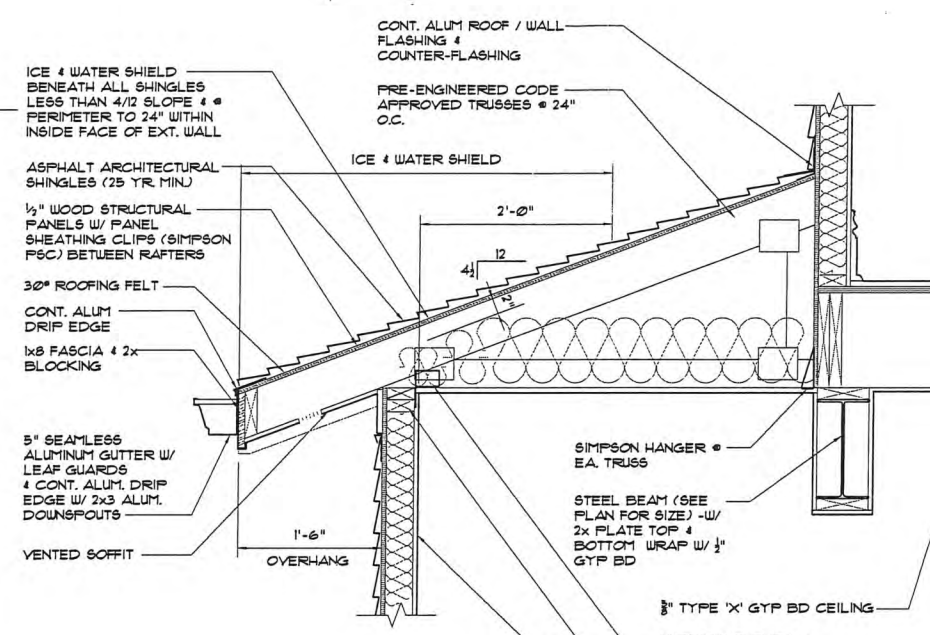
Residence for:
STL Homebuyers, LLC
 411 West Adams Avenue
 Kirkwood, MO 63122



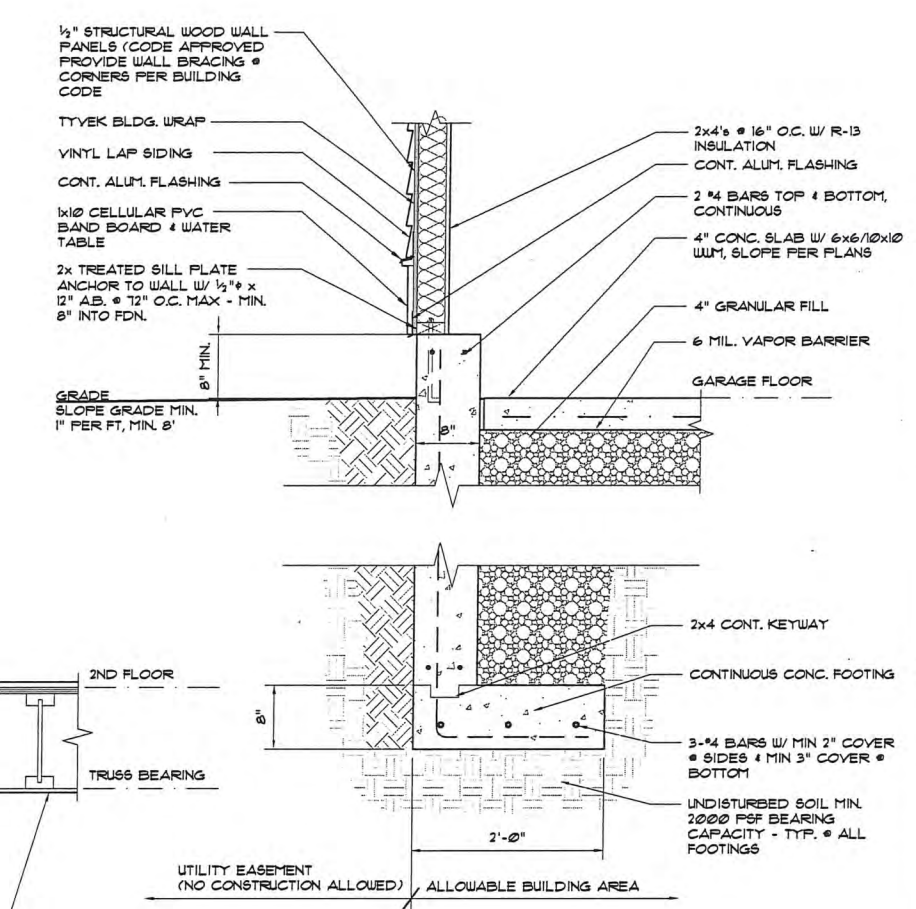
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 Checked By:
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 Porch Section
 Stair Details
 Sheet No.
A-10



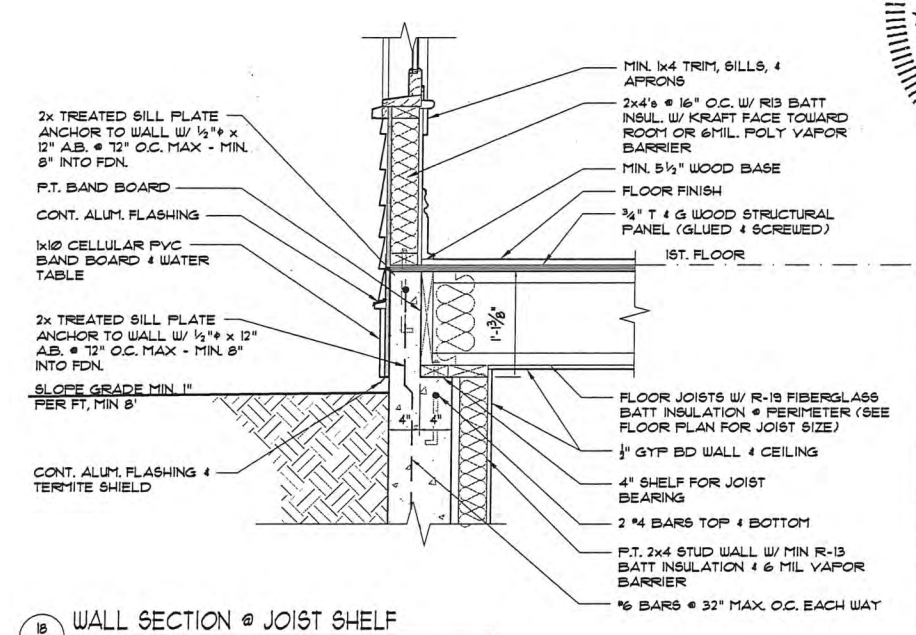
16 REAR PORCH SECTION
SCALE: 1" = 1'-0"



11 GARAGE WALL SECTION
SCALE: 1" = 1'-0"



9 GARAGE WALL SECTION ADJACENT TO EASEMENT
SCALE: 1" = 1'-0"



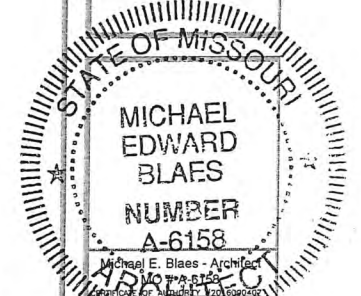
10 WALL SECTION @ JOIST SHELF
SCALE: 1" = 1'-0"



Date:
June 7, 2021

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Kirkwood, MO 63122



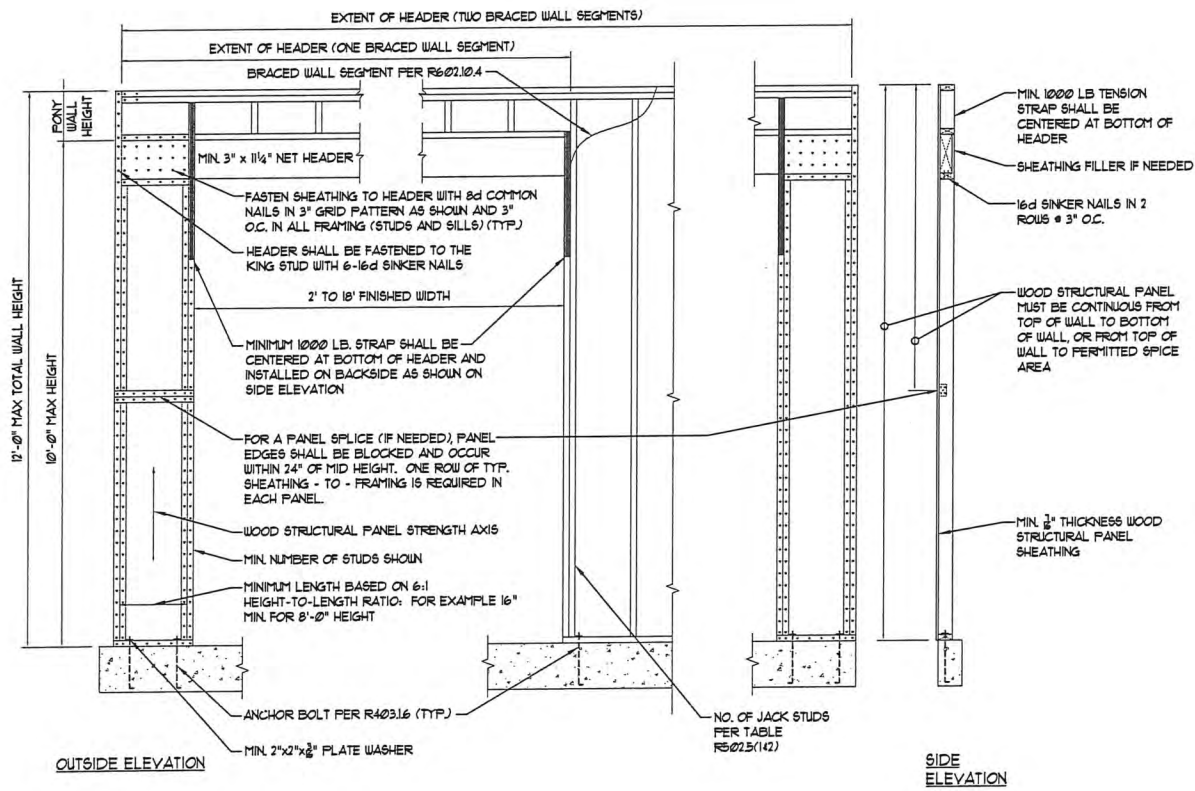
Michael E. Blaes - Architect
I, Michael E. Blaes, Architect, License No. A-6158, State of Missouri, do hereby certify that I am the author of the drawings and specifications herein and that I am a duly licensed architect in the State of Missouri. I am not responsible for interpreting the intent of the construction documents, including making modifications as may be necessary during the construction phase, and the architect of record is no longer liable for the work where changes to these documents have been made. THE SEAL AND SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED. THE SIGNER OF THIS DOCUMENT EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR DOCUMENTS THAT DO NOT BEAR HIS SEAL AND SIGNATURE, INCLUDING, BUT NOT NECESSARILY LIMITED TO, DRAWINGS, SPECIFICATIONS, ESTIMATES, REPORTS AND OTHER SIMILAR INSTRUMENTS OF SERVICES INTENDED TO BE USED FOR THIS PROJECT.

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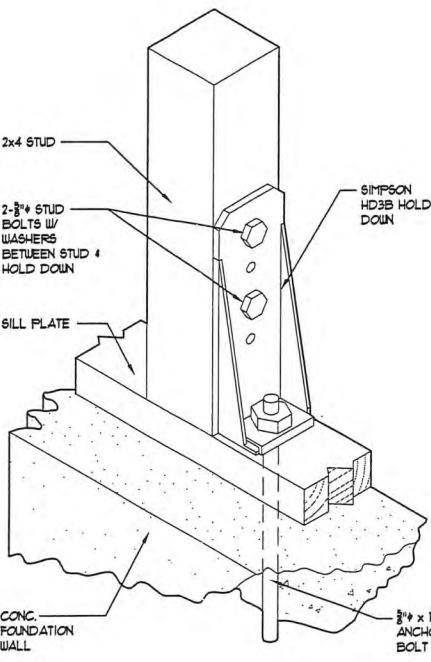
Checked By:

Drawing Name:
Garage Section
Rear Porch Section
Window Well Detail

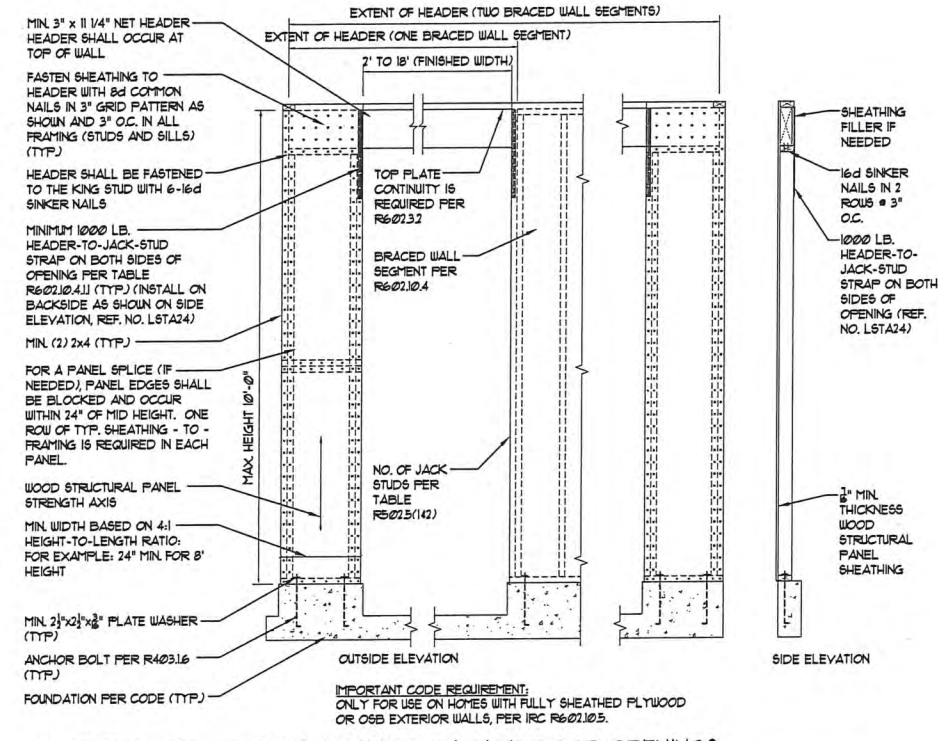
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A-11



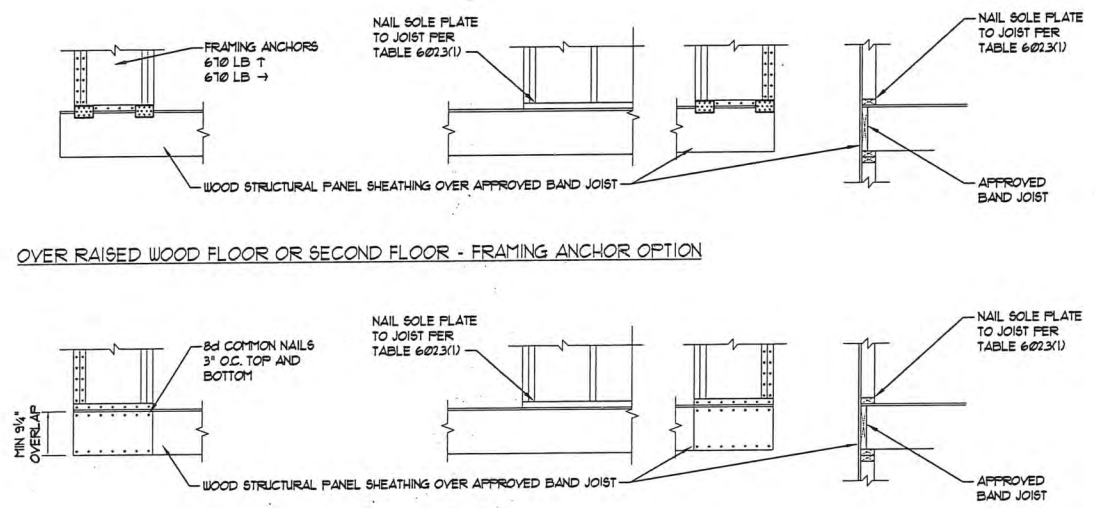
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



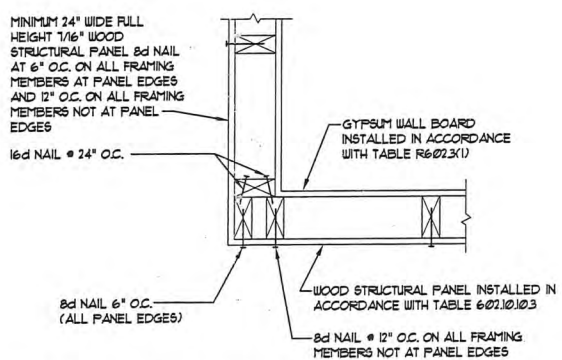
8 HOLD DOWN DETAIL
A-12 NOT TO SCALE



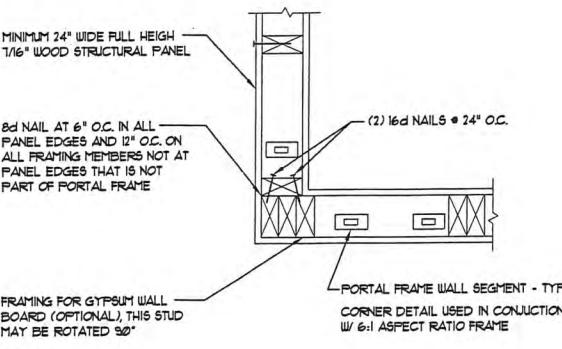
9 METHOD PFG PORTAL FRAME @ GARAGE DOOR OPENINGS
A-12 SCALE: 1/2" = 1'-0"



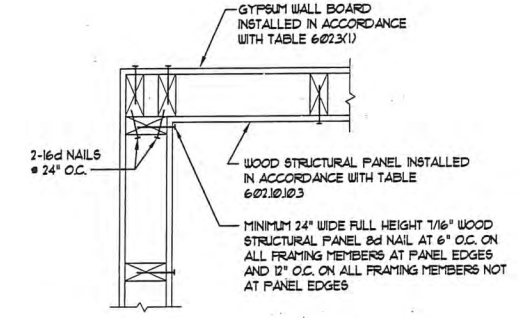
16 METHOD C5-PF - CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
A-12 SCALE: 1/2" = 1'-0" PER 2009 IRC (R602.10.4.1.1)



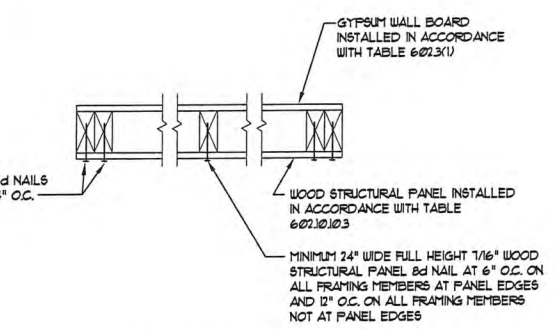
13 OUTSIDE CORNER BRACE DETAIL "A"
A-12 NOT TO SCALE



18 CORNER BRACE DETAIL "C"
A-12 NOT TO SCALE USED IN CONJUNCTION WITH SIMPLIFIED PORTAL WALL



15 INSIDE CORNER BRACE DETAIL "B"
A-12 NOT TO SCALE



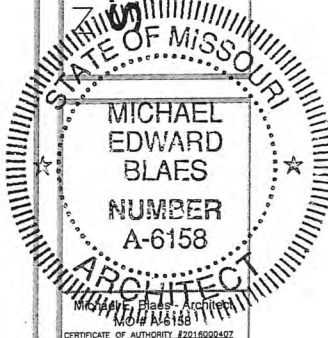
20 WALL BRACE DETAIL "D"
A-12 NOT TO SCALE

NOTE: THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE CONTINUOUS SHEATHING METHOD OF SECTION R602.10.4.1 OF THE 2009 EDITION OF IRC. (ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 1/2" STRUCTURAL WALL PANELS.)

Date: June 7, 2021

REVISION (DATE-BY):

Reference for: **STL Homebuyers, LLC**
411 West Adams Avenue
Kirkwood, MO 63122



CERTIFICATE OF AUTHORITY #2016002407
MICHAEL EDWARD BLAES, ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE, AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE. THE SEAL AND SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED. THE SIGNATURE OF THIS DOCUMENT EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR ACCIDENTS THAT DO NOT BEAR HIS SEAL AND SIGNATURE INCLUDING, BUT NOT NECESSARILY LIMITED TO, DRAWINGS, SPECIFICATIONS, ESTIMATES, REPORTS AND OTHER SIMILAR INSTRUMENTS OF SERVICES INTENDED TO BE USED FOR THIS PROJECT.

Drawn By: TS/BE
Checked By:

Drawing Name: Braced Wall Details



ARCHITECTURAL REVIEW BOARD
DESIGN SUBMISSION APPLICATION

139 S. Kirkwood Rd. Kirkwood, MO 63122
(314) 822-5816 Fax (314) 822-5898



Meetings are held on the 1st and 3rd Mondays (excluding holidays) every month.
The deadline to submit your application is 2 p.m. one week prior to the meeting date.
See checklist for required submittal documents to accompany this application #22-9

Property Address 555 N. Clay Case # 52-21R Zoned R3
Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Scope of work - Coach House contracted to build an 24'x30' detached garage.

Construction Type/Fee:
New House - \$150.00 Addition - \$100.00 Accessory Structure/All others \$100.00

APPLICANT

Name Jim Hotop Phone 314-378-2064
 Address 400 Raven La
 City, State, Zip Florissant, Mo 63031
 E-mail (Agenda will be e-mailed to applicant) jhotop@coachhousegarages.com

PROPERTY OWNER

Name Kyle Moylan Phone 314-369-9925
 Address 555 N. Clay Ave
 City, State, Zip Kirkwood, Mo 63122

ARCHITECT INFORMATION

Name Kreher Engineering Phone (618) 281-8505
 Address 208 N Main St Suite H
 City, State, Zip Columbia, IL 62236

I have read the Architectural Review and Building regulations of the City of Kirkwood. I hereby certify that the project is located on property for which I have the legal right to construct. I hereby affirm the above statements are true and correct and agree to fully comply with the ordinances of Kirkwood. I hereby certify that the owner(s) of record authorizes the proposed work and I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

[Signature] James Hotop 03/20/2021
Applicant's Signature Applicant's Printed Name Date

City Use Only Received by _____ Agenda Date April 19, 2021
 Zoning Comments Driveway work will require separate permit. AGC 6/13/21
 Building Comments _____

555 N. Clay – Site Photos

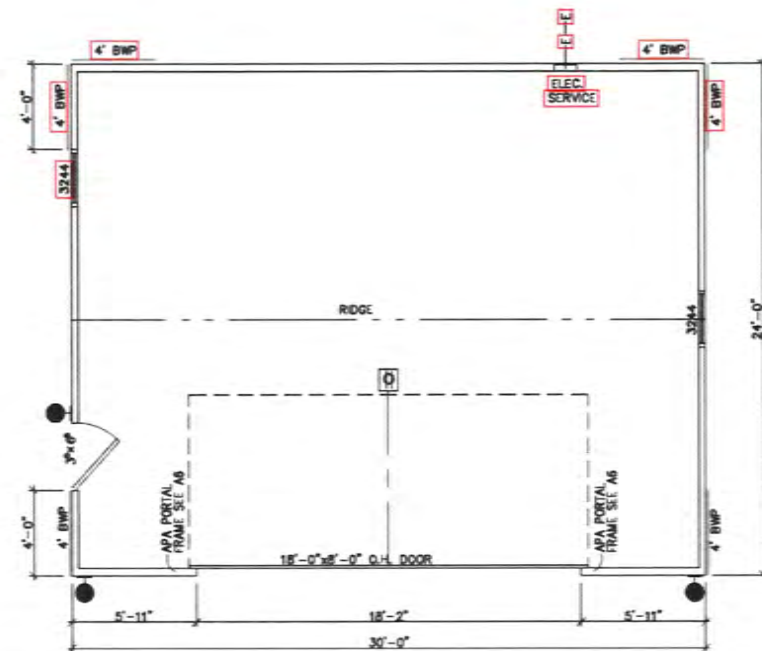
Owners Home



Owners Home



555 N. Clay - Elevations



FLOOR PLAN
SCALE 3/16" = 1'-0"

Coach House Garages
BUILT ON AMISH TRADITION SINCE 1910

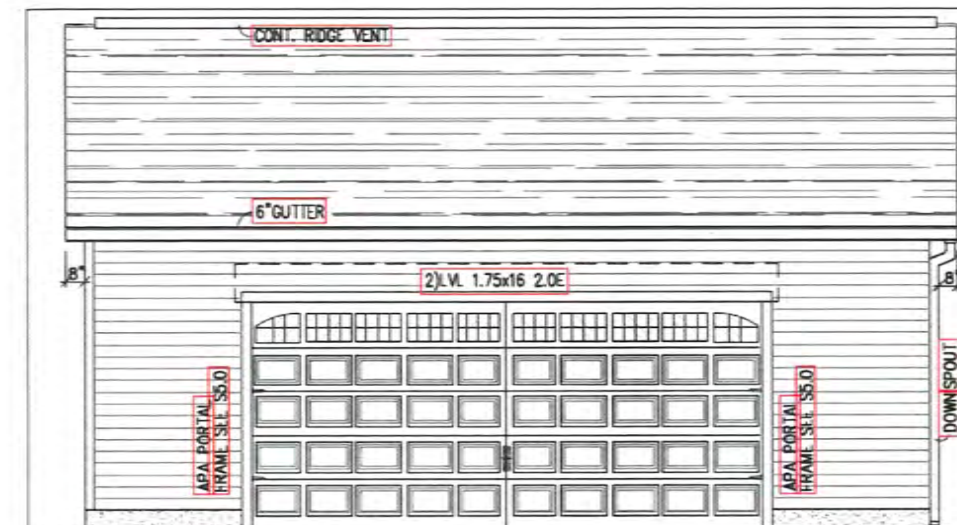
GARAGE ADDITION FOR
KYLE MOYLAN
555 N. CLAY
KIRKWOOD, MO 63122



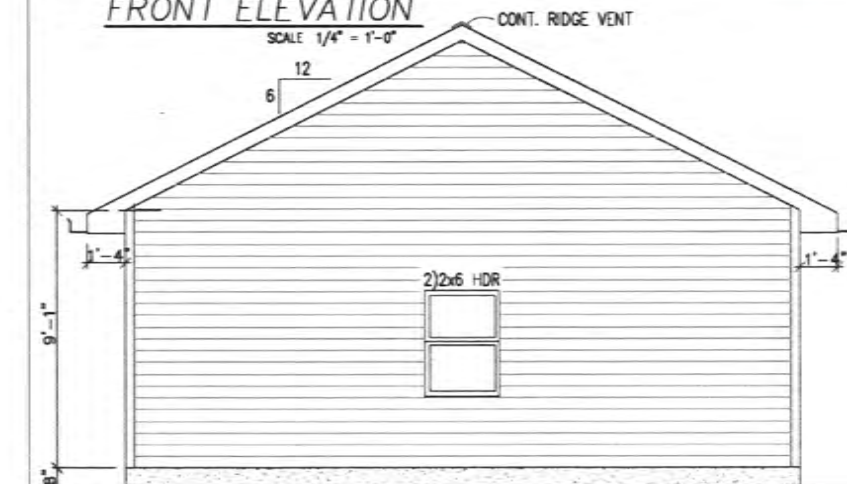
SHEET NO:

A1

ISSUE DATE: 12-28-20



FRONT ELEVATION



RIGHT SIDE ELEVATION

Coach House Garages
BUILT ON AMISH TRADITION SINCE 1910

GARAGE ADDITION FOR
KYLE MOYLAN
555 N. CLAY
KIRKWOOD, MO 63122

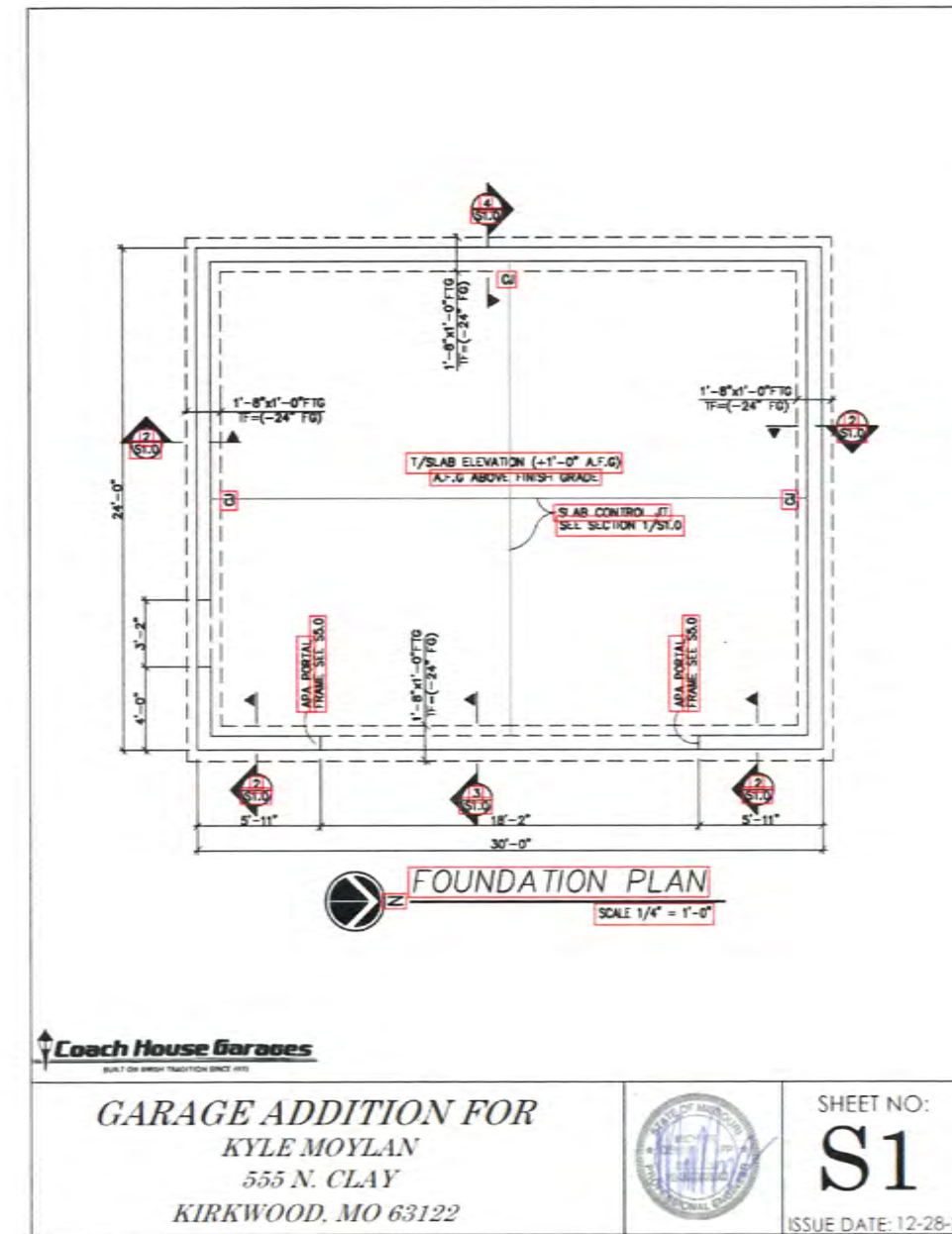


SHEET NO:

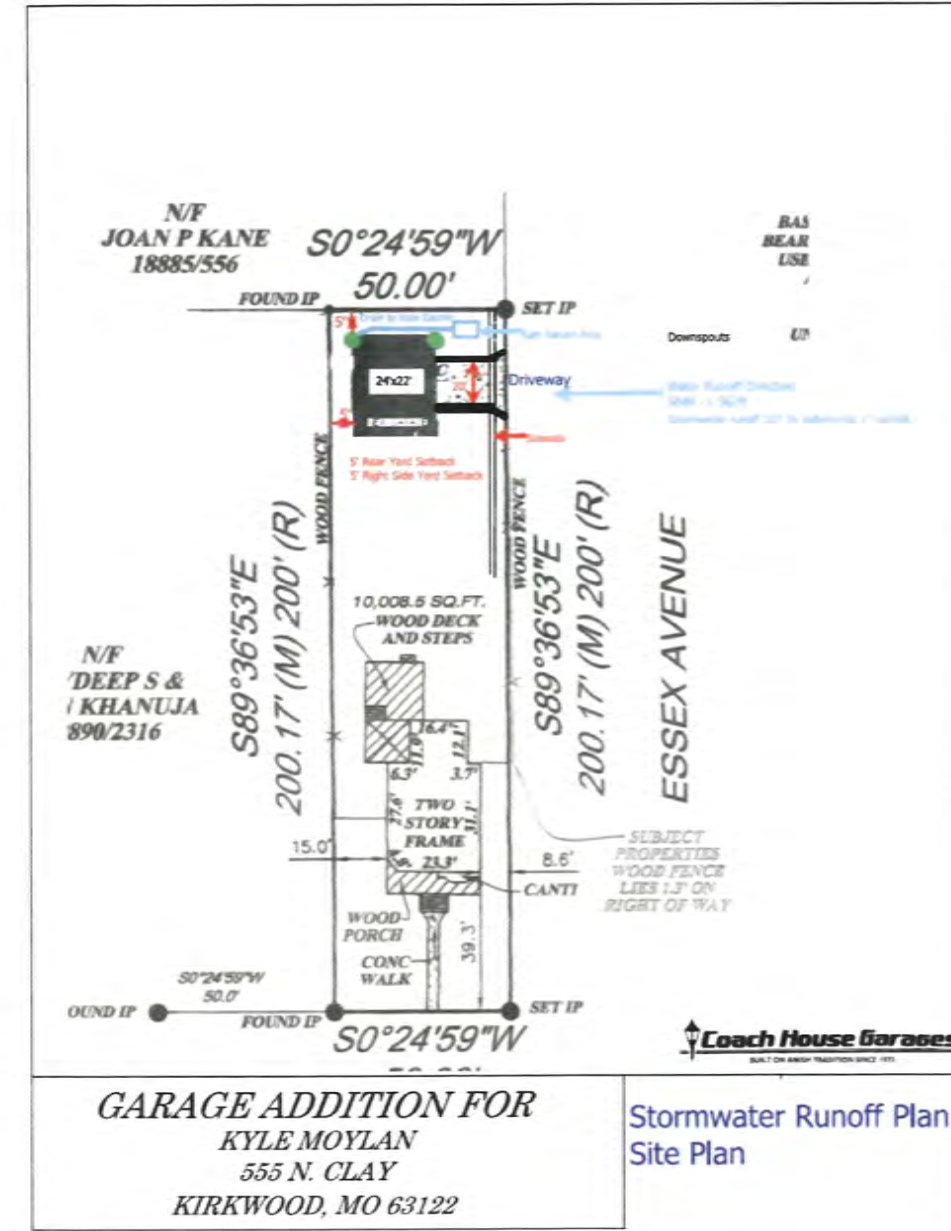
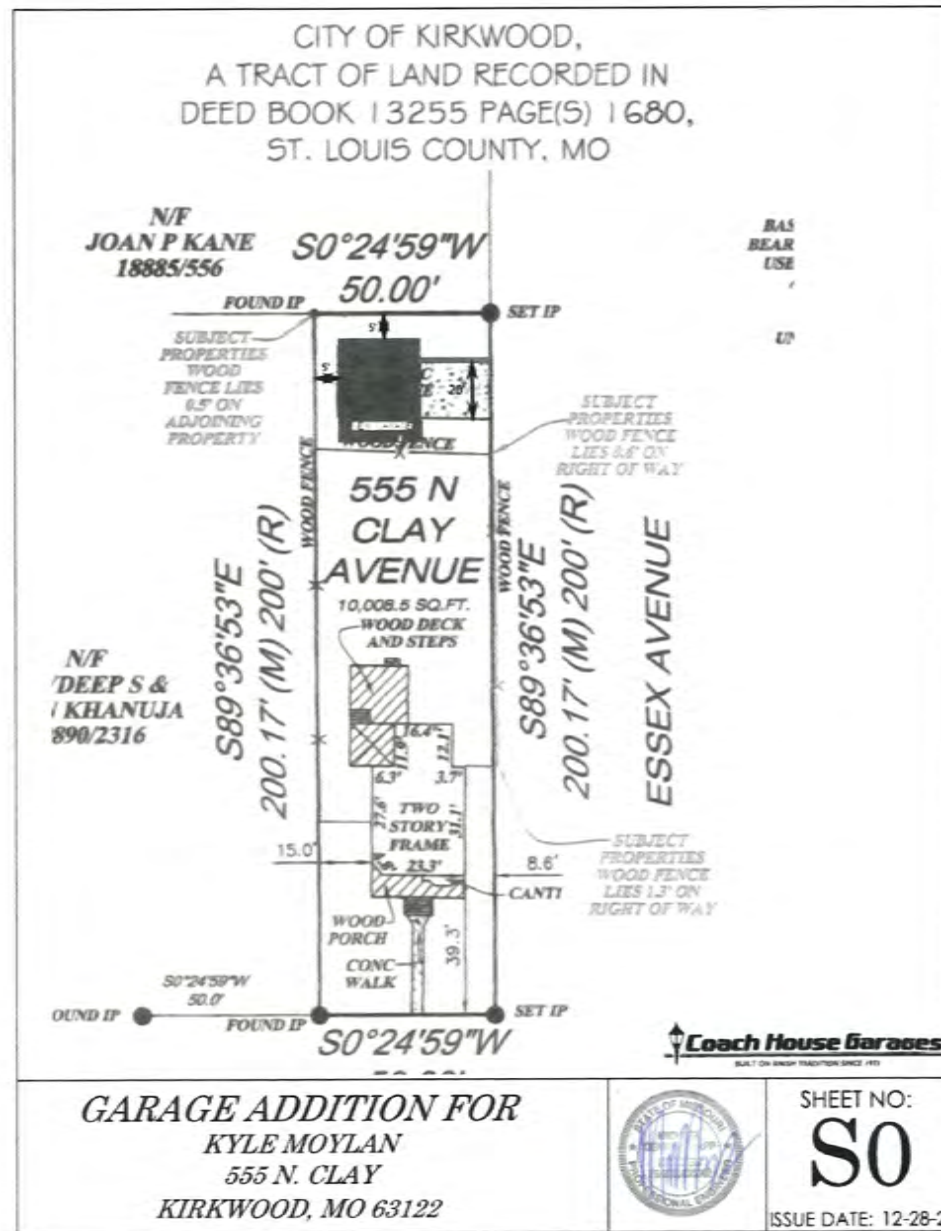
A2

ISSUE DATE: 12-28-20

555 N. Clay - Elevations



555 N. Clay – Site & Stormwater



555 N. Clay – Site Photos

Owners Home



Neighbor



555 N. Clay – Site Photos

Garage Site



Garage Site



555 N. Clay – Site Photos

Neighbor

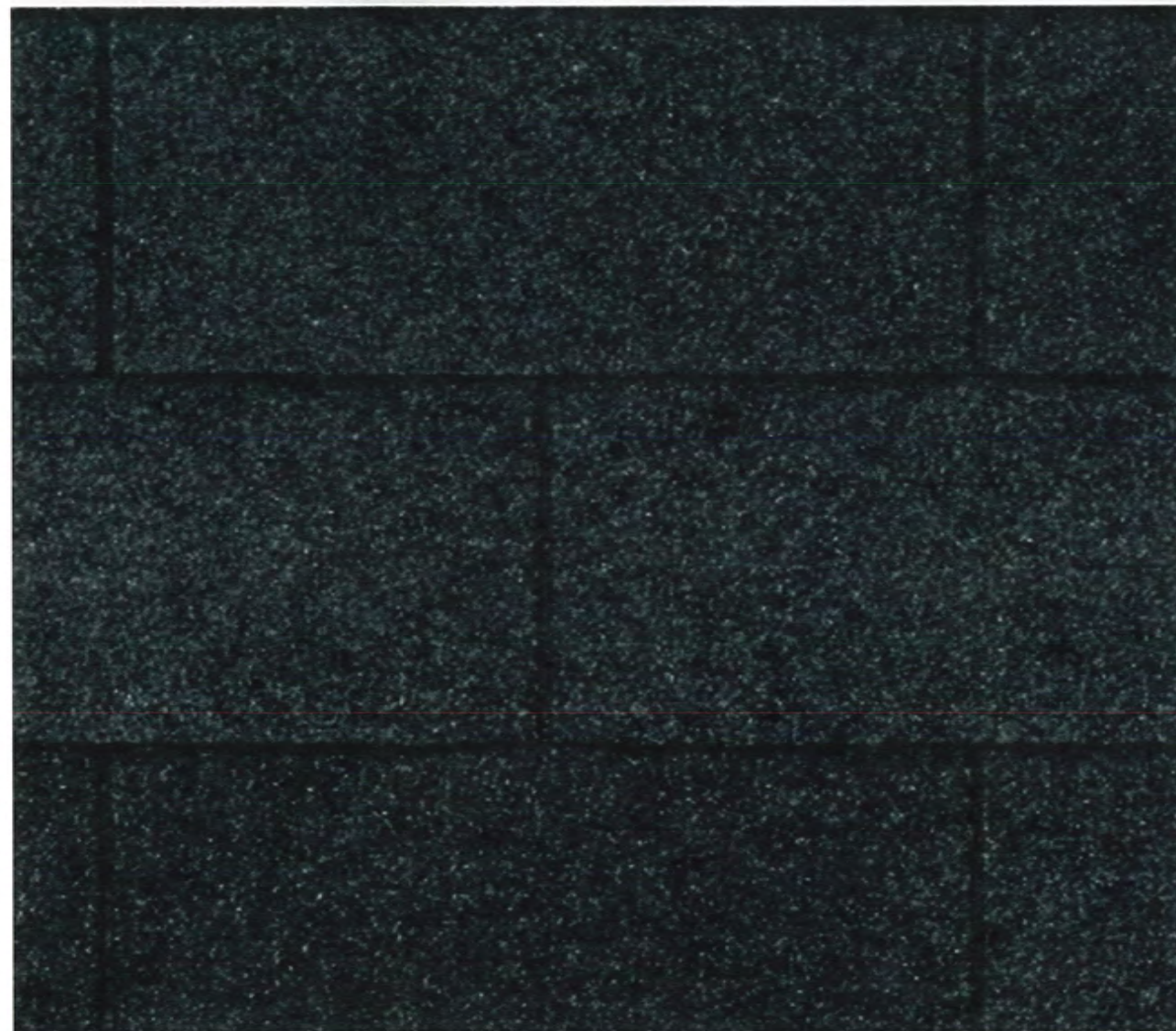


Neighbor



5 N.Clay – Contract ,Material ,Specificatio

Shingles – Black – Winterguard Ice & Watershield



Siding – 4" Colonial White



5 N. Clay – Contract, Material, Specifications

All windows and doors trimmed with 3 ½ inch Colonial White Lineal

1) – White – Stockton Glass – Spade Hardware

Simonton Profinish – White – Single Hung with Colonial Grills

5283 STAMPED CARRIAGE HOUSE SHORT

PERSONALIZING OPTIONS

COLORS*



ACCENTS WOODTONES*



OVERSIZED* WINDOW INSERTS



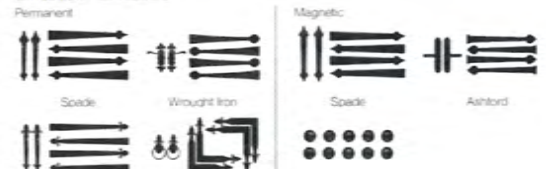
GLASS



DESIGNER GLASS



EXTERIOR HARDWARE



GOOD BETTER BEST



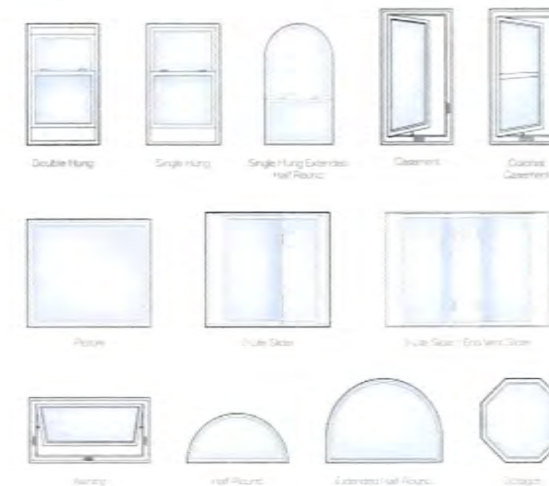
Specifications

Panel Style	Stamped Carriage House
Section Construction	2" Thick, 1/2 Sided Glass
Section Material	Medium Duty 127 Gal. Steel
Insulation Type	1" Styro Polystyrene
R-value / Thermal Performance	R-9.65
Powder Coating	188 colors
Window Style*	Oversized (42" x 10")
Glass	Insulated and Non-Insulated
Wind Load	Non-Impact and Impact Rated
Warranty	Limited Lifetime on Section 3 Years on Springs 6 Years on Hardware

* See website for details on window styles and sizes. † Most window and door products are available in a wide range of finishes and colors. ‡ Most window and door products are available in a wide range of finishes and colors. †† See website for details on window styles and sizes. ††† See website for details on window styles and sizes.

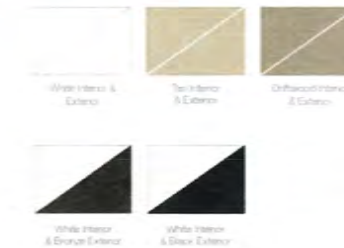
Your Local Garage Door Professional

Styles



Other Available Styles: Eyebrow, Extended Eyebrow, Quarter Round, Extenders Quarter Round, Extended Gothic, Right Triangle, Jockey, Full Circle, Full Oval, Hexagon, Pentagon, Double Closed, Closed Corner, Single Hung Extended Quarter Round, Single Hung Extended Eyebrow, Single Hung Extended Quarter Eyebrow and Single Hung Extended Triangular

Interior/Exterior Colors

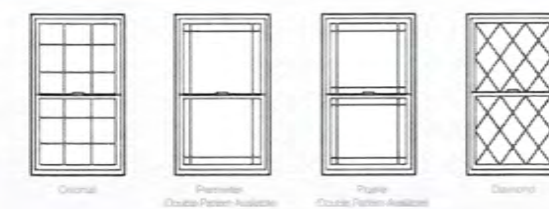


Standard & Custom Hardware



Architecturally inspired grilles increase curb appeal and highlight your home's character. Window grilles are placed between the glass to make cleaning easier.

Grille Patterns



Grille Profiles



Victorian and Diamond patterns are only available with flat grilles. Products with exterior color are only available with 3/8\"/>

555 N.Clay – Contract, Material, Specifications

1-Wen 3'0" Exterior Door w/Glass





Architectural Review Board Application Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 473 Longfellow Ave. Zoned _____

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work New Deck w/ Roof; Remove Existing Deck

Construction Type/Fee: New House/\$150 Addition/\$100 **Accessory Structure or Other/\$100**

APPLICANT

Name C.J. Moss Phone 636-532-4054

Address 620 Spirit Valley East Dr.

City, State, Zip Chesterfield, MO, 63005

E-mail (Agenda will be e-mailed to applicant) Cjmoss@chesterfieldfence.com

PROPERTY OWNER

Name Eric Peterson Phone 310-991-6369

Address 473 Longfellow Ave.

City, State, Zip Kirkwood, MO, 63122

ARCHITECT INFORMATION

Name C.J. Moss Phone 636-532-4054

Address 620 Spirit Valley East Dr.

City, State, Zip Chesterfield, MO, 63005

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

C.J. Moss

Applicant's Signature

6/9/2021

Date

City Use Only

Received by QW

Agenda Date 07/10/2021

Case # 96-21R

Permit # 22-1182

Zoning Comments _____

Building Comments _____





Architectural Review Board Application Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: Removal of Existing Deck; Construction of New Deck w/ Roof

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Wood Deck with Gable Roof

Number of Stories: 1 Building Height: ~18' Number of Roof Lines: 1

Roof Type: Gable Primary Roof Pitch: 3/12

Secondary Roof Pitch: _____ Tertiary Roof Pitch: _____

2) Building Materials

Primary Exterior Wall Material: Siding to Closely Match Existing Home's

Secondary Exterior Wall Material: N/A

Tertiary Wall Material: N/A

Primary Roof Material: Shingles to Closely Match Existing Home

Secondary Roof Material: N/A

3) Exterior Windows and Doors

Type of Door: N/A

Type of Window: N/A Pane Arrangement: N/A

4) Detailing

Foundation Wall Covering: N/A

Location of Utility Equipment: N/A

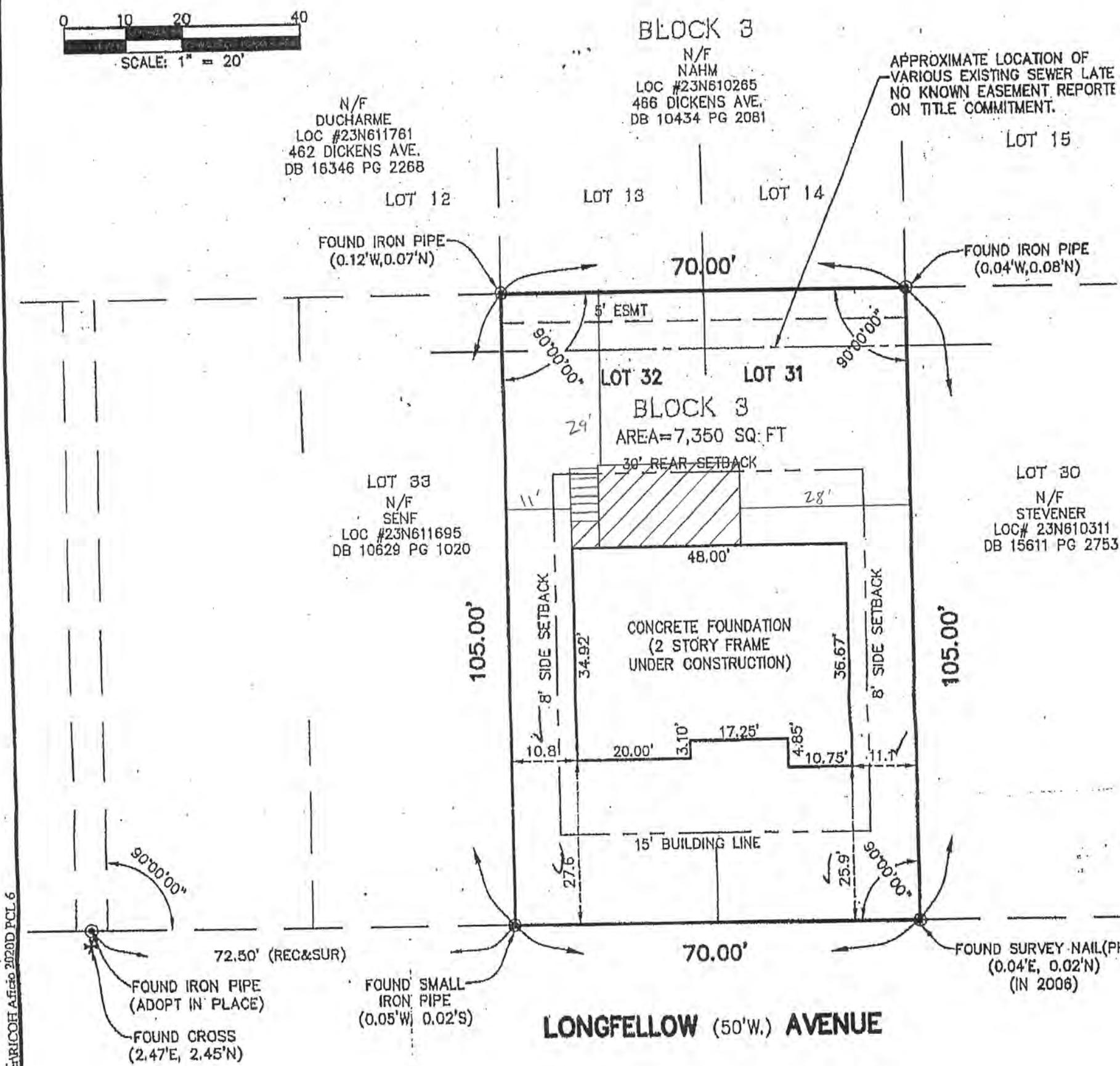
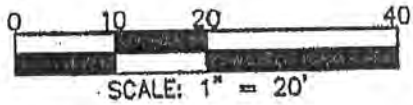
Screening of Utility Equipment: N/A

Section C: Site Context Photos

Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

CORONA PARK BLOCK 3

PLAT BOOK 24 PAGE 2
ST. LOUIS COUNTY, MISSOURI



162006-067 Survey Boundary-Topographic Survey 2006-067 foundation smr.dwg. 8/21/2008 11:17:22 AM. \\main-srvr\proj\ICOF Africa 2008D PCL 6

- NOTES:
1. SOURCE OF RECORD AND NORTH: PB 24, PG 2 & DB 17772, PG 2729
 2. CLASSIFICATION OF SURVEY: URBAN PROPERTY
 3. BOUNDARY BEARINGS AND DIMENSIONS SHOWN REFLECT ACTUAL SURVEY AND RECORD MEASUREMENT UNLESS OTHERWISE NOTED.
 4. SOURCE OF TITLE: SECURITY TITLE INSURANCE AGENCY, LLC; NO. 61859; EFFECTIVE DATE: MARCH 29, 2006 AT 8:00 A.M.
 5. MAYER CUSTOM HOMES, INC; LOC# 23N810232; DB-17772, P

POEHLMAN & PROST, Inc.

Land Surveying and Civil Engineering

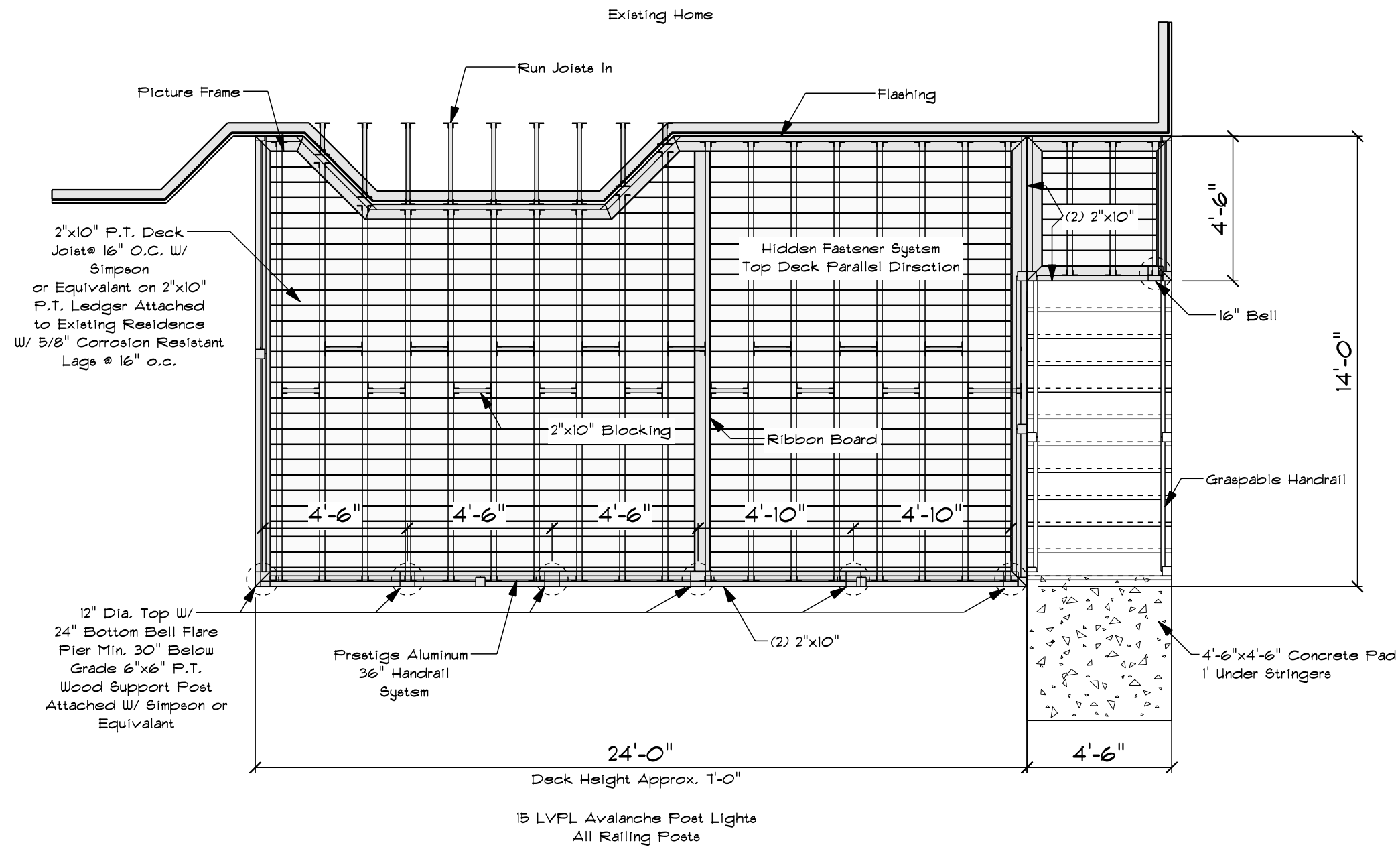
P.O. Box 8340 8280 DIELMAN INDUSTRIAL DRIVE
ST. LOUIS, MISSOURI 63132 (314) 997-5777 FAX (314) 997-0407

This is to certify that at the request of MAYER MANORS, INC we have, on the 19th day of AUGUST,
executed a survey in accordance with the Current Missouri Minimum Standards for Property Boundary Surveys... LOTS 31 AND 32 IN BLOCK 3 OF CORONA PARK
AS PER PLAT THEREOF RECORDED IN PLAT BOOK 24, PAGE 2 OF THE ST. LOUIS COUNTY RECORDS

In ST. LOUIS COUNTY
Drawn By SJJ
Surveyed By SB
Project No. 206-167

Missouri and that the result of said report is presented upon plat.
By: Christopher M. Laneman
POEHLMAN & PROST, INC
CHRISTOPHER M. LANEMAN PLS. 2369





Deck Layout

SCALE: 1/4" = 1'-0"

PAGE: 1/1

Deck Layout



Eric Peterson

473 Longfellow Ave.
Kirkwood MO 63122
PHONE: 310-991-6369
epeterson@spencerfane.com



CONSULTANT: Kevin Gallias

DRAWN BY: C.J. Moss

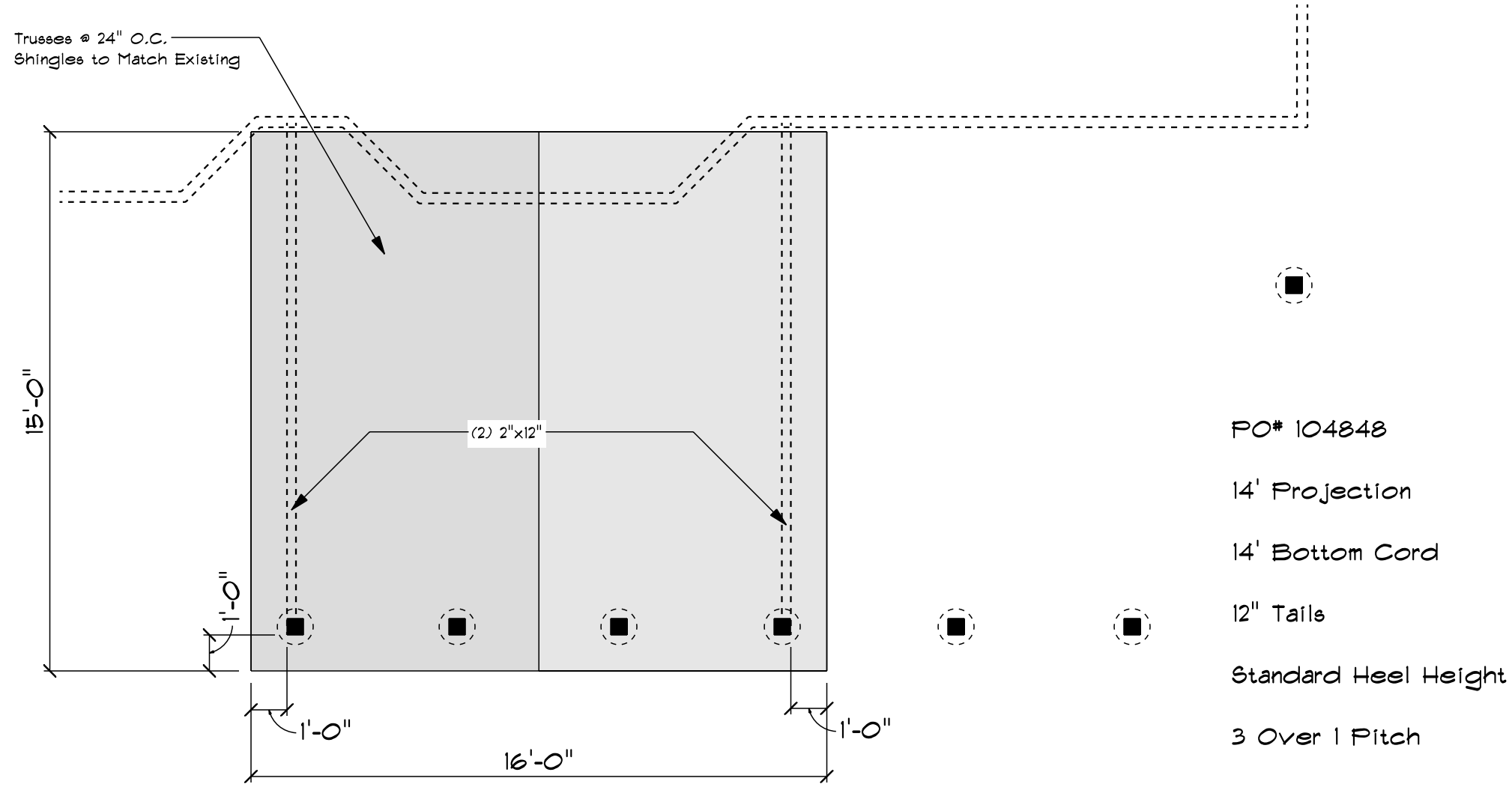
DATE: 6/28/2021

PROJECT: 54780

Chesterfield Fence & Deck

620 Spirit Valley East Dr.
Chesterfield MO 63005
PHONE: 636-532-4054
FAX: 636-532-8011
CELL: 636-591-5488
cjmosse@chesterfieldfence.com

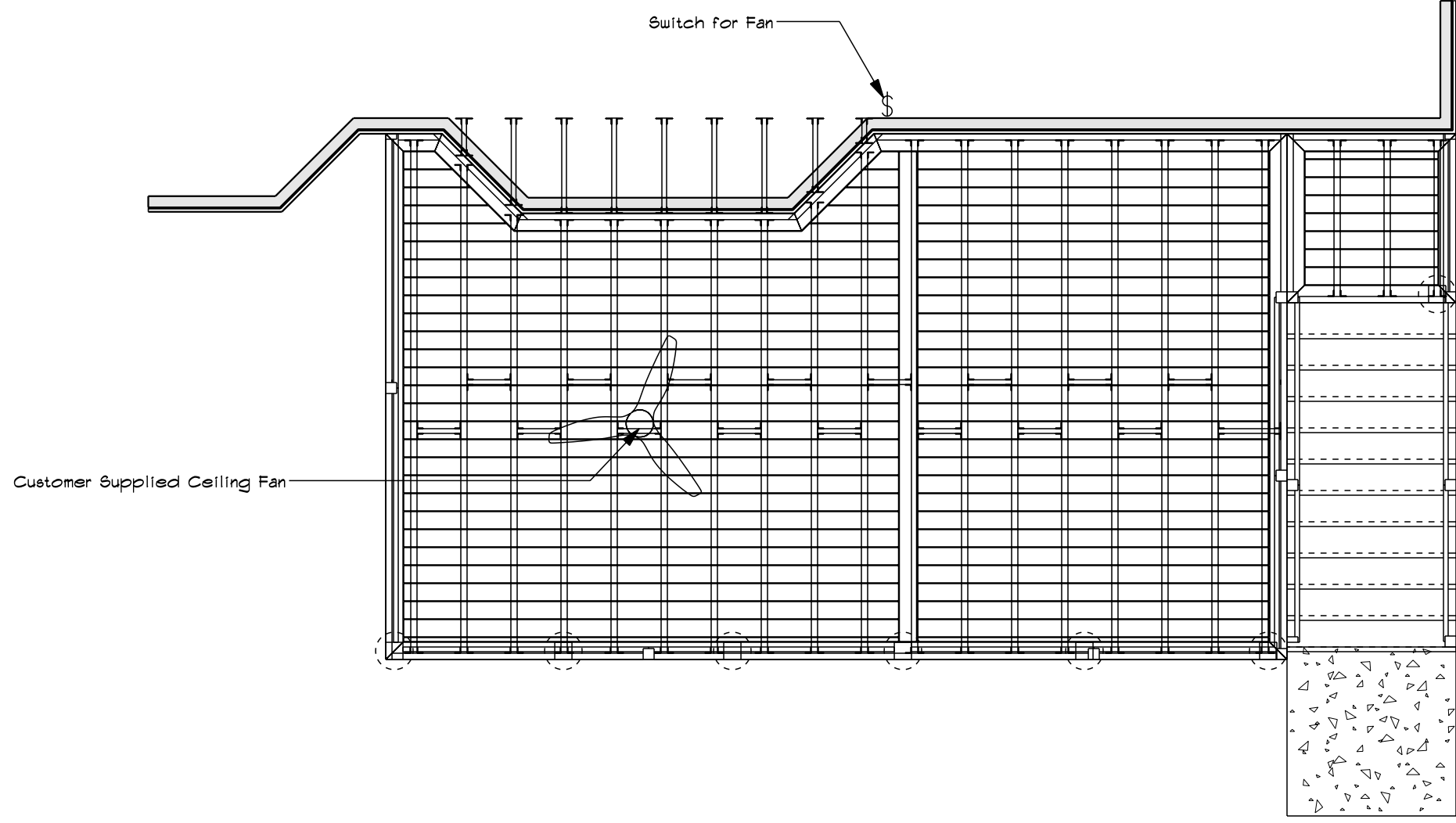
Roof Layout
SCALE: 1/4" = 1'-0"



PROJECT: 54780	Chesterfield Fence & Deck 620 Spirit Valley East Dr. Chesterfield MO 63005 PHONE: 636-532-4054 FAX: 636-532-8011 CELL: 636-591-5488 cjmoss@chesterfieldfence.com	 	PAGE: 2 1 Roof Layout
			CONSULTANT: Kevin Gallas DRAWN BY: C.J. Moss DATE: 6/28/2021
Eric Peterson 473 Longfellow Ave. Kirkwood MO 63122 PHONE: 310-991-6369 epeterson@spencerfane.com			

Electrical Layout

SCALE: 1/4" = 1'-0"



PROJECT: 54780

Chesterfield Fence & Deck

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cjmoss@chesterfieldfence.com



PAGE: 3/1
Electrical Layout

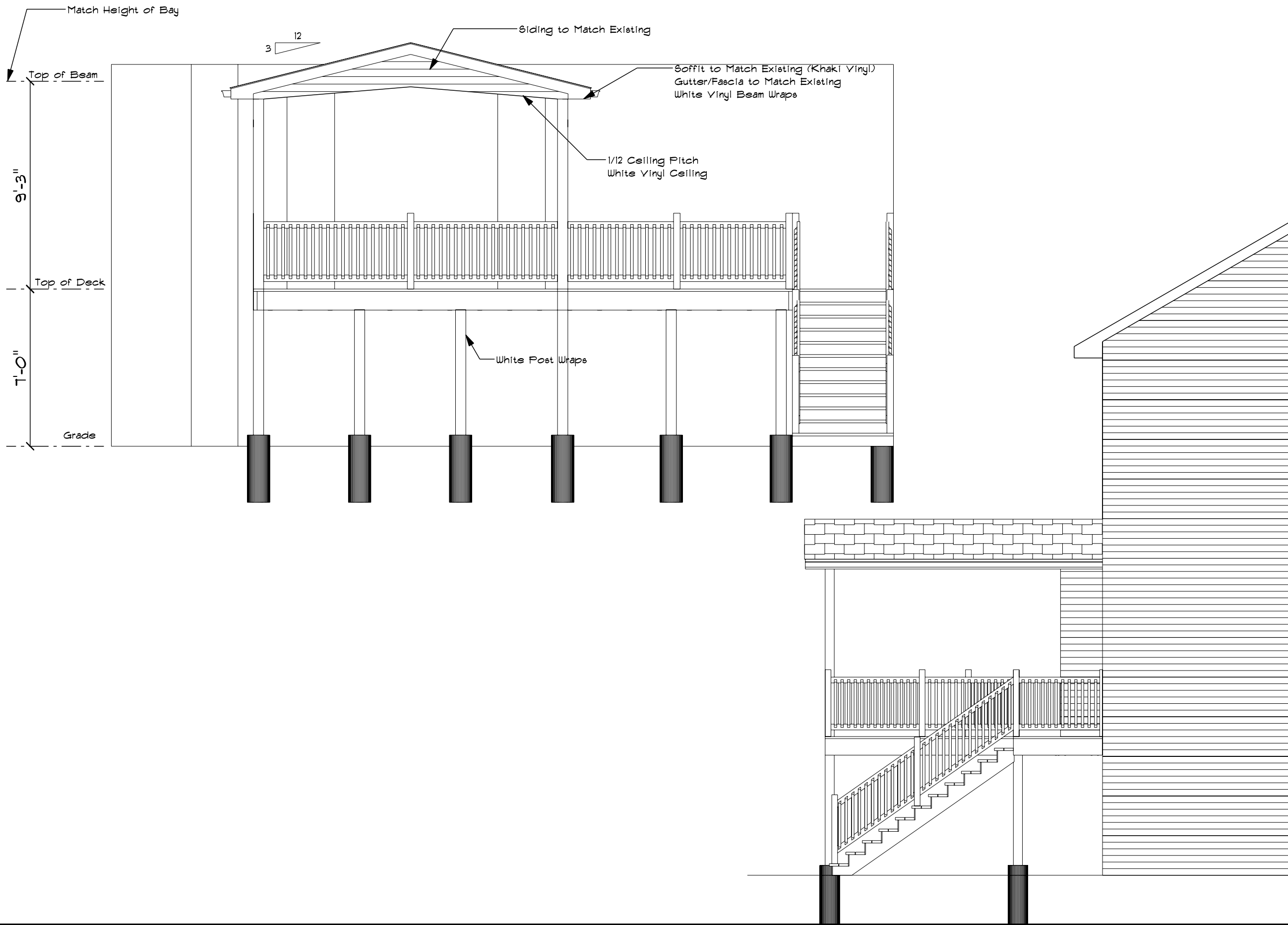
CONSULTANT: Kevin Gallias

DRAWN BY: C.J. Moss

DATE: 6/28/2021

Eric Peterson

473 Longfellow Ave.
Kirkwood MO 63122
PHONE: 310-991-6369
epeterson@spencerfane.com



PROJECT: 54780 Chesterfield Fence & Deck 620 Spirit Valley East Dr. Chesterfield MO 63005 PHONE: 636-532-4054 FAX: 636-532-8011 CELL: 636-591-5488 cjmoos@chesterfieldfence.com	CHESTERFIELD FENCE & DECK <small>The sign has more than any other.</small>	CHESTERFIELD SUNROOMS <small>By Chesterfield Fence & Deck</small>	PAGE: 4 11 Elevation
	CONSULTANT: Kevin Gallas DRAWN BY: C.J. Moss DATE: 6/28/2021	Eric Peterson 473 Longfellow Ave. Kirkwood MO 63122 PHONE: 310-991-6369 epeterson@spencerfane.com	

Note: the existing roof is above the proposed elevation of the new roof.

All Measurements Dimensions & Elevations
Are Approximate And Are Subject To
Change Due To Field Verification Of Such

Job Specific Notes:
MCA # 1 P.T. KDAT Lumber For Framing
Stairs Will Be Adjusted On Site
Haul away tearout & job debris

Material:	Size:	Qty:	Color:	Remarks
Concrete Piers:				
Bottom Belled	See Plan	Per Plan		30" Below Grade
Cylindar	12" Dia.	Per Plan		Min. 6" Above Grade
Concrete Stringer Pad:	4'6"x4'6"	Per Plan		Tuck 1' Under Stringers
Treated Lumber Sub Deck				
Joist	2"x10"	Per Plan		#1 P.T. KDAT @ 16" O.C. Att. W/ Simpson or Equivalent
Ledger Board	2"x10"	Per Plan		P.T. W/ (2) 5/8"x7" Lag Screws or Equivalent @ 15" O.C.
Beams	(2) 2"x10"	Per Plan		P.T. W/ Simpson Hangers or Equivalent
Support post	6"x6"	As Needed	White	P.T. W/ Simpson Post Base or Equivalent
Stair Stringer	2"x12"	AS Needed		P.T. @ 12" O.C. Attached W/ Simpson Or Equivalent
Deck Material:				
Top Deck	1"x6"	Per Plan	Espresso	Veka Top Deck (CCRR-0137 Pg. 1 Sec. 5.0) Parallel to Home
Picture Frame	1"x6"	Per Plan	Espresso	Picture Frame Deck Border
Top Deck Fasteners		As Needed		Hidden Fastener System
Fascia	1/2"x12"	Per Plan	Espresso	Wrapped W/ Veka Band Board Only
Stair Treads	10" Min.	Per Plan	Espresso	Veka Treads
Covered Risers	Closed	Per Plan	Espresso	Veka Risers Max Rise 7-3/4"
Handrail	36" High	Per Plan	Black	Prestige Aluminum
Graspable Handrail		Per Plan	Black	Prestige Aluminum
Handrail Post	4"x4"	Per Plan	White	Prestige Aluminum
Handrail Post Cap	4"x4"	Per Plan	White	Prestige Aluminum
Balusters	3/4"	As Needed	Black	Prestige Aluminum
Post Lights	NA	15	White	Avalanche Pyramid Post Lights

PAGE: 5/1



Veka Spec Sheet

Eric Peterson

473 Longfellow Ave.
Kirkwood MO 63122
PHONE: 310-991-6369
epeterson@spencerfane.com

CONSULTANT: Kevin Gallias

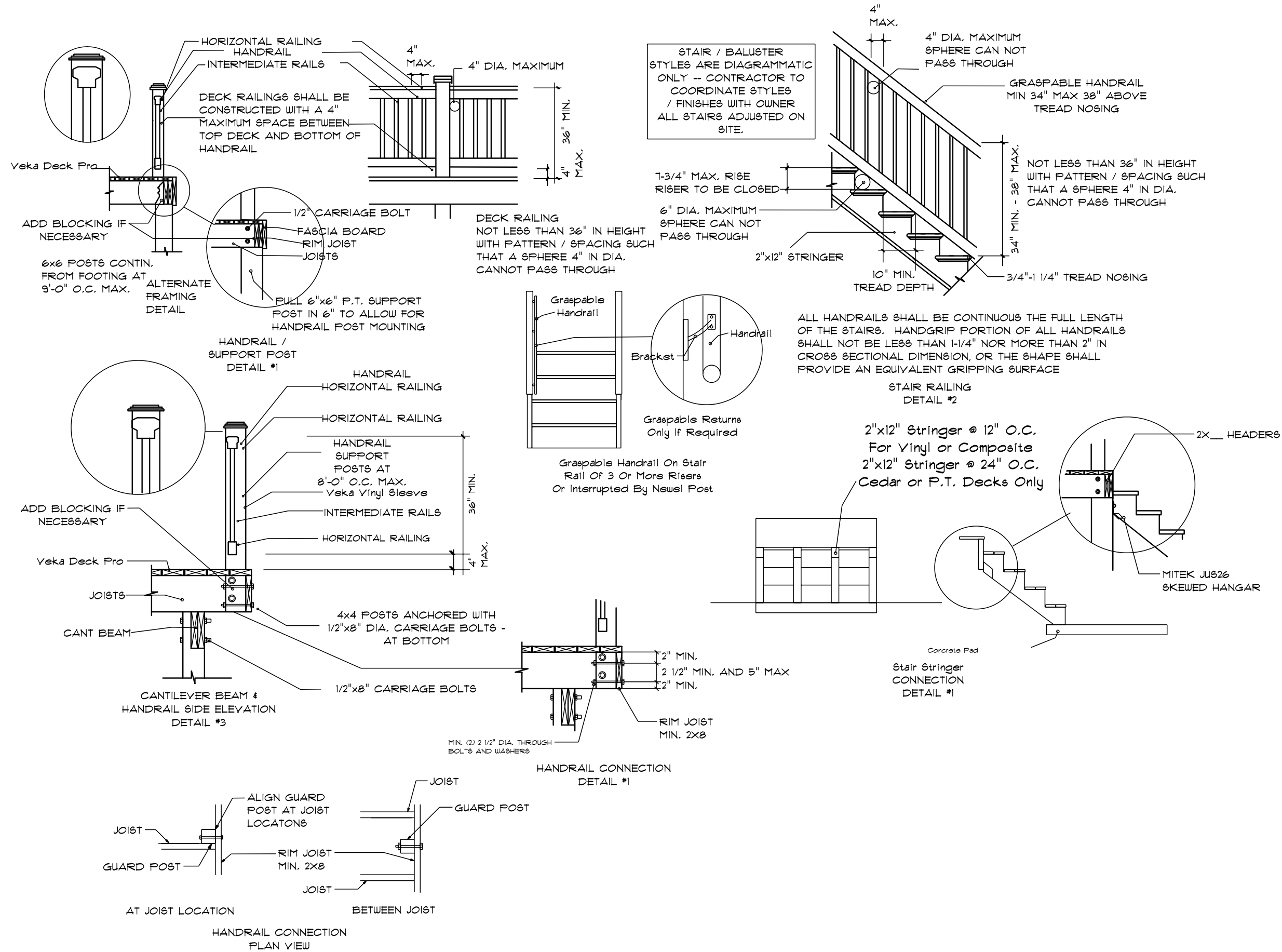
DRAWN BY: C.J. Moss

DATE: 6/28/2021

PROJECT: 54780

Chesterfield Fence & Deck

620 Spirit Valley East Dr.
Chesterfield MO 63005
PHONE: 636-532-4054
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cjmos@chesterfieldfence.com



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 cjmoss@chesterfieldfence.com

PAGE: 6/1
Veka Rail Detail

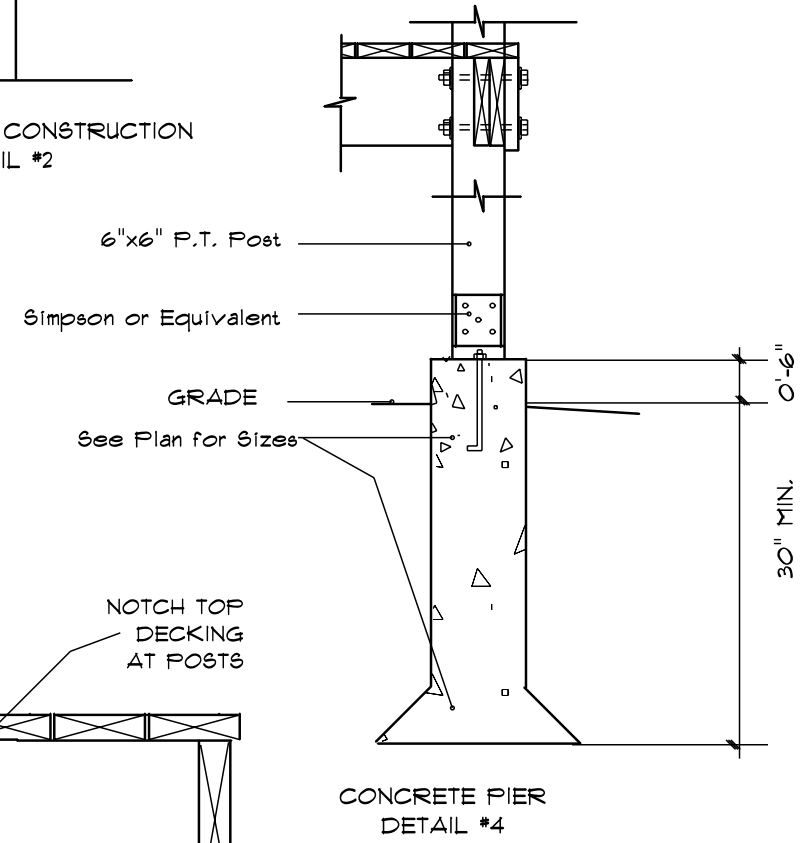
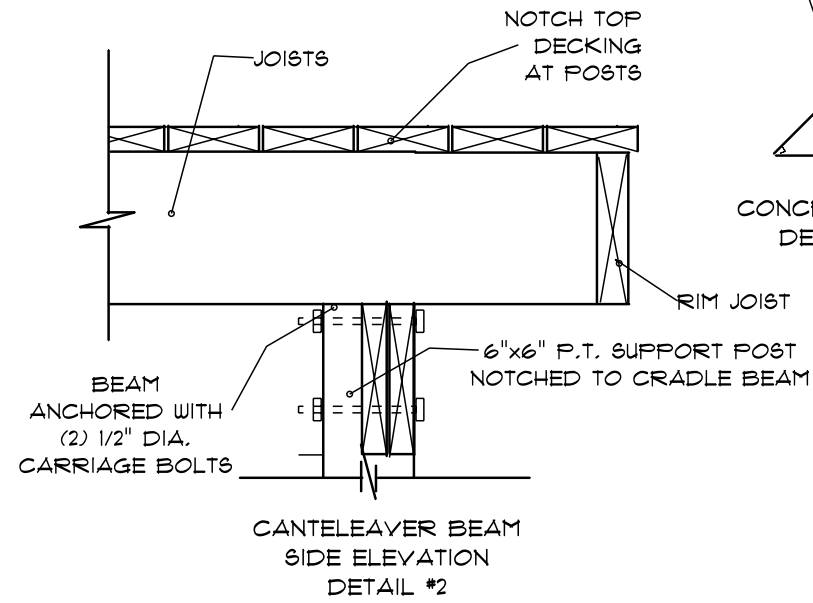
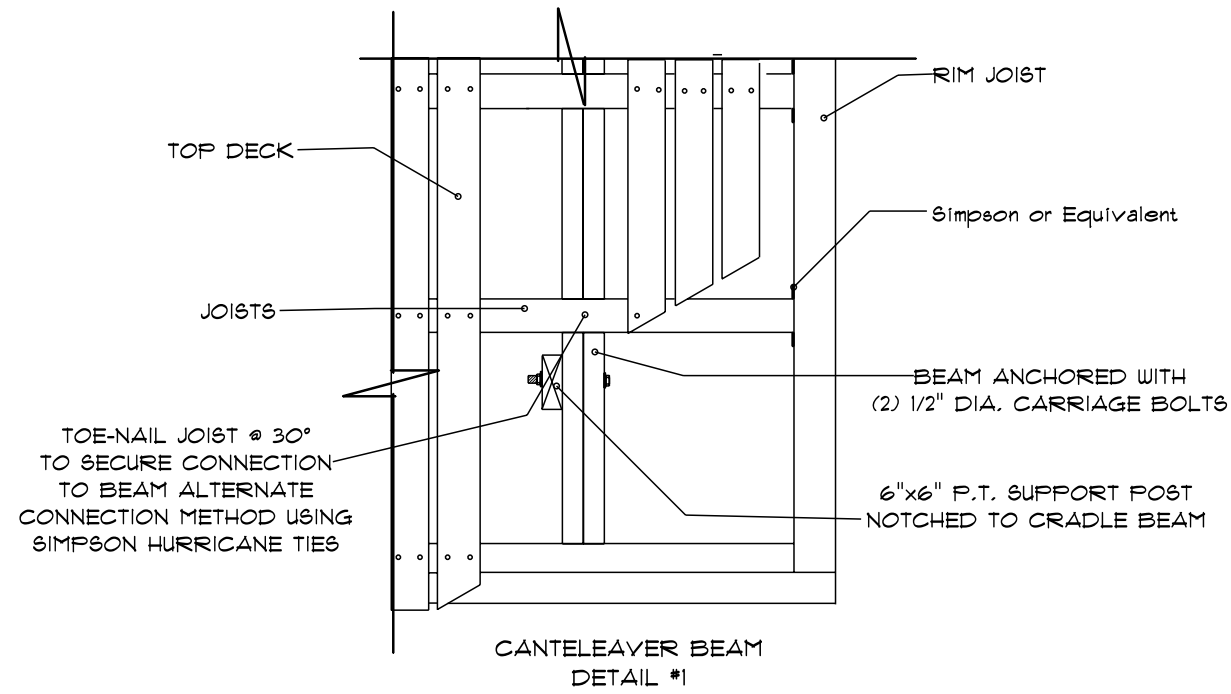
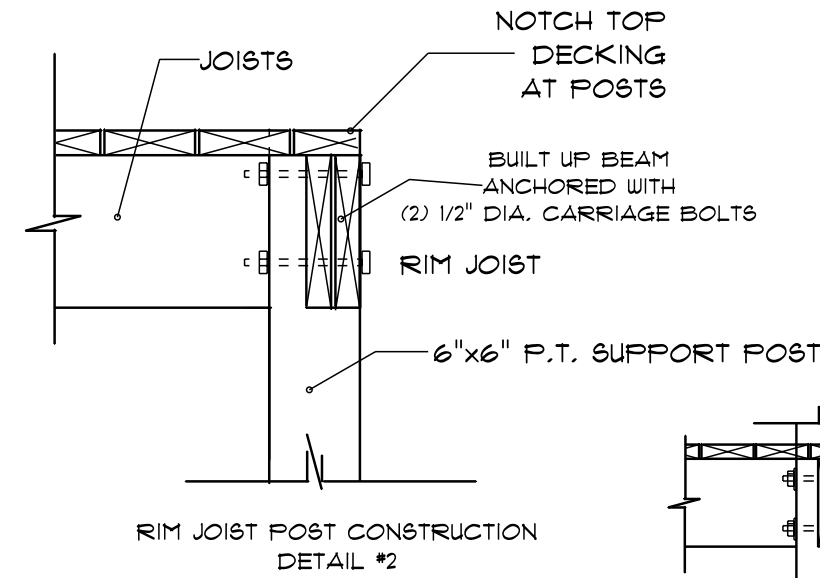
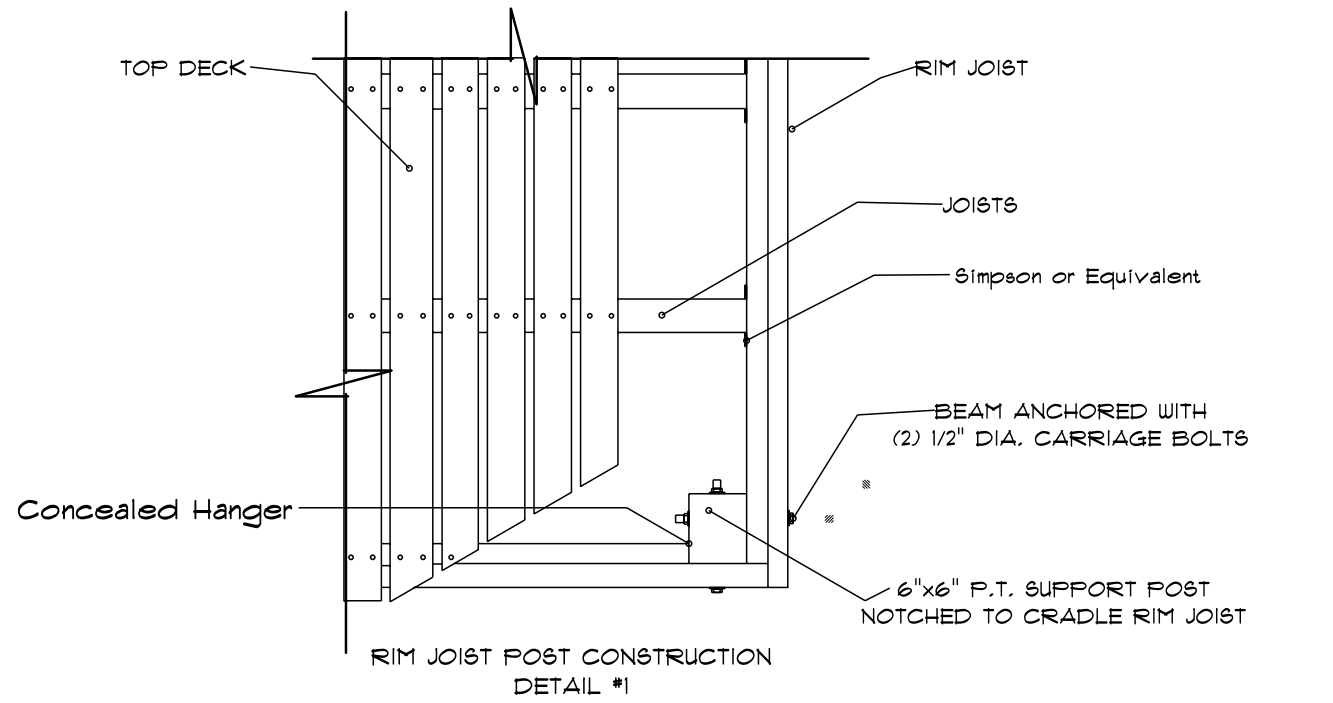
CHESTERFIELD FENCE & DECK
 SUN ROOMS
 By Chesterfield Fence & Deck

Eric Peterson
 473 Longfellow Ave.
 Kirkwood MO 63122
 PHONE: 310-991-6369
 epeterson@spencerfane.com

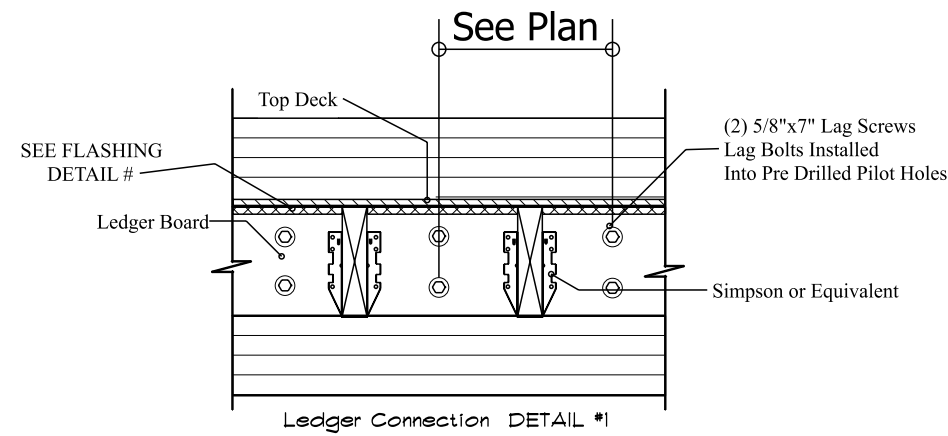
CONSULTANT: Kevin Gallias

DRAWN BY: C.J. Moss

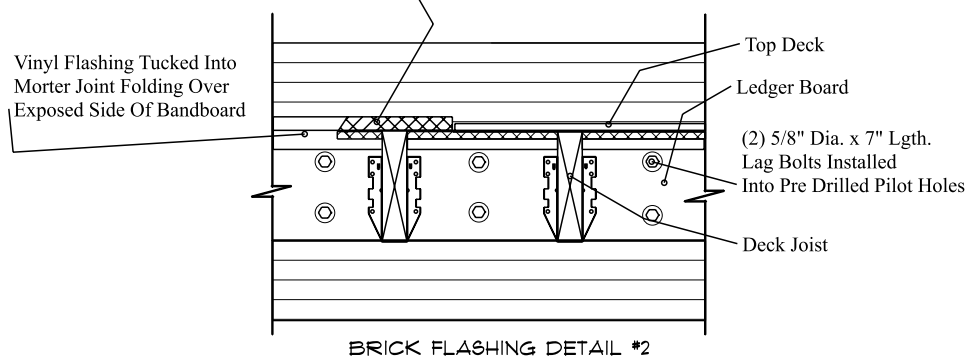
DATE: 6/28/2021



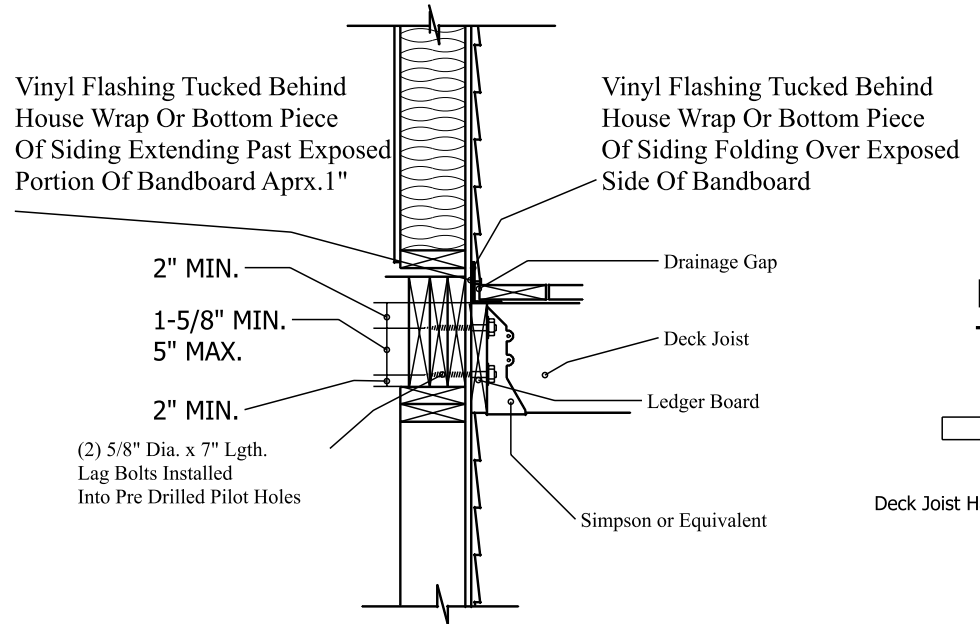
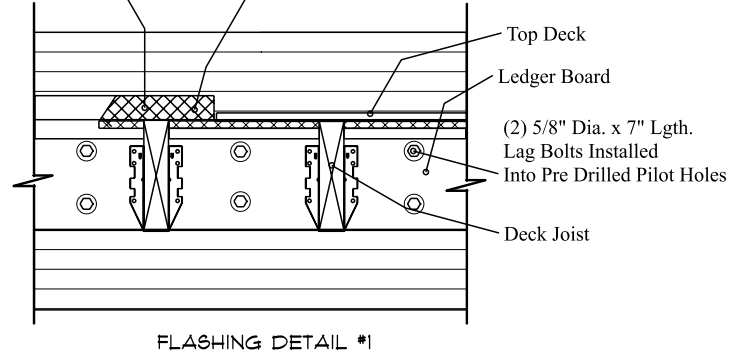
CHESTERFIELD FENCE & DECK <small>The sign has more than any other.</small>	CHESTERFIELD SUNROOMS <small>By Chesterfield Fence & Deck</small>	PAGE: 7/1 Beam & Pier Detail
	Eric Peterson 473 Longfellow Ave. Kirkwood MO 63122 PHONE: 310-991-6369 epeterson@spencerfane.com	CONSULTANT: Kevin Gallas DRAWN BY: C.J. Moss DATE: 6/28/2021
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Chesterfield Fence & Deck 620 Spirit Valley East Dr. Chesterfield MO 63005 PHONE: 636-532-4054 FAX: 636-532-8011 CELL: 636-591-5488 cjmoss@chesterfieldfence.com		



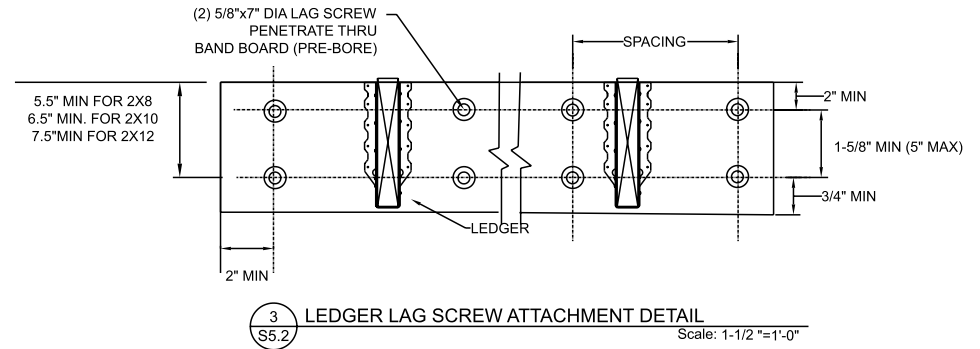
Vinyl Flashing Tucked Into Mortar Joint W/ Silicone Bead Flashing To Extend Past Exposed Portion Of Bandboard Aprx. 1" W/ Drip Edge Bend



Vinyl Flashing Tucked Behind House Wrap Or Bottom Piece Of Siding Extending Past Exposed Portion Of Bandboard Aprx. 1" W/ Drip Edge Bend

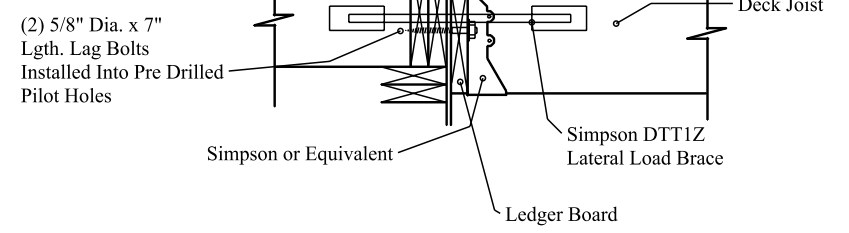


SIDE ELEVATION LEDGER CONNECTION DETAIL #2

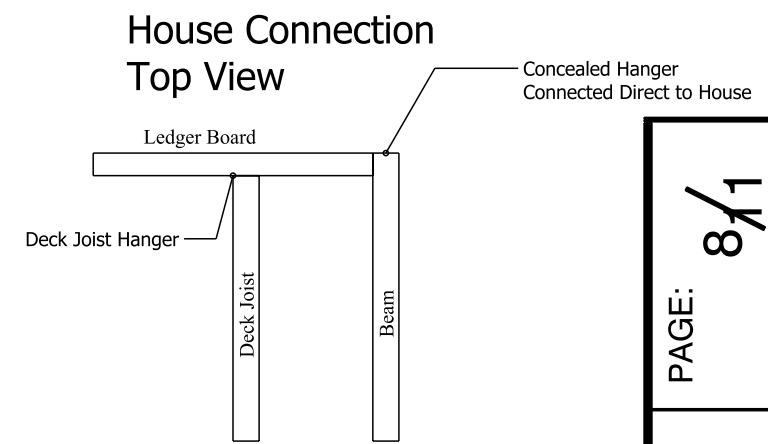


LEDGER LAG SCREW ATTACHMENT DETAIL Scale: 1-1/2" = 1'-0"

(Additional Blocking Necessary For I-Truss Floor Joists) 5' Lgth. Of 2"x10" On Each Side Of Joist For Reinforcement W/ Top & Bottom Row Of Nails @ Aprox. 6" O.C.



LATERAL LOAD CONNECTION DETAIL #1



House Connection Top View

Home's With I-Joists Must Be Laterally Braced @ Each End Of Deck & @ 10' O.C.

Home's With Nominal Lumber Joist Shall Have A Minimum Of 2 Lateral Tension Devices

LATERAL BRACE CONNECTORS Simpson or Equivalent

PAGE: 8/1
Ledger Detail

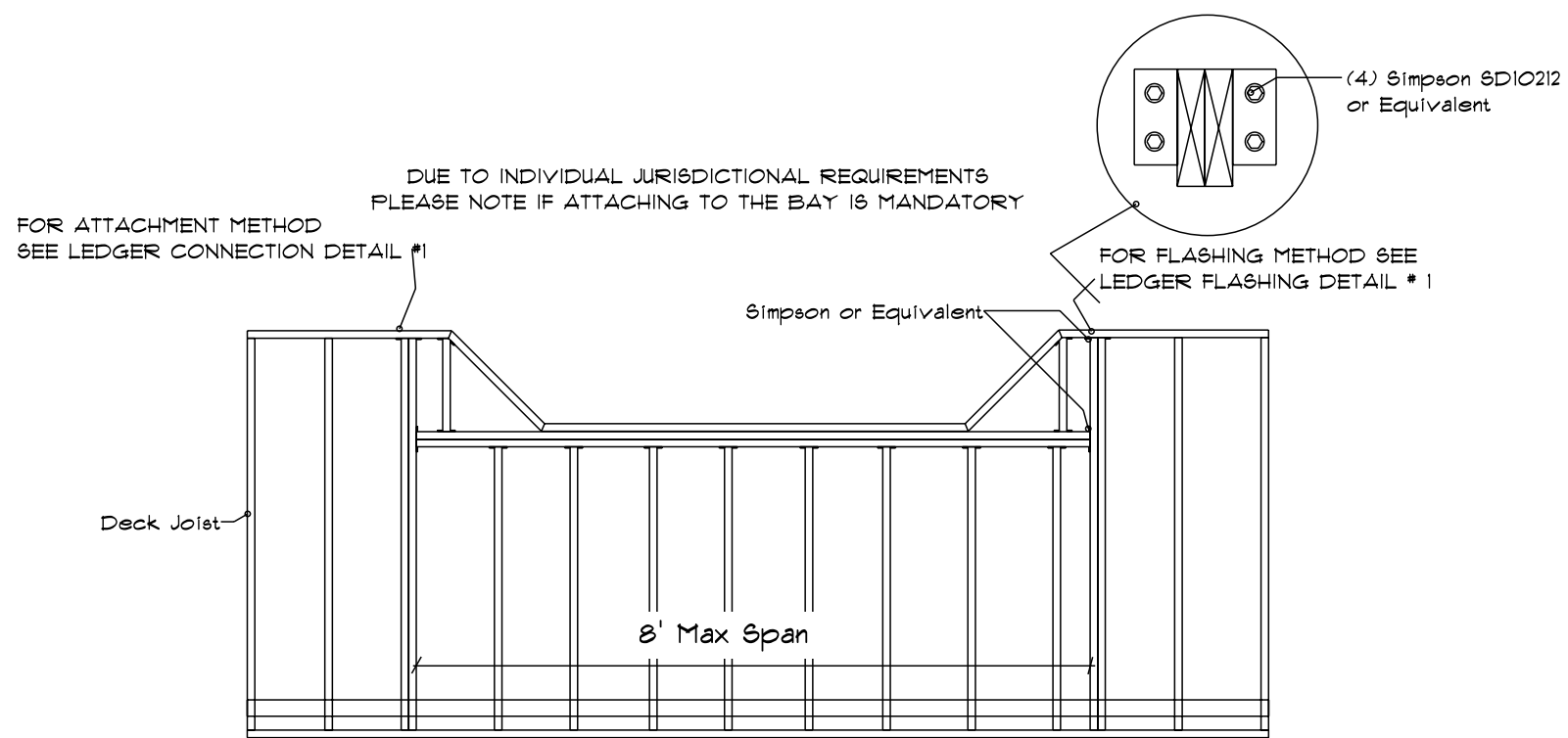


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CONSULTANT: Kevin Gallias
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PROJECT: 54780

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620 Spirit Valley East Dr.
Chesterfield MO 63005
PHONE: 636-532-4054
FAX: 636-532-8011
CELL: 636-591-5488
cjmos@chesterfieldfence.com



When H-Framing around fireboxes with siding maintain a min of 2" spacing on sides and backface of firebox.

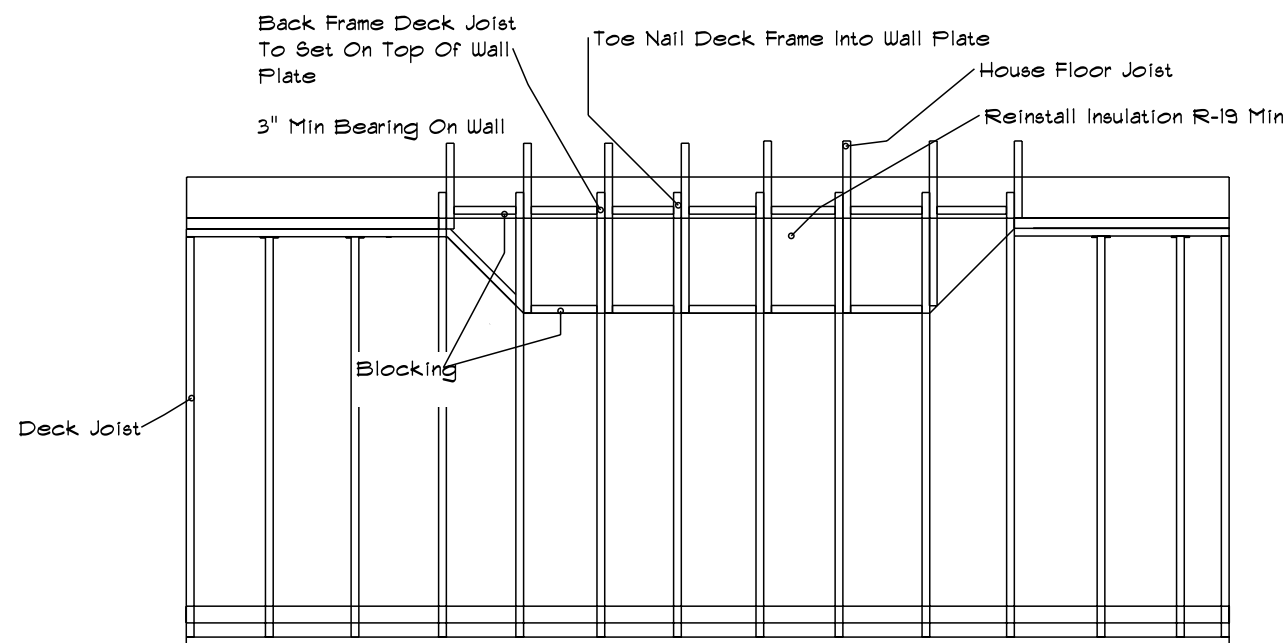
When H-Framing around fireboxes with masonry maintain a min of 2" spacing on sides and 4" on backface of firebox

Cantilever Deck Attachment H-Frame

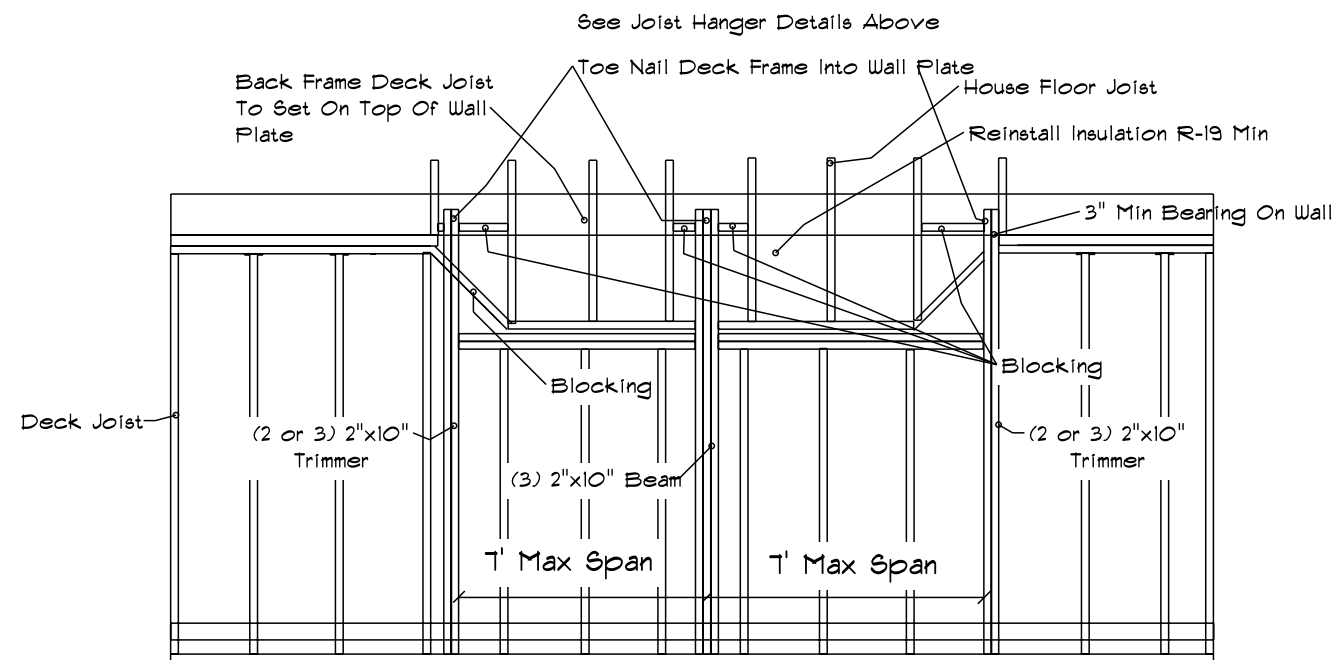
(Method A)
H-Frame Side Beams To Attach Directly To The House Rim Board And/ Or Supported With Post & Piers

(Method B)
Deck Joist And/Or Trimmers May Be Independently Run Inside To Rest On Existing Wall Plate W/ 3" Min Bearing

(Method C)
Construct Deck As Free Standing By Post & Beam Construction

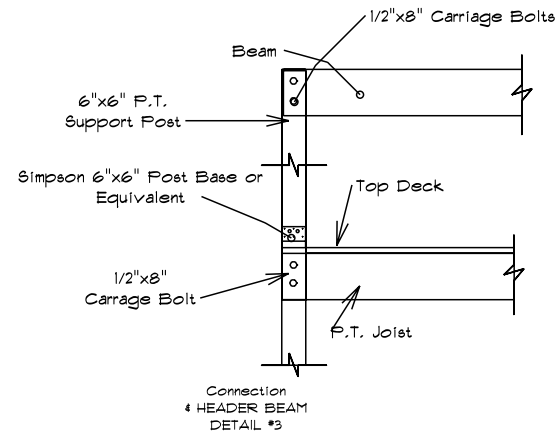
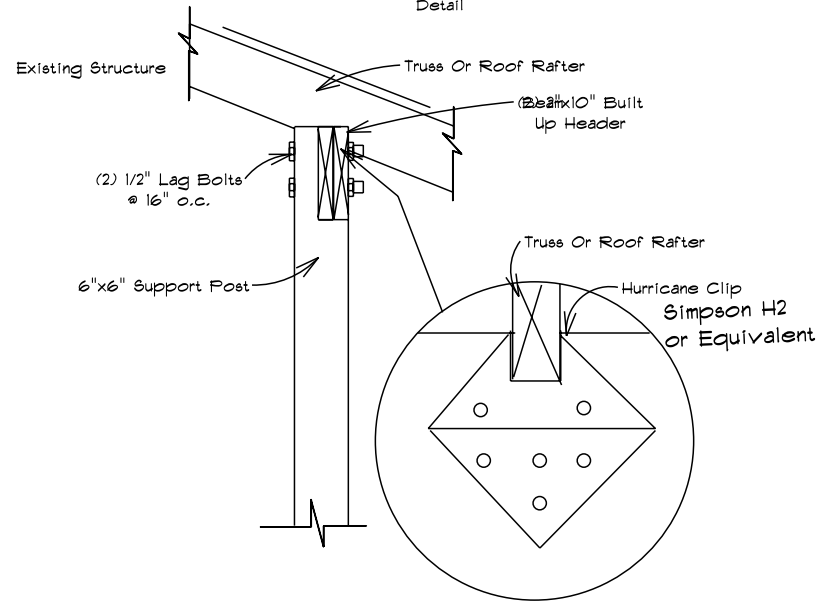
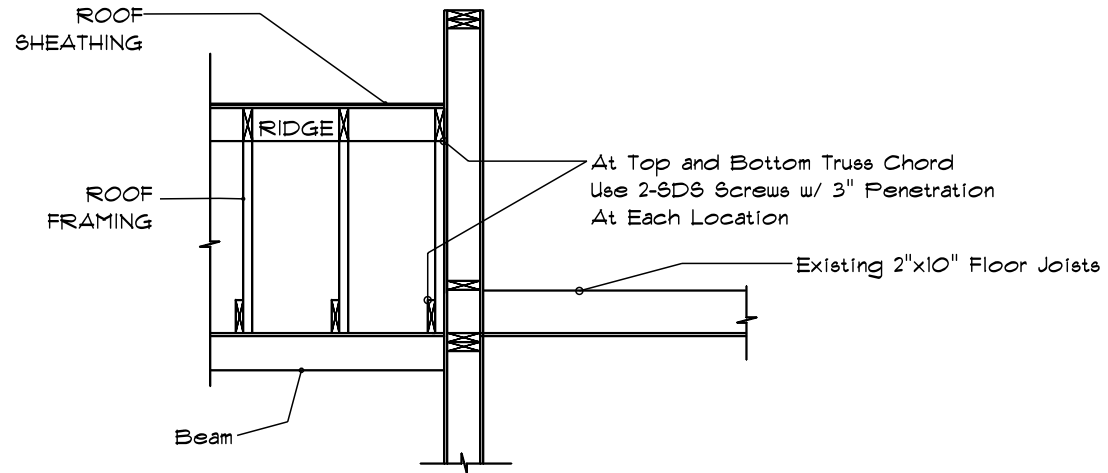
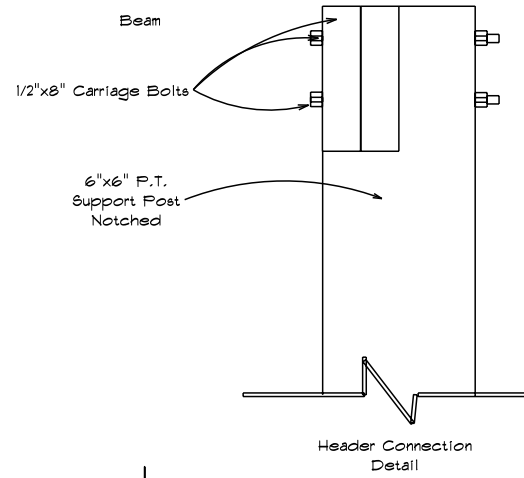


Cantilever Deck Attachment Back Frame Into Structure

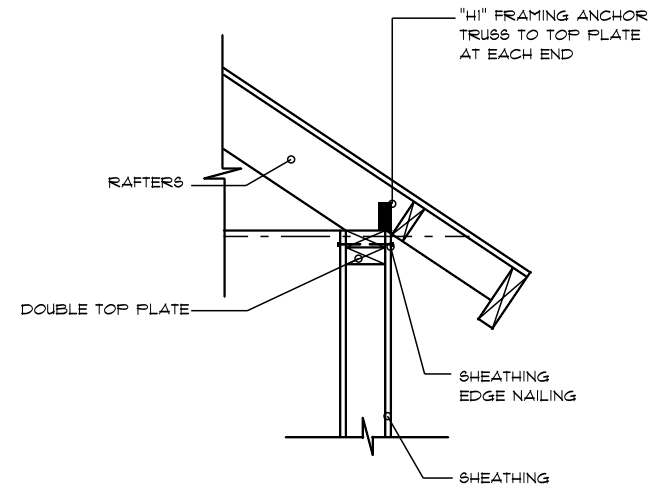
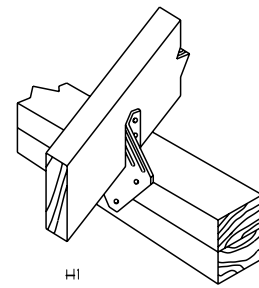
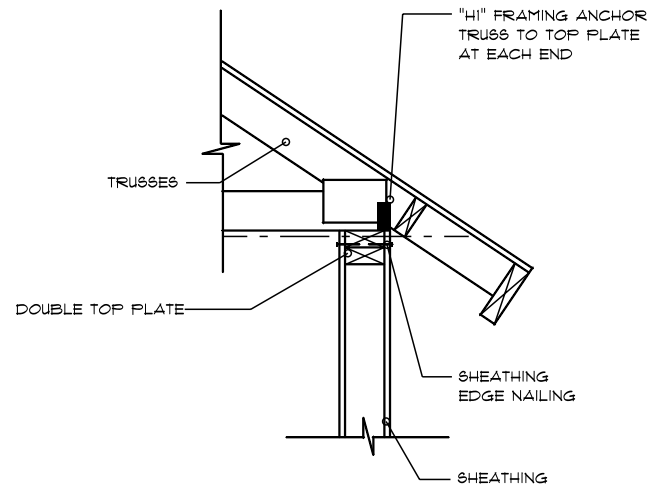


Cantilever Deck Attachment Back Frame Into Structure Double H-Frame

CHESTERFIELD FENCE & DECK <small>"The sign has done the heavy lifting"</small>	CHESTERFIELD SUN ROOMS <small>By Chesterfield Fence & Deck</small>	PAGE: 9/1 H Frame Detail
	PROJECT: 54780 Chesterfield Fence & Deck 620 Spirit Valley East Dr. Chesterfield MO 63005 PHONE: 636-532-4054 FAX: 636-532-8011 CELL: 636-591-5488 cjmoss@chesterfieldfence.com	CONSULTANT: Kevin Gallas DRAWN BY: C.J. Moss DATE: 6/28/2021



Typical Roof Note
 #225 ASPHALT SHINGLES
 1/2" ROOFING PLYWOOD c/w
 'H' CLIPS
 Engineered Trusses @ 24" o.c.
 Min. 15# Underlayment
 Ice & Water Shield In Valley



TRUSS MANUFACTURER TO VERIFY DETAILS

SHEAR TRANSFER



Eric Peterson
 473 Longfellow Ave.
 Kirkwood MO 63122
 PHONE: 310-991-6369
 epeterson@spencerfane.com

CONSULTANT: Kevin Gallas
 DRAWN BY: C.J. Moss
 DATE: 6/28/2021

PROJECT: 54780

Chesterfield Fence & Deck

620 Spirit Valley East Dr.
 Chesterfield MO 63005
 PHONE: 636-532-4054
 FAX: 636-532-8011
 CELL: 636-591-5488
 cjmoss@chesterfieldfence.com











**Architectural Review Board Application
New Single Family Residence (SFR)**

DESIGN SUBMISSION APPLICATION

Property Address 612 S. Ballas Rd Zoned R-3

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work New Single family home

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT	
Name <u>MRM Manlin Development Group</u>	Phone <u>314-222-7088</u>
Address <u>7729 Clayton Rd</u>	
City, State, Zip <u>St. Louis MO 63117</u>	
E-mail (Agenda will be e-mailed to applicant) <u>linda.clarke@manlinedevelopmentgroup.com</u>	
PROPERTY OWNER	
Name _____	Phone _____
Address _____	
City, State, Zip <u>same</u>	
ARCHITECT INFORMATION	
Name <u>Thompson Design Group</u>	Phone <u>314-283-8735</u>
Address <u>452 Jung's Station Rd.</u>	
City, State, Zip <u>St. Charles, Mo. 63303</u>	

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

[Signature] Applicant's Signature 6/18/2021 Date

City Use Only	
Received by <u>GW</u>	
Agenda Date <u>07/06/21</u>	
Case # <u>99-21R</u>	
Permit # <u>22-1202</u>	
Zoning Comments <u>need accurate spot grade to determine FFH \$25-47(m)</u>	
Building Comments _____	



**Architectural Review Board Application
New Single Family Residence (SFR)**

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- New Single Family Residence
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: New Single Family home

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Traditional
 Number of Stories: 2 Building Height: 30'-5' Number of Roof Lines: 1
 Roof Type: Asphalt Primary Roof Pitch: _____
 Secondary Roof Pitch: _____ Tertiary Roof Pitch: _____

2) Building Materials

Primary Exterior Wall Material: Vinyl Siding
 Secondary Exterior Wall Material: Vinyl Board & Batten
 Tertiary Wall Material: _____
 Primary Roof Material: Asphalt/Architectural roof Shingles
 Secondary Roof Material: _____

3) Exterior Windows and Doors

Type of Door: Fiberglass
 Type of Window: Vinyl Pane Arrangement: 6 pane grid

4) Detailing

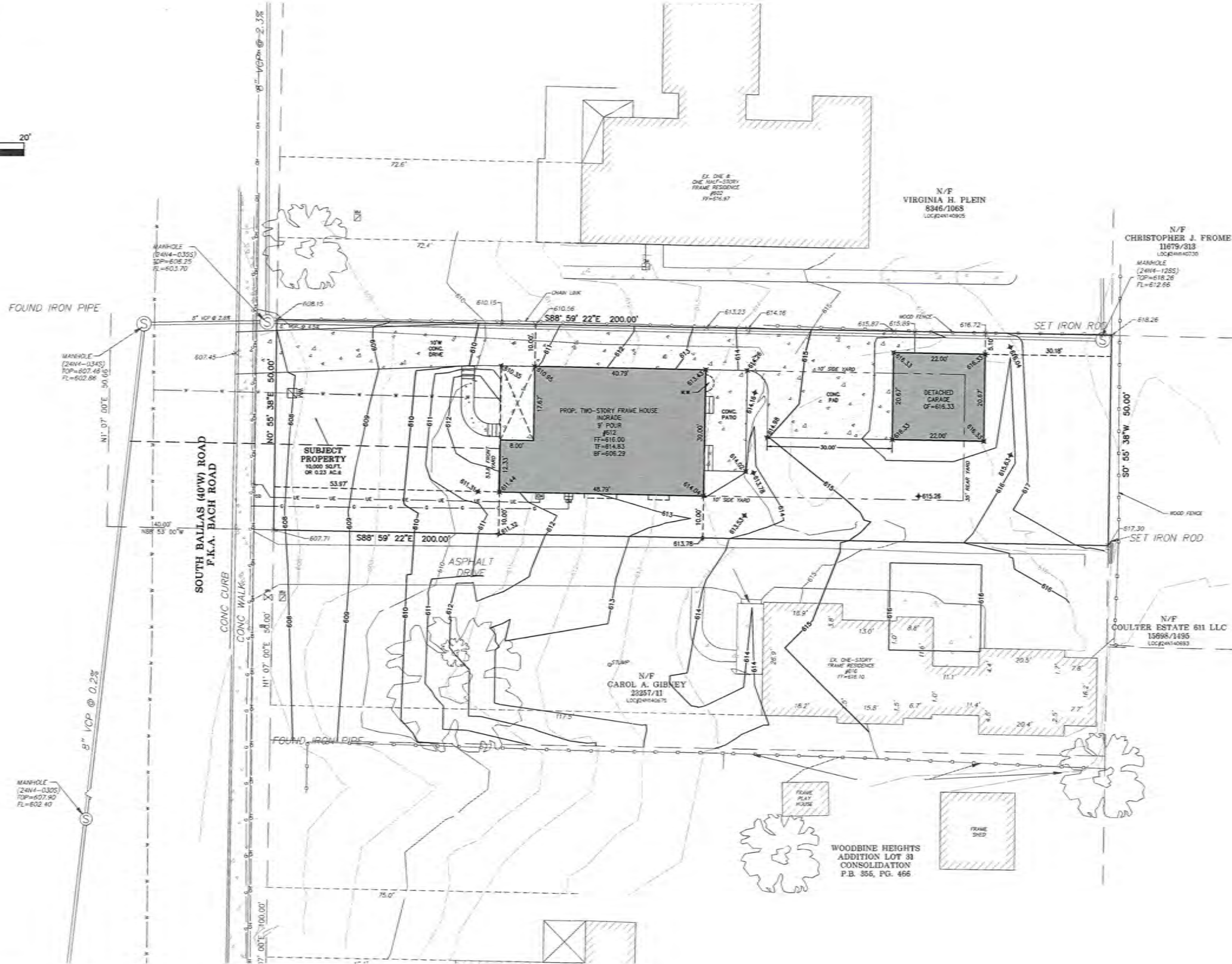
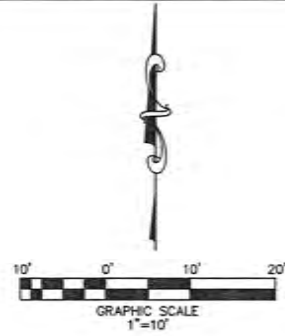
Foundation Wall Covering: _____
 Location of Utility Equipment: _____
 Screening of Utility Equipment: _____

Section C: Neighborhood Context (New Primary Construction Only)

Material Palette: Any material present on 20% or more of the front facades of existing houses within your Neighborhood Context is considered a Predominant Material (there may be more than one). If a single material is dominant on more than 70% of the houses within the site context that material is considered to be the Single Dominant Material.

Single Dominant Material: Vinyl Siding
 Predominant Material: Vinyl Board & Batten





THD DESIGN GROUP, INC.
 "your solution for engineering and surveying"
 148 CHESTERFIELD INDUSTRIAL BLVD. STE. E. CHESTERFIELD, MO 63005
 TEL. 636-294-2922
 FAX. 636-294-2927
 WWW.THDDSG.COM
 Professional Engineer
 Certificate of Authority #20100412

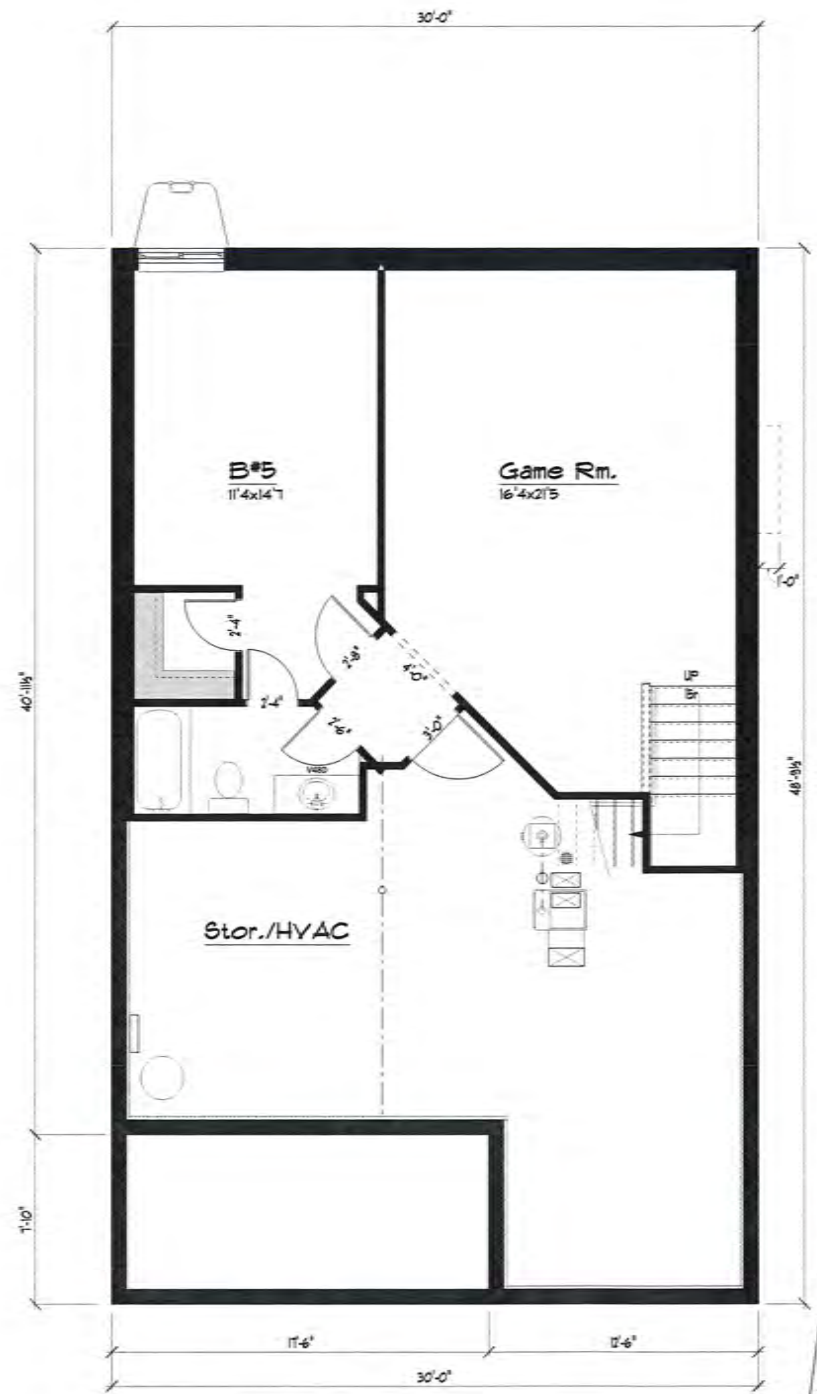
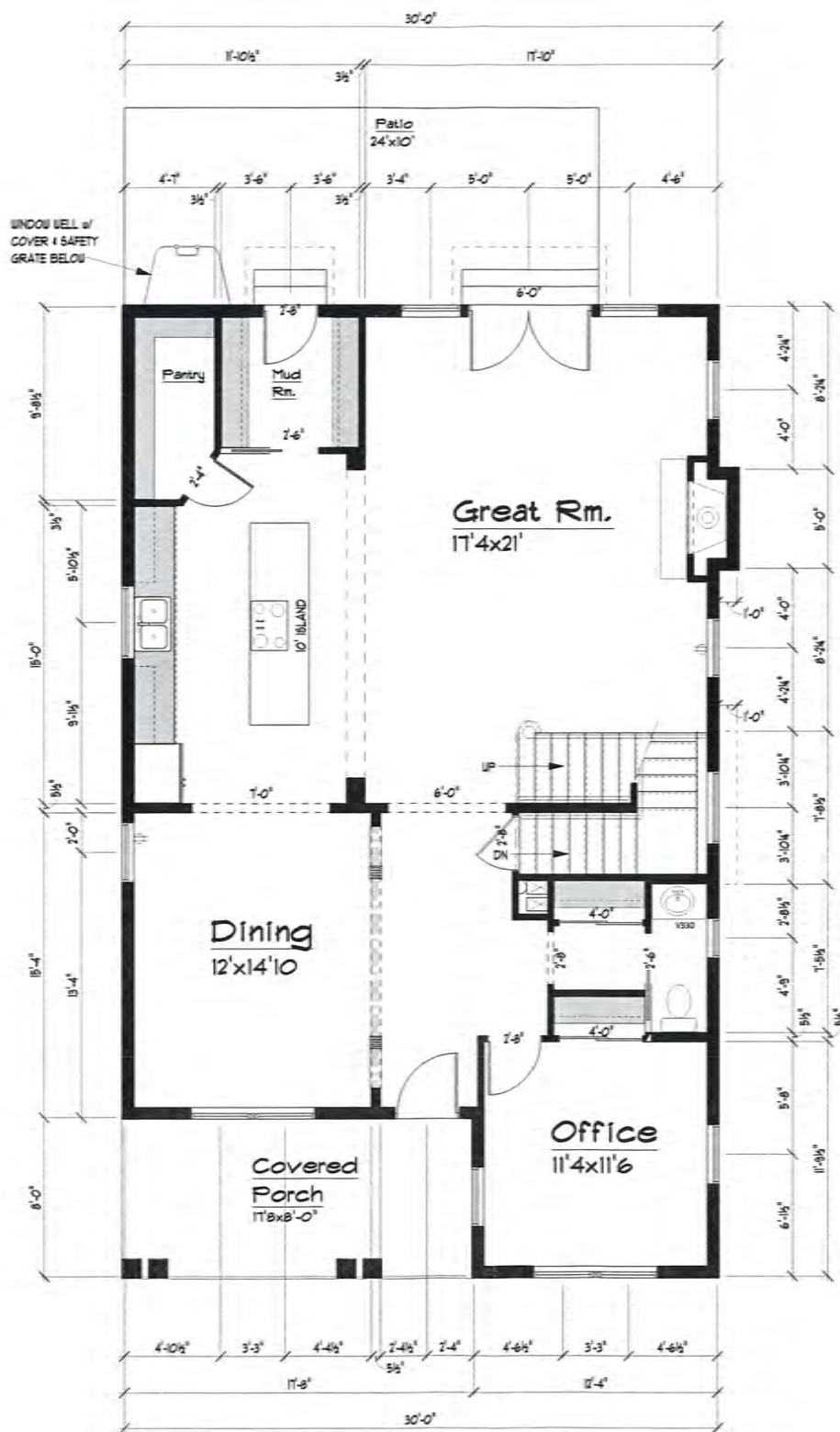
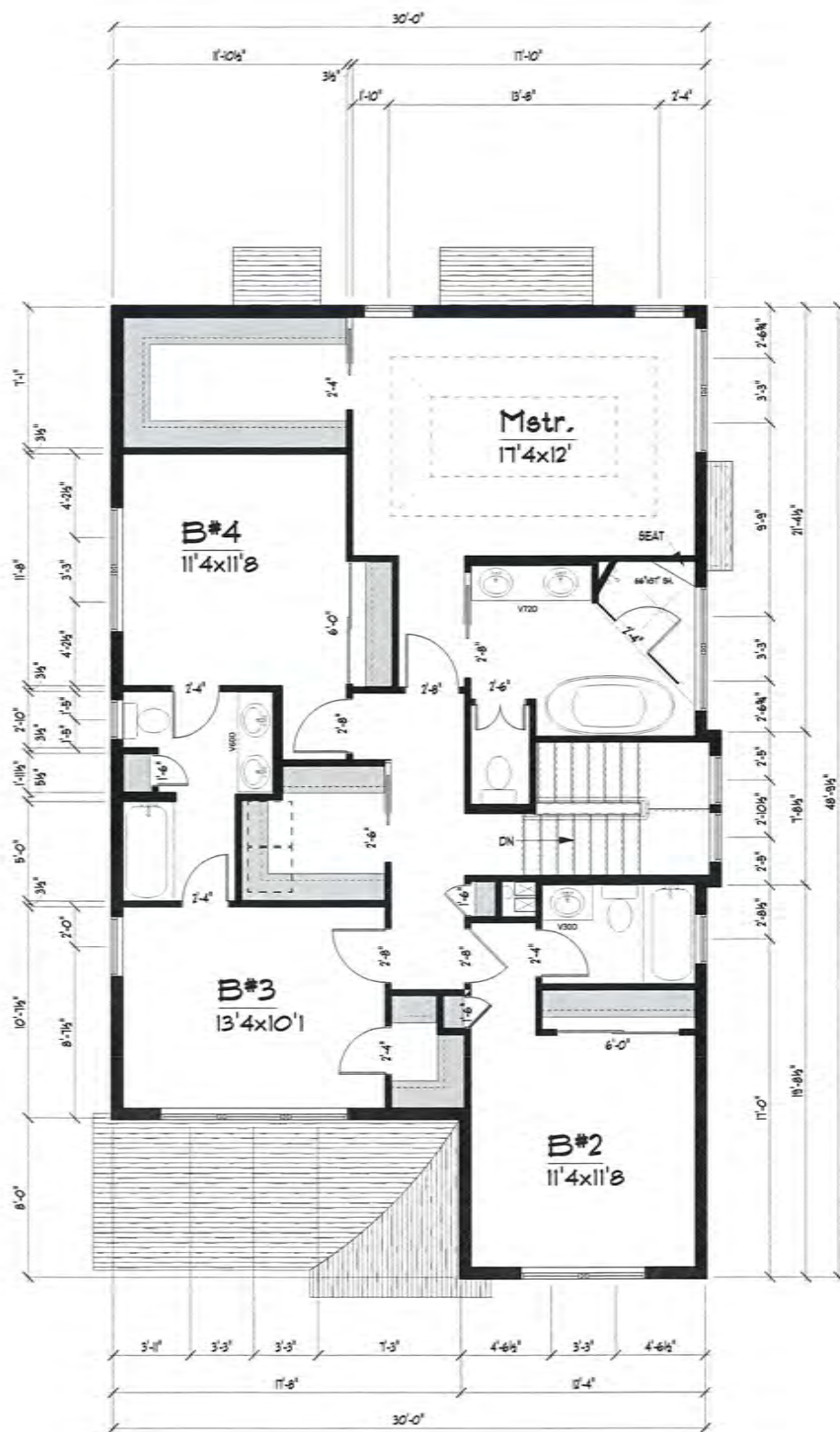
612 BALLAS ROAD
SITE PLAN
 10 SCALE PLAN



Date: Jun 14, 2021
 Ryan D. Weeks
 License No. PE-201215775
 Civil Engineer
 PROJECT NUMBER: 21-5023
 DATE: 06/14/2021
 DRAWN BY: RDM

Call BEFORE you DIG
 TOLL FREE
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM, INC.

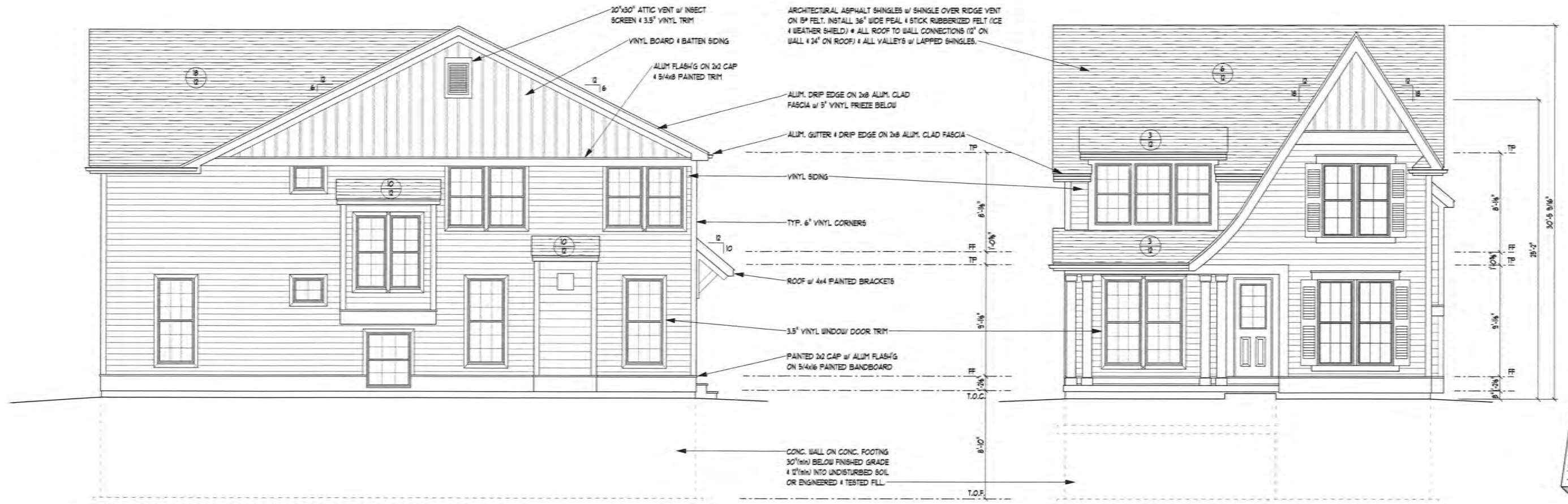
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.



612 S. Ballas Rd.
 Kirkwood, MO, 63119 Saint Louis County
MRM Manlin Development
 1729 Clayton Road, Clayton, MO 63117 (314) 265-0811

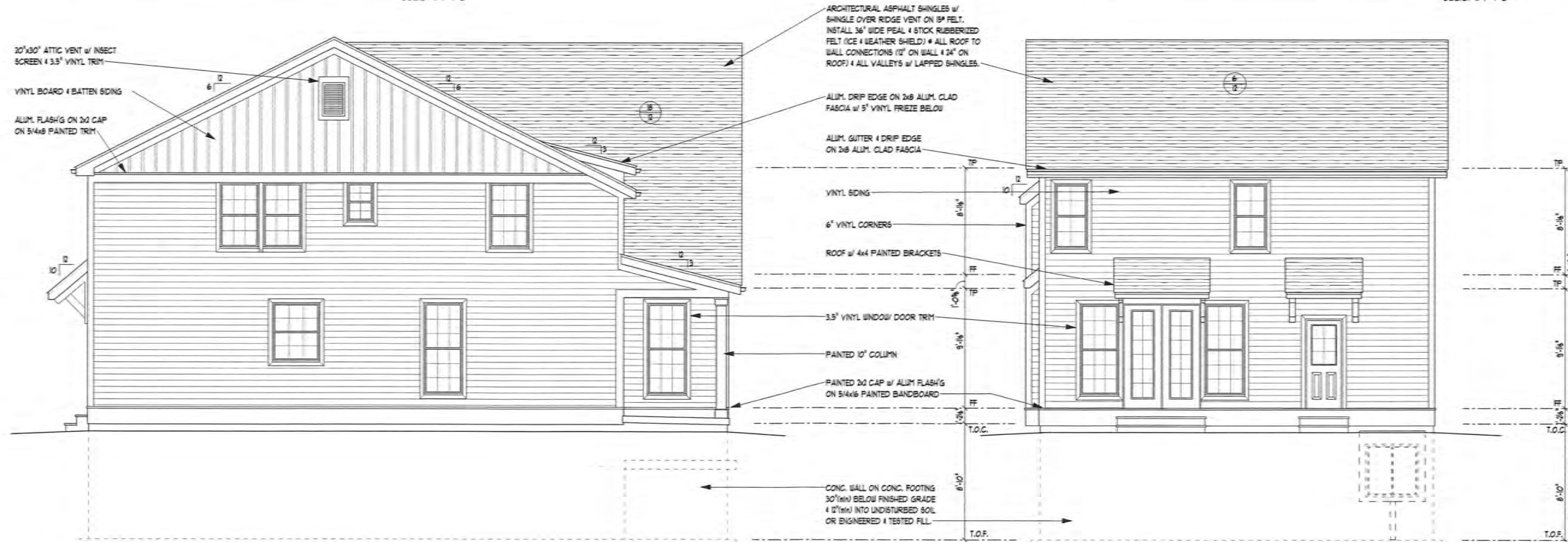
Architect
Thompson
 Design Group LLC
 452 Jungo Station Rd.
 St. Charles, MO 63303-6243 (314) 283 8755

REVISIONS:



Right Elevation *Grading plan to govern grade elevations*
Scale: 1/4"=1'-0"

Front Elevation *Grading plan to govern grade elevations*
Scale: 1/4"=1'-0"



Left Elevation *Grading plan to govern grade elevations*
Scale: 1/4"=1'-0"

Rear Elevation *Grading plan to govern grade elevations*
Scale: 1/4"=1'-0"

Architect
Thompson
 Design Group LLC
 482 Junge Station Rd.
 St. Charles, MO 63303-6243 (314) 283-8755

612 S. Ballas Rd.
 Kirkwood, MO, 63118 Saint Louis County
MRM Manlin Development
 1129 Clayton Road, Clayton, MO 63117 (314) 265-0877

REVISIONS:

Subject Property (612 Ballas Rd)





528 S. Ballas (Photo 1)



532 S. Ballas (Photo 2)



602 S. Ballas (Photo 3)



616 S. Ballas (Photo 4)



624 S. Ballas (Photo 5)



704 S. Ballas (Photo 6)



519 S. Ballas (Photo 7)



529 S. Ballas (Photo 8)



1708 Janet Pl - Vacant (Photo 9)



615 S. Ballas (Photo 10)



705 S. Ballas (Photo 11)



711 S. Ballas (Photo 12)



717 S. Ballas (Photo 13)





**Architectural Review Board Application
New Single Family Residence (SFR)**

DESIGN SUBMISSION APPLICATION

Property Address 616 S. Ballas Rd Zoned _____

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work New Single family Home

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT	
Name <u>MRM Manlin Development Group</u>	Phone <u>314-222-7088</u>
Address <u>7729 Clayton Rd</u>	
City, State, Zip <u>St. Louis, Mo. 63117</u>	
E-mail (Agenda will be e-mailed to applicant) _____	
PROPERTY OWNER	
Name _____	Phone _____
Address _____	
City, State, Zip <u>same</u>	
ARCHITECT INFORMATION	
Name <u>Thompson Design Group</u>	Phone <u>314-283-8735</u>
Address <u>452 Jung's Station Rd</u>	
City, State, Zip <u>St Charles Mo. 63303</u>	

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Applicant's Signature [Signature] Date 6/18/2021

<p>City Use Only</p> <p>Received by <u>TD</u></p> <p>Agenda Date <u>07/06/2021</u></p> <p>Case # <u>98-21R</u></p> <p>Permit # <u>22-001</u></p> <p>Zoning Comments <u>Need accurate spot grade to calculate PPAH \$2547(m)</u></p> <p>Building Comments _____</p>	<p>Date Stamp</p> <p>RECEIVED</p> <p>JUN 18 2021</p> <p>CITY OF KIRKWOOD PUBLIC WORKS DEPARTMENT</p>
---	---



Architectural Review Board Application New Single Family Residence (SFR)

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- New Single Family Residence
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: New Single Family Home

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Traditional

Number of Stories: 2 Building Height: 30'6" Number of Roof Lines: 1

Roof Type: Asphalt Primary Roof Pitch: _____

Secondary Roof Pitch: _____ Tertiary Roof Pitch: _____

2) Building Materials

Primary Exterior Wall Material: Vinyl Siding

Secondary Exterior Wall Material: Vinyl Board n Batten

Tertiary Wall Material: _____

Primary Roof Material: Architectural Roof Shingles

Secondary Roof Material: _____

3) Exterior Windows and Doors

Type of Door: Fiberglass

Type of Window: Vinyl Pane Arrangement: divided w/ grills

4) Detailing

Foundation Wall Covering: _____

Location of Utility Equipment: _____

Screening of Utility Equipment: _____

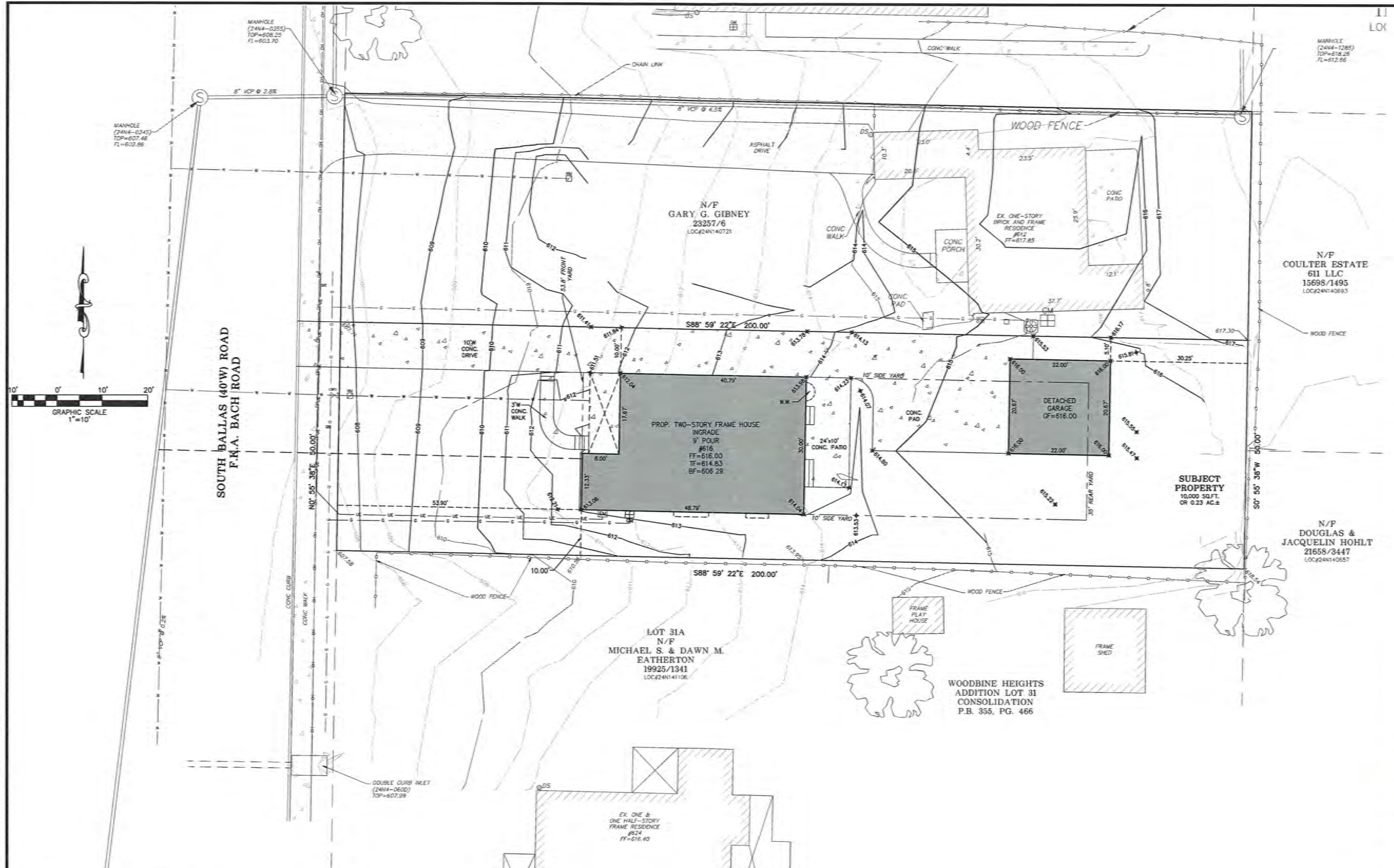
Section C: Neighborhood Context (New Primary Construction Only)

Material Palette: Any material present on 20% or more of the front facades of existing houses within your Neighborhood Context is considered a Predominant Material (there may be more than one). If a single material is dominant on more than 70% of the houses within the site context that material is considered to be the Single Dominant Material.

Single Dominant Material: _____

Predominant Material: _____





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1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

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WEB: THDDSGROUP.COM
TEL: 636-394-1027
FAX: 636-394-1027
Corporate Certificate of Authority #201004115

616 BALLAS ROAD
SITE PLAN
10 SCALE PLAN

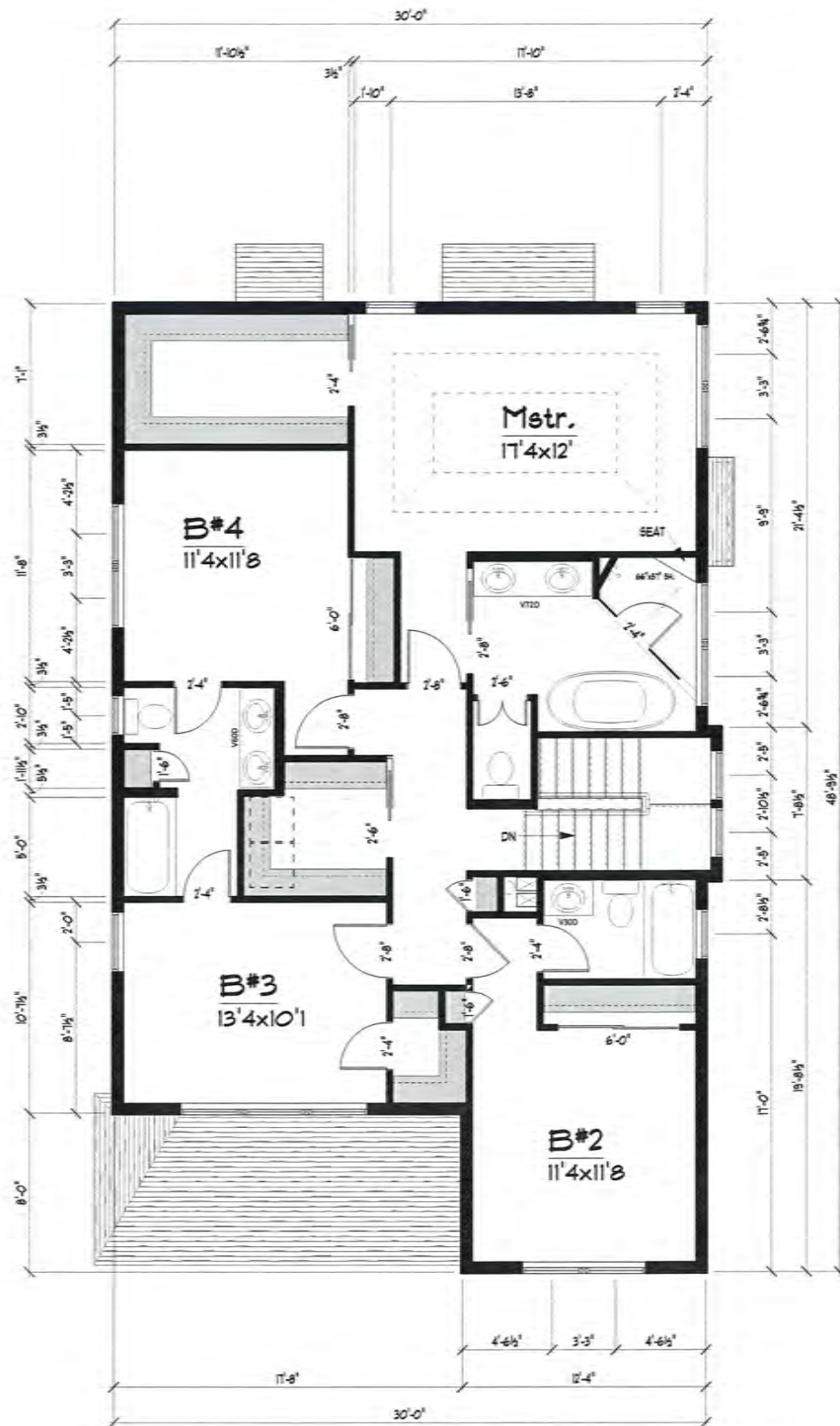


Date: Jun 14, 2021
Ryan D. Mink
License No. PE-2011015775
Civil Engineer

PROJECT NUMBER: 21-5024

DATE: 06/14/2021

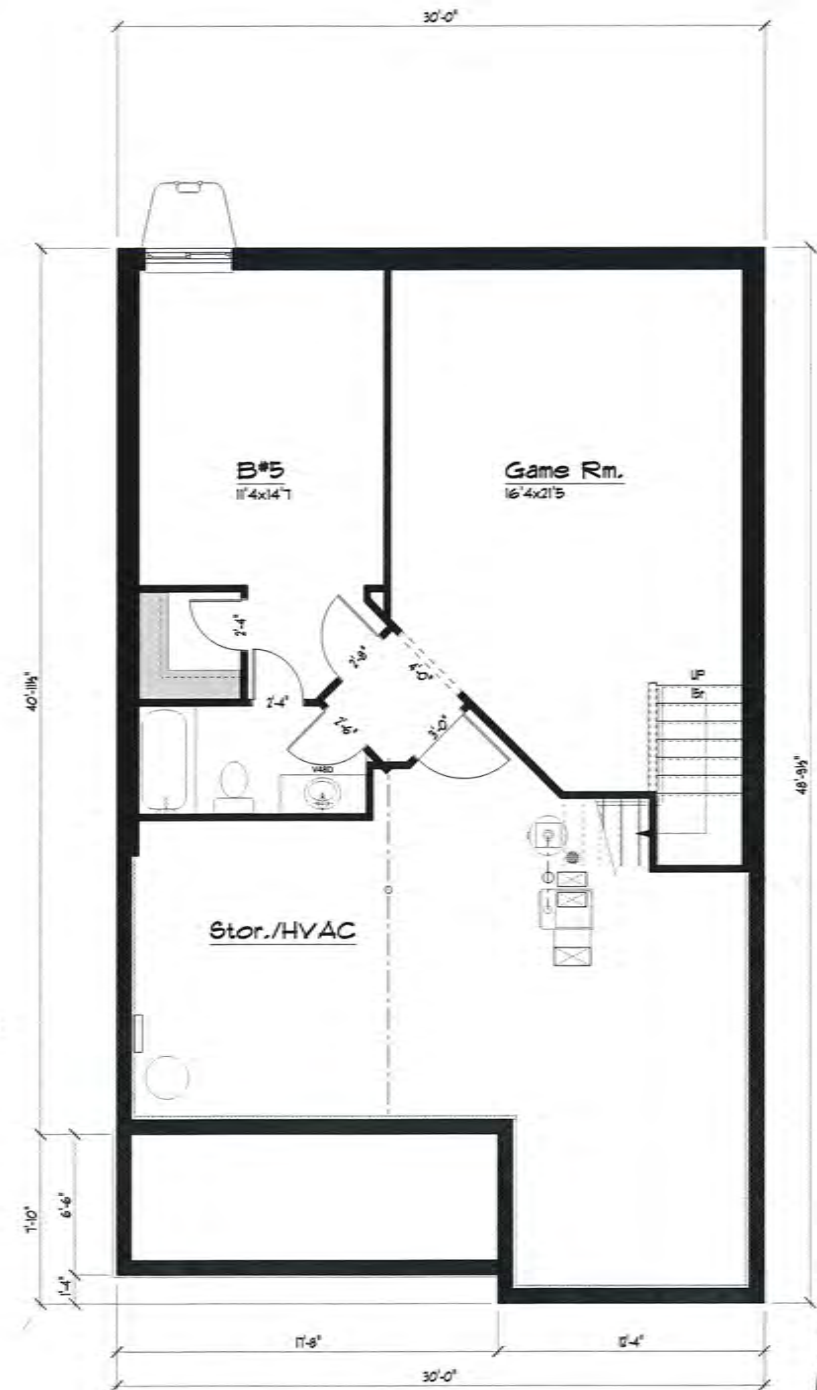
DRAWN BY: ROM



2nd Floor Plan
 1327sf. + 1328sf. 2nd Flr. = 2655sf.
 All room dimensions and square footages are approximate. Scale: 1/4"=1'-0"



1st Floor Plan
 1327sf. + 1328sf. 2nd Flr. = 2655sf.
 All room dimensions and square footages are approximate. Scale: 1/4"=1'-0"

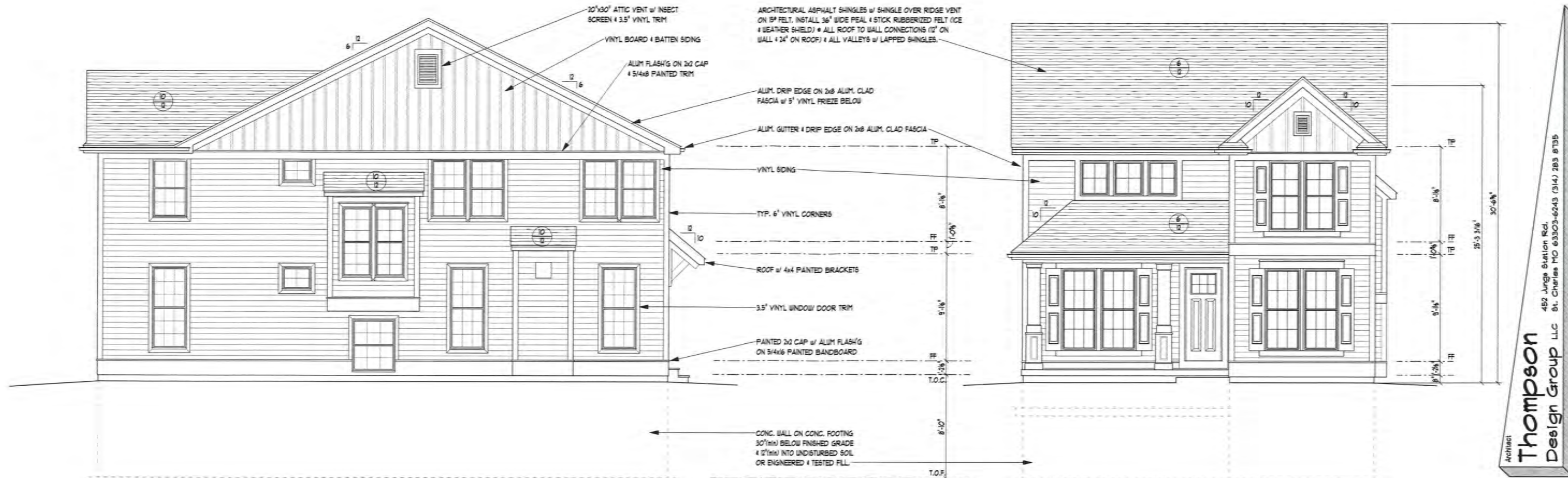


Basement Plan
 116sf. Finished
 All room dimensions and square footages are approximate. Scale: 1/4"=1'-0"

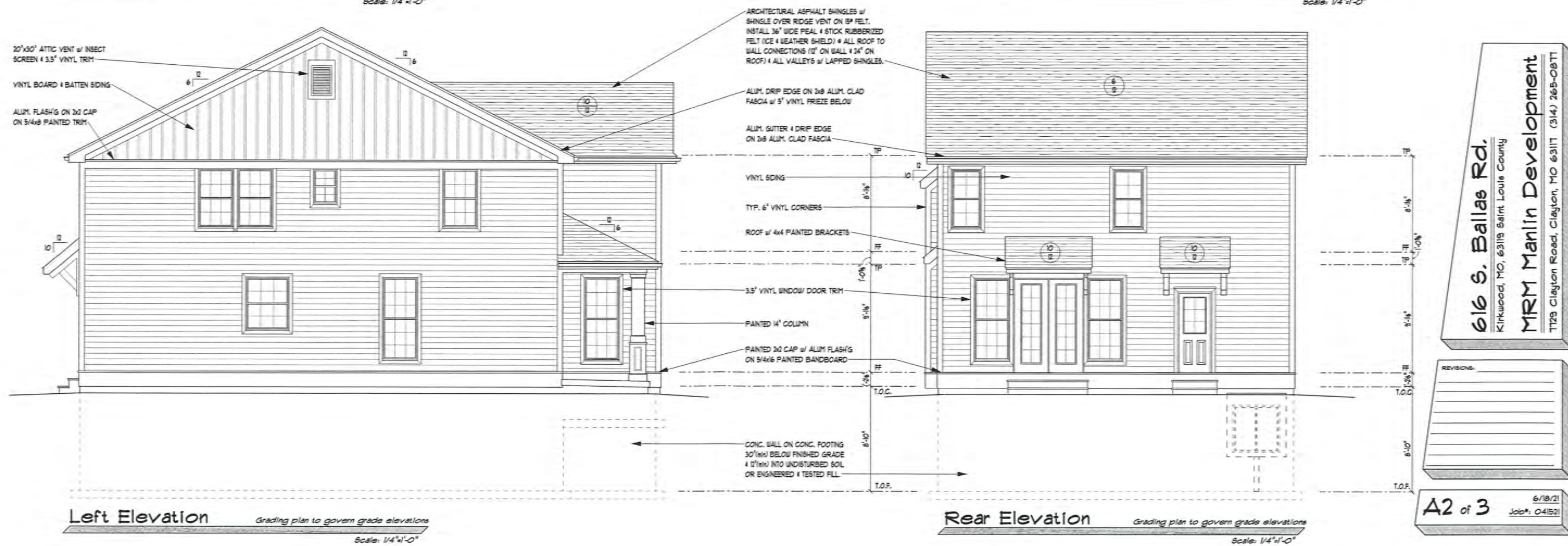
REVISIONS:

616 S. Ballas Rd.
 Kirkwood, MO, 63119 Saint Louis County
MRM Manlin Development
 1129 Clayton Road, Clayton, MO 63117 (314) 265-0811

Architect
Thompson
 Design Group LLC
 452 Junge Station Rd.
 St. Charles, MO 63303-6243 (314) 283 8155

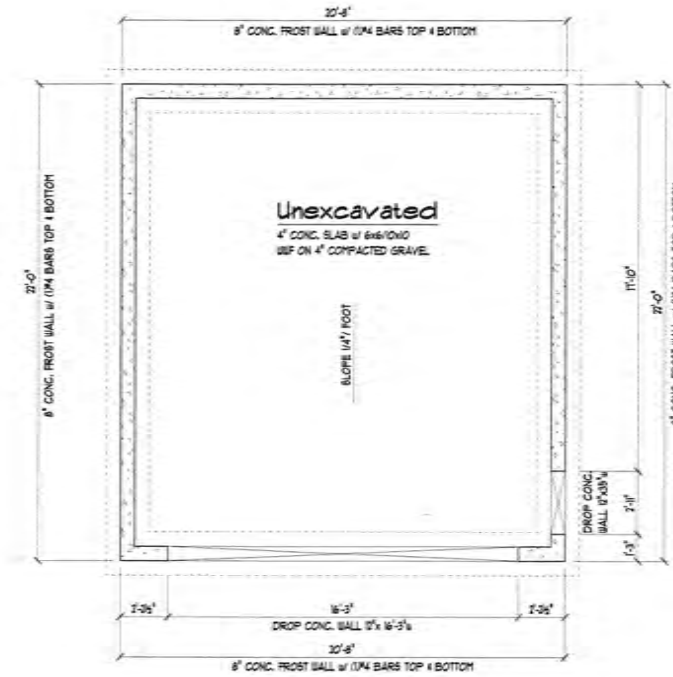


Architect
Thompson
 Design Group LLC
 452 Jungo Station Rd.
 St. Charles, MO 63303-6243 (314) 283 8795



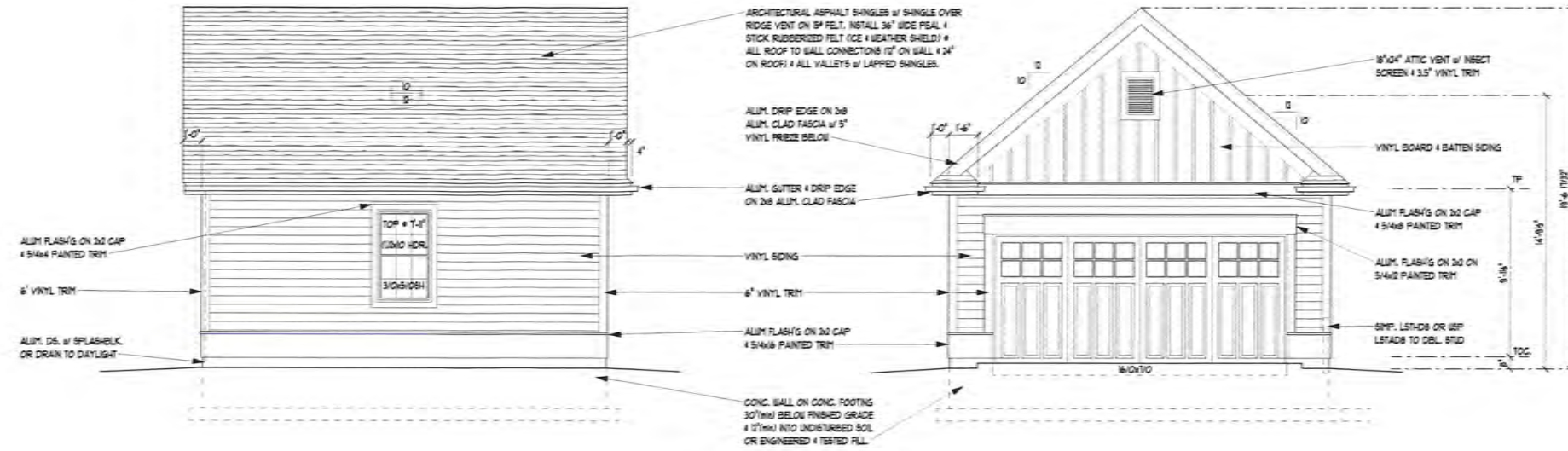
616 S. Ballas Rd.
 Kirkwood, MO, 63118 Saint Louis County
MRM Manlin Development
 1129 Clayton Road, Clayton, MO 63117 (314) 265-0877

REVISIONS



Garage Foundation Plan

Scale: 1/4"=1'-0"

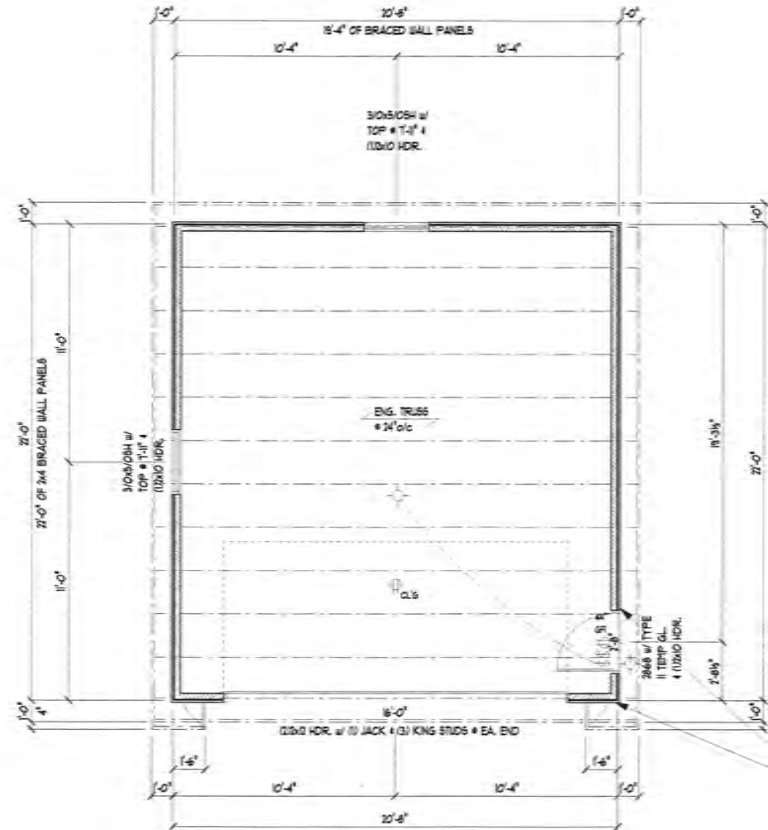


Left Elevation

Grading plan to govern grade elevations
Scale: 1/4"=1'-0"

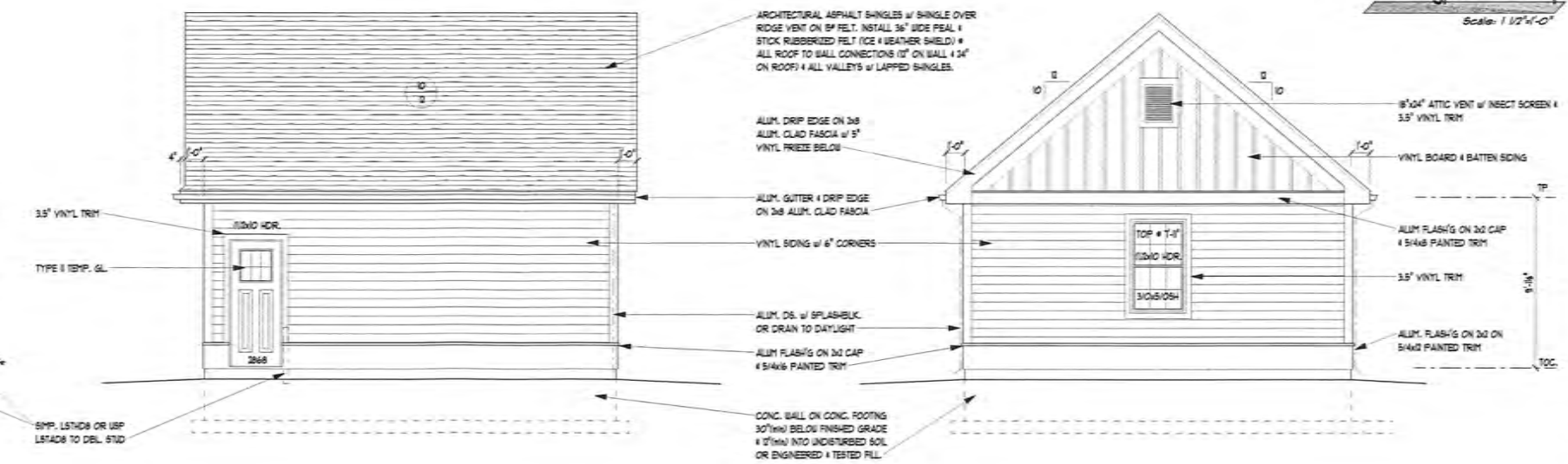
Front Elevation

Grading plan to govern grade elevations
Scale: 1/4"=1'-0"



Garage Plan

Scale: 1/4"=1'-0"

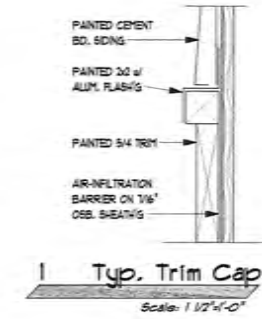


Right Elevation

Grading plan to govern grade elevations
Scale: 1/4"=1'-0"

Rear Elevation

Grading plan to govern grade elevations
Scale: 1/4"=1'-0"



1 Typ. Trim Cap

Scale: 1/2"=1'-0"

616 S. Ballas Rd.
Kirkwood, MO, 63119 Saint Louis County
MRM Manlin Development
1129 Clayton Road, Clayton, MO 63117 (314) 265-0877

REVISIONS:

Architect
Thompson
Design Group, LLC
482 Lange Station Rd.
St. Charles, MO 63303-6243 (314) 263-8735

Subject Property (616 Ballas Rd)





532 S. Ballas (Photo 1)



602 S. Ballas (Photo 2)



612 S. Ballas (Photo 3)



624 S. Ballas (Photo 4)



704 S. Ballas (Photo 5)



708 S. Ballas (Photo 6)



519 S. Ballas (Photo 7)



529 S. Ballas (Photo 8)



1708 Janet Pl - Vacant (Photo 9)



615 S. Ballas (Photo 10)



705 S. Ballas (Photo 11)



711 S. Ballas (Photo 12)



717 S. Ballas (Photo 13)





Architectural Review Board Application
New Single Family Residence (SFR)

DESIGN SUBMISSION APPLICATION

Property Address 315 Crest Ave Zoned R-4

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work New Home Construction

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name Kingbridge Homes LLC Phone 314-486-9900

Address 8412 Manchester

City, State, Zip St. Louis, Mo 63144

E-mail (Agenda will be e-mailed to applicant) jks@kingbridgehomes.com

PROPERTY OWNER

Name Same as Above Phone _____

Address _____

City, State, Zip _____

ARCHITECT INFORMATION

Name McBride + Son Architecture Phone 636-537-2000

Address 16091 Swingley Ridge Suite 300

City, State, Zip Chesterfield, Mo 63017

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

[Signature]
Applicant's Signature

6/18/21
Date

City Use Only

Received by [Signature]

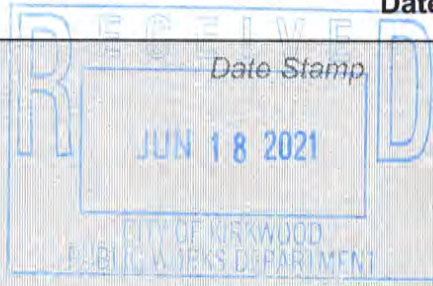
Agenda Date 07/06/2021

Case # 99-21R

Permit # 22-1204

Zoning Comments _____

Building Comments _____





Architectural Review Board Application New Single Family Residence (SFR)

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- New Single Family Residence
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: New Single Family Home

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Traditional
 Number of Stories: 2 Building Height: 30.5' Number of Roof Lines: 4
 Roof Type: Hip Primary Roof Pitch: 8/12
 Secondary Roof Pitch: 8/12 Tertiary Roof Pitch: 8/12

2) Building Materials

Primary Exterior Wall Material: Vinyl Siding
 Secondary Exterior Wall Material: Stone
 Tertiary Wall Material: N/A
 Primary Roof Material: Architectural Shingle
 Secondary Roof Material: N/A

3) Exterior Windows and Doors

Type of Door: Fiberglass
 Type of Window: Vinyl Pane Arrangement: Double Hung 6/6

4) Detailing

Foundation Wall Covering: Siding to Grade
 Location of Utility Equipment: Right Side
 Screening of Utility Equipment: no

Section C: Neighborhood Context (New Primary Construction Only)

Material Palette: Any material present on 20% or more of the front facades of existing houses within your Neighborhood Context is considered a Predominant Material (there may be more than one). If a single material is dominant on more than 70% of the houses within the site context that material is considered to be the Single Dominant Material.

Single Dominant Material: Vinyl Siding
 Predominant Material: Brick/Stone

315 Crest Ave. - Color Rendering

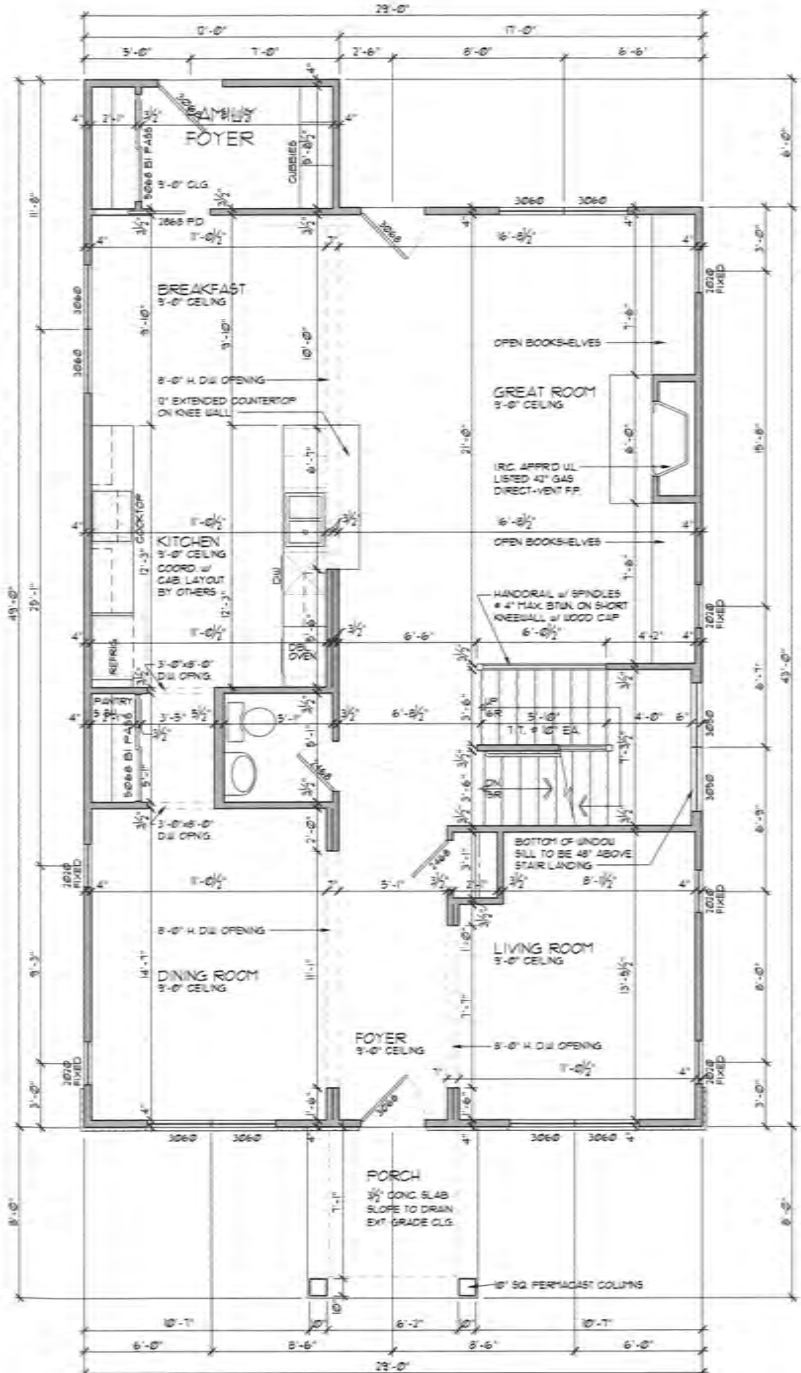
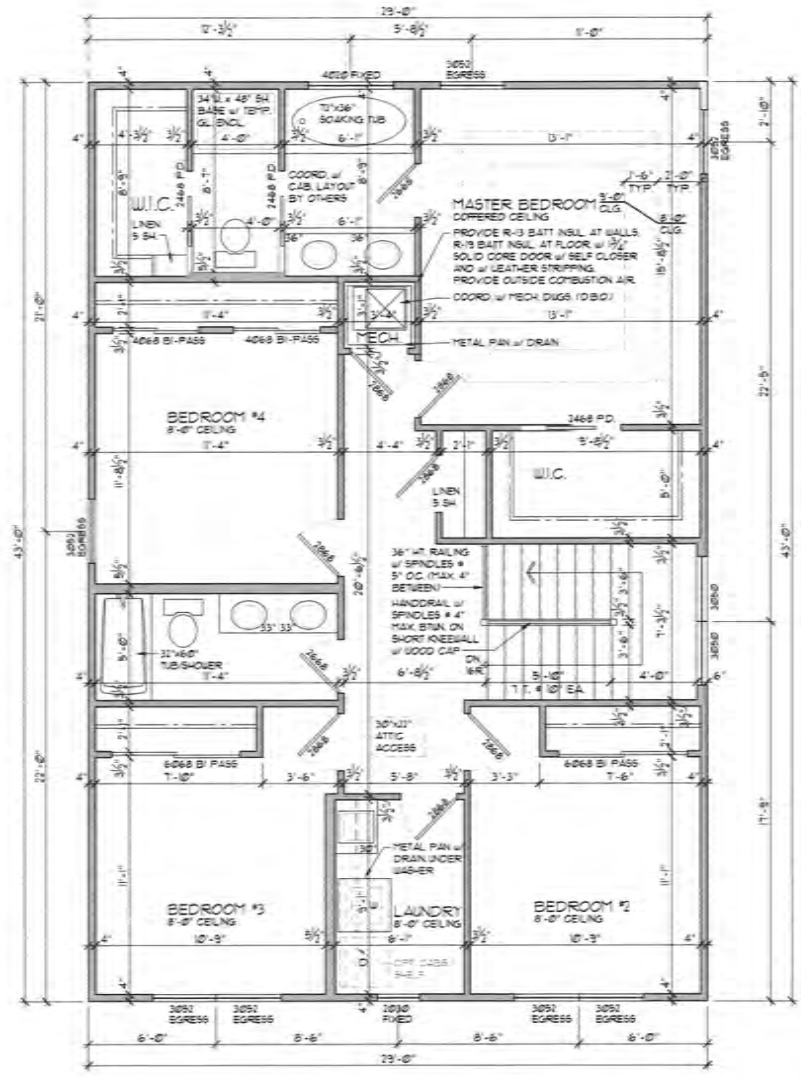
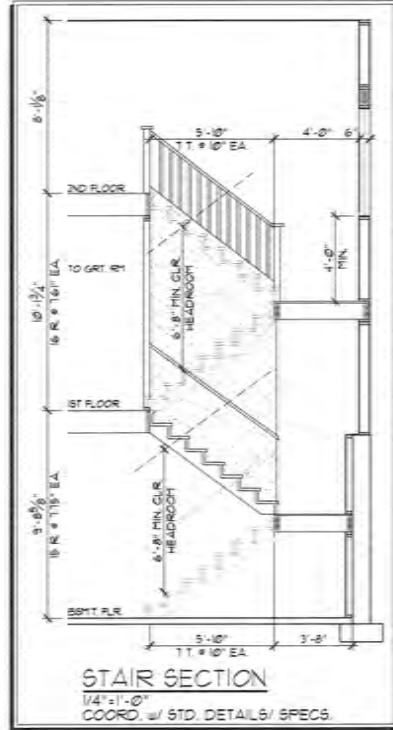


NOTE:
 WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIAMETER SPHERE CANNOT PASS.

- GENERAL NOTES**
1. ALL HEADERS TO BE (MINIMUM) 12" DIA. 1" SP. KD IS w/ 2-1/4" POST FOR 2-1/4" POSTS # EACH SIDE UNLESS NOTED OTHERWISE
 2. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS AND AS SHOWN
 3. FRAMED WALLS TO BE 2x4 # 6" O.C. UNLESS NOTED OTHERWISE
 4. MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
 5. DIMENSIONS SHOWN ARE TO FACE OF STUD, OR FACE OF BEATING.
 6. ALL DOORS, WINDOWS, AND WALL OPENINGS ARE ASSUMED TO BE CENTERED UNLESS NOTED OTHERWISE.
 7. ALL WINDOWS TO BE VINTL.
 8. CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:
 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2014 NATIONAL ELECTRICAL CODE (NEC)
 2015 INTERNATIONAL PLUMBING CODE (IPC)
 2015 INTERNATIONAL MECHANICAL CODE (IMC)
 9. BOTTOM OF ALL FOOTINGS TO BE MINIMUM 2'-6" BELOW FINISH GRADE
 10. SLOPE GRADE AWAY FROM STRUCT. 6" DROP IN 10'-0" OR TO SUBLE
 11. A MINIMUM OF ONE WINDOW PER BEDROOM SHALL COMPLY w/ SECTION RUP OF THE 2015 IRC FOR EMERGENCY ESCAPE AND RESCUE
 12. ALL BEDROOM RECEPTACLES SHALL BE PROVIDED w/ ARC FAULT PROTECTION
 13. MINIMUM BRACING OF RECEPTACLES SHALL BE IN ACCORDANCE OF THE 2014 NEC
 14. ALL DOOR BRISTS ARE TO BE ELBOWED AT BOTTOM. PROVIDE SPLASH BLOCKS
 15. PROVIDE METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS AND AS SHOWN ON ELEVATIONS. ALL EXPOSED METAL FLASHING TO BE COPPER
 16. TRUSS DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR COORDINATION w/ THESE DRAWINGS. ASSUMES NO INTERIOR BEARING WALLS UNLESS NOTED
 17. ALL TRUSS CONNECTIONS INCLUDING BUT NOT LIMITED TO TRUSS TO TRUSS CONNECTIONS TO BE DESIGNED BY TRUSS SUPPLIER'S STRUCTURAL ENGINEER
 18. IF DECK STAIRS DO NOT EXIST AT FINAL INSPECTION, ACCESS DOOR MUST BE SECURED FROM OPENING UNTIL SUCH TIME AS ISSUANCE OF APPLICABLE PERMIT AND ACCEPTANCE BY FINAL INSPECTION. SIMPLY LOCKING THE DOOR IS UNACCEPTABLE

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. WINDOWS ARE PROVIDED FOR THIS PURPOSE. THE WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS SHALL CONFORM TO THE FOLLOWING:

- MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET IF THE SILL IS MORE THAN 3'-8" (44") ABOVE FINISHED GRADE
- MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET FOR GRADE FLOOR OPENINGS
- MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES
- MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES



McBride & Son Architecture, LLC
 14031 Burlingame Road, Suite 300
 Chesterfield, MO 63017
 Phone: 636.833.8888
 Email: info@mcbrideandson.com

Professional seal and signature of Barry L. Giamz, AIA, Architect, No. 63122.

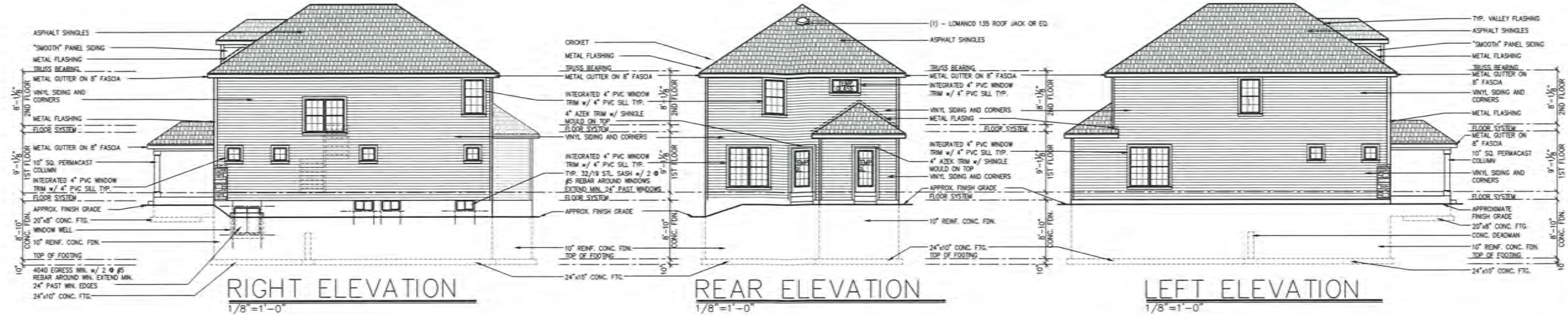
Barry L. Giamz, AIA, Architect
 No. 63122

CUSTOM HOME:
 315 CREST AVE.
 KIRKWOOD, MO. 63122



© 2021 McBride and Son Architecture LLC. and Kingbridge Homes LLC.

DATE
REVISION
JOB NUMBER 315 Crest
SHEET NUMBER 2



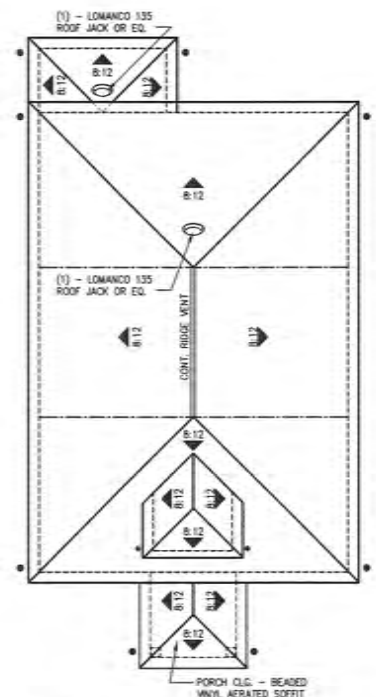
ROOF VENTING REQUIREMENTS

PROVIDE AT LEAST 50 PERCENT BUT NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATION IN THE UPPER 1/3 OF THE ROOF AND AT LEAST 3' FROM THE EAVE OR CORNICE. VENTS: THE BALANCE OF VENTING SHOULD BE PROVIDED BY EAVE OR CORNICE VENTS.

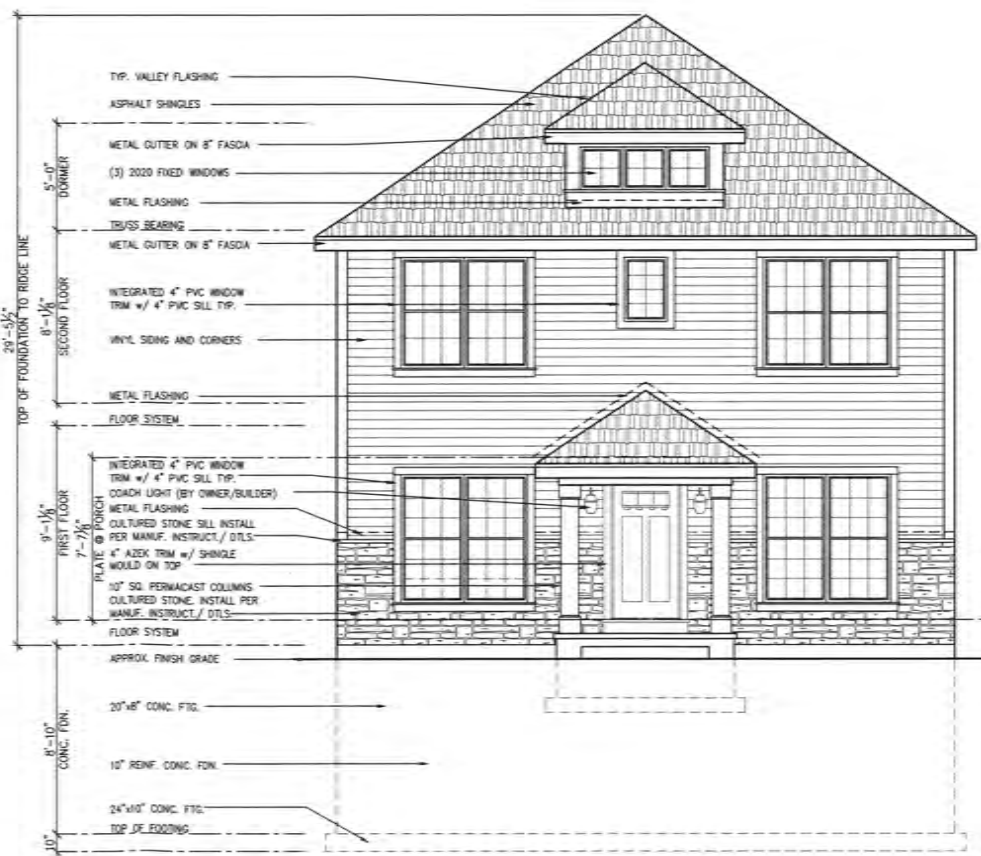
TOTAL ATTIC AREA	1,247 sq. ft.
ADJUSTED REQUIRED VENTING	4.16 sq. ft.
REQUIRED VENTING CONVERTED TO INCHES	600 sq. in.
HIGH VENTING REQUIREMENTS	300 sq. ft.
LOW VENTING REQUIREMENTS	300 sq. ft.
PROVIDED HIGH VENTING	378 sq. ft.
PROVIDED LOW VENTING	450 sq. ft.

MANUFACTURED SUBSTITUTIONS MUST BE EQUAL TO OR BETTER NET FREE AREA.

DESCRIPTION	NET FREE AREA	PROVIDED	TOTAL
LOWANCO CR-4 CHIMBRIDGE SHINGLE OVER RIDGE VENT	78	13	234
LOWANCO 135 ROOF LOUVER w/ 1/4" x 1/4" OPENING IN ROOF DETAIL	144	1	144
TOTAL HIGH VENTING PROVIDED		378	
DESCRIPTION	NET FREE AREA	PROVIDED	TOTAL
LOWANCO CH16 UNDER EAVE VENTILATORS	25	18	450
TOTAL LOW VENTING PROVIDED		450	



ROOF PLAN
1/8" = 1'-0"
• INDICATES APPROX. LOCATION OF DOWN SPOUTS - COORD. OVERHANGS TO BE 12" TYP. UNLESS NOTED OTHERWISE.



FRONT ELEVATION
1/4" = 1'-0"

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McBride & Son Architecture, LLC
16001 Sengstack Ridge Road, Suite 300
Crestwood, MO 63117
phone (636) 937-2600
www.mcbriideson.com

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Barry L. Glantz, AIA, Architect
MOB 4-3743

CUSTOM HOME:
315 CREST AVE.
KIRKWOOD, MO, 63122



DATE	
REVISION	
JOB NUMBER	315 Crest
SHEET NUMBER	5



315 Crest Ave. Exterior Color Selections

Siding	Royal Harvard Slate
Stone	Pennsylvania LedgeStone/Natural Mortar
Soffit and Fascia	White
Roofing	Weathered Wood architectural shingles
Gutters	White
Front Door	Stained fiberglass door (Chestnut Mahogany)



315 Crest Ave. - "Neighborhood Context"



303 Crest Ave.

307 Crest Ave.

311 Crest Ave.

319 Crest Ave.

323 Crest Ave.

337 Crest Ave.



NORTH

315 Crest Ave.



304 Crest Ave

308 Crest Ave.

310 Crest Ave.

316 Crest Ave.

320 Crest Ave.

324 Crest Ave.

338 Crest Ave.

315 Crest Ave. – Existing Property Photographs



Front

Rear



Left

Right

315 Crest Ave. – St. Louis County Map

St. Louis County Map

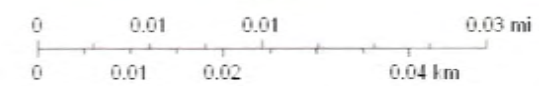


6/7/2021, 8:59:32 AM

Image

- Red: Band_1
- Green: Band_2
- Blue: Band_3
- Sales (Last 2 Years)
- Other Flood Areas (0.2% Annual Chance)
- Special Flood Hazard Areas (1% Annual Chance)

1:600



St. Louis County GIS Service Center



Architectural Review Board Application
Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 918 Cleveland Ave Zoned R-4 ✓

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work 1 1/2 story Rear Addition w/ truck under garage

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT	
Name <u>Lakeside Renovation & Design</u>	Attn: <u>Dan Kary</u>
Address <u>139 Chestfield Ind. Blvd.</u>	Phone <u>636-978-5000</u>
City, State, Zip <u>Chesterfield, MO 63005</u>	
E-mail (Agenda will be e-mailed to applicant) <u>danke@lakesiderd.com</u>	
PROPERTY OWNER	
Name <u>Larry & Wendy Brooks</u>	Phone <u>314-303-1456</u>
Address <u>918 Cleveland Ave</u>	<u>Wendy - 307-4600</u>
City, State, Zip <u>Kirkwood, MO 63122</u>	
ARCHITECT INFORMATION	
Name _____	Phone _____
Address _____	
City, State, Zip _____	

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Dan Kary Applicant's Signature 6/18/21 Date



<p>City Use Only</p> <p>Received by <u>JKW</u></p> <p>Agenda Date <u>07/06/2021</u></p> <p>Case # <u>100-2/R</u></p> <p>Permit # <u>22-1219</u></p> <p>Zoning Comments <u>Front porch cannot be enclosed.</u></p> <p>Building Comments _____</p>



Architectural Review Board Application

Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: 1 1/2 story rear addition w/ tuck under garage

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Traditional
 Number of Stories: 1 1/2 Building Height: 22'-9" Number of Roof Lines: 3
 Roof Type: Asphalt Shingles Primary Roof Pitch: 12/6
 Secondary Roof Pitch: 12/8 1/2 Tertiary Roof Pitch: 12/2 - Front Porch Exist.

2) Building Materials

Primary Exterior Wall Material: Vinyl Siding - New throughout
 Secondary Exterior Wall Material: _____
 Tertiary Wall Material: _____
 Primary Roof Material: Asphalt Shingles
 Secondary Roof Material: _____

3) Exterior Windows and Doors

Type of Door: Fiberglass - 3 panel
 Type of Window: Provia - Vinyl Pane Arrangement: 1/1

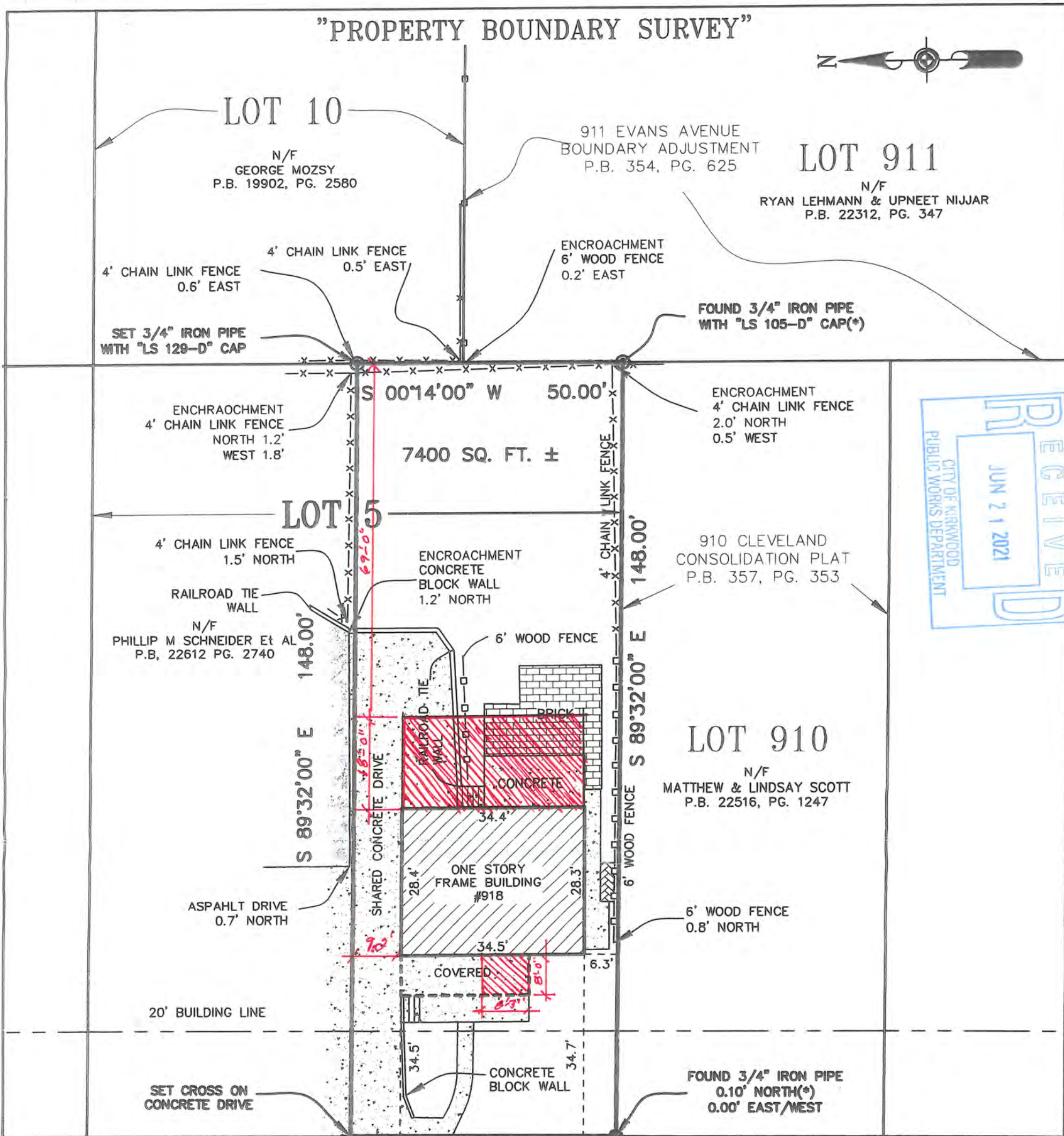
4) Detailing

Foundation Wall Covering: Vinyl siding @ New foundation
 Location of Utility Equipment: Rear of Home
 Screening of Utility Equipment: Fence

Section C: Site Context Photos

Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

"PROPERTY BOUNDARY SURVEY"



RECEIVED
 JUN 21 2021
 CITY OF KIRKWOOD
 PUBLIC WORKS DEPARTMENT

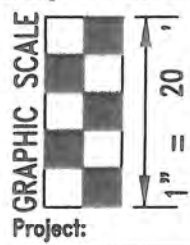
CLEVELAND (40' WIDE) AVENUE

A Title Policy was not provided, therefore not all Easements may be shown.

This is to certify that we, James Surveying Company, at the request of Wendy Brooks, we have, on the 8th day of January, 2020, to the best of our ability and judgment, executed a Property Boundary Survey in accordance with the "Missouri Standards for Property Boundary Surveys" as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors and the Missouri Department of Agriculture, Division of Geology and Land Survey, on the South half of Lot 5 of Block 12 of AVONDALE, according to the plat thereof recorded in Plat Book 3, Page 32 of the St. Louis County Records in St. Louis County, Missouri, and that this Survey reflects all visible improvements, including fences and Easements, as depicted on the Record Plat and on the above mentioned Title Commitment. The subject property is an URBAN property as defined in said Standards. The Bearing Reference System, Building Lines and Easements, unless otherwise referenced, are taken from the Record Plat, the current Zoning Set Backs may not be shown. **This Boundary Survey is non-transferable.**

1/14/2020

SHEET 2 OF 2



Surveyed by: J.T.
 Drafted by: D.L.
 Dated: 01/14/2020
 Revised: -
 Project:

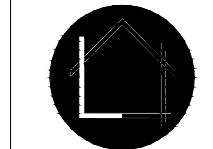
Leo J. Klutho

LEO J. KLUTHO
 Professional Land Surveyor
 In Responsible Charge
 MISSOURI REGISTRATION NUMBER: PLS-2005019212
 Survey Number: **211750**
 Property Boundary Survey: 918 Cleveland Ave. Kirkwood, MO 63122

AS AN INSTRUMENT OF SERVICE, THIS DOCUMENT IS AND REMAINS THE PROPERTY OF LAKESIDE RENOVATION & DESIGN, AND MAY NOT BE USED FOR ANY PROJECT OTHER THAN THAT FOR WHICH IT WAS ORIGINALLY INTENDED. LAKESIDE RENOVATION & DESIGN IS NOT RESPONSIBLE FOR THE ADVERSE CONSEQUENCES OF DEVIATIONS FROM INFORMATION PROVIDED IN THIS DOCUMENT, UNLESS SPECIFICALLY APPROVED IN WRITING BY LAKESIDE RENOVATION & DESIGN. CONTRACTOR IS RESPONSIBLE FOR QUANTITIES, CONDITIONS, FIELD DIMENSIONS, JOB COORDINATION, PROJECT METHODS AND ALL OTHER CONTRACT REQUIREMENTS.

Lakeside renovation & design
 CERTIFICATE OF AUTHORITY
 # A-2020028434

CHARLES D. NIGH
 REGISTERED ARCHITECT
 MISSOURI LICENSE #A-6065
 139 CHESTERFIELD INDUSTRIAL BLVD.
 CHESTERFIELD, MISSOURI 63005
 PHONE: 636.978.5000



LAKESIDE
 renovation & design
 139 CHESTERFIELD INDUSTRIAL BLVD.
 CHESTERFIELD, MISSOURI 63005
 PHONE: 636.978.5000

ADDITION AND REMODEL
 FOR
 LARRY AND WENDY BROOKS
 918 CLEVELAND AVE.
 KIRKWOOD, MO 63122

PERMIT SET:
 06.01.21
 REVISIONS

NO.	DESCRIPTION	DATE

DRAWING TITLE:
PROPOSED BASEMENT AND FIRST FLOOR PLAN

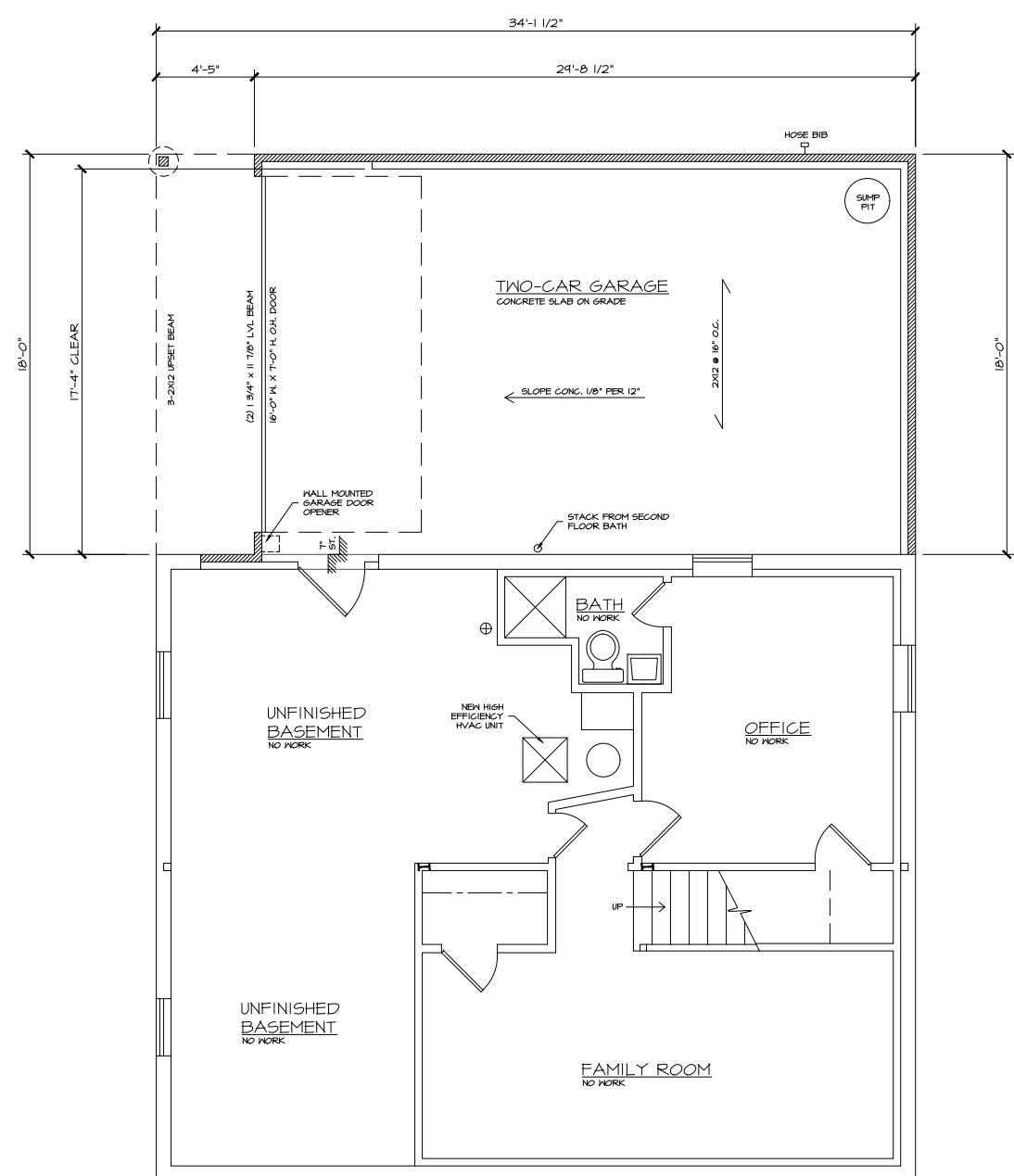
DRAWN BY:
 DAN KARY

CHECKED BY:
 VISHAL DOSANJH

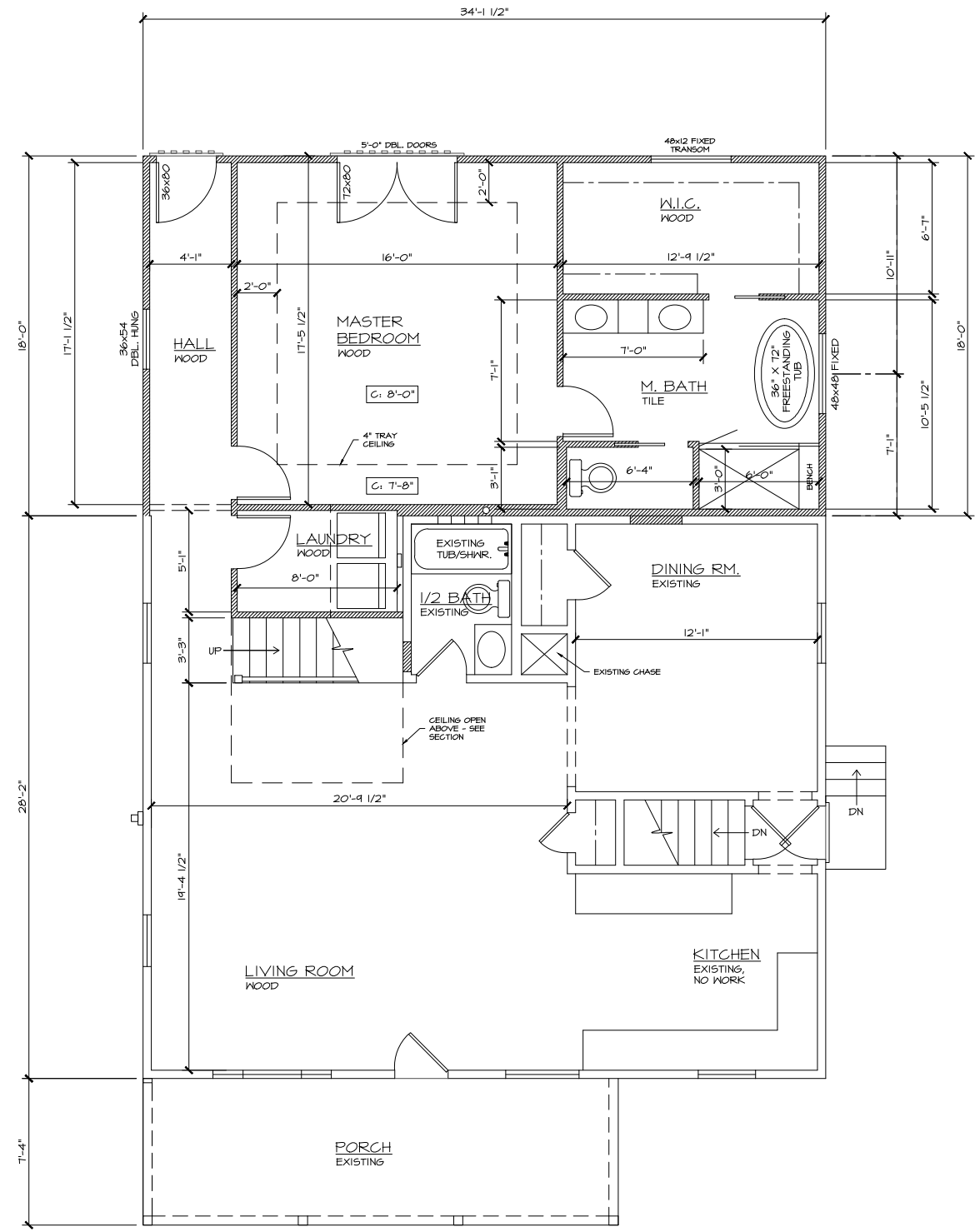
SHEET #

A3

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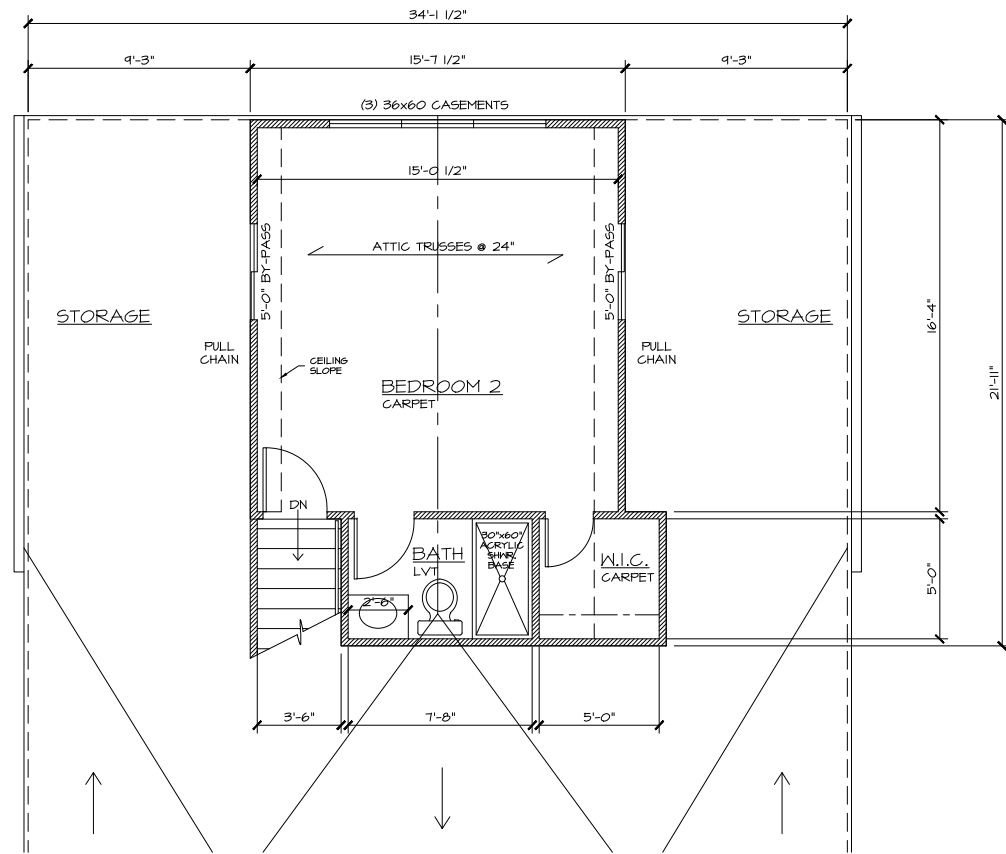


A
A2 PROPOSED BASEMENT/FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

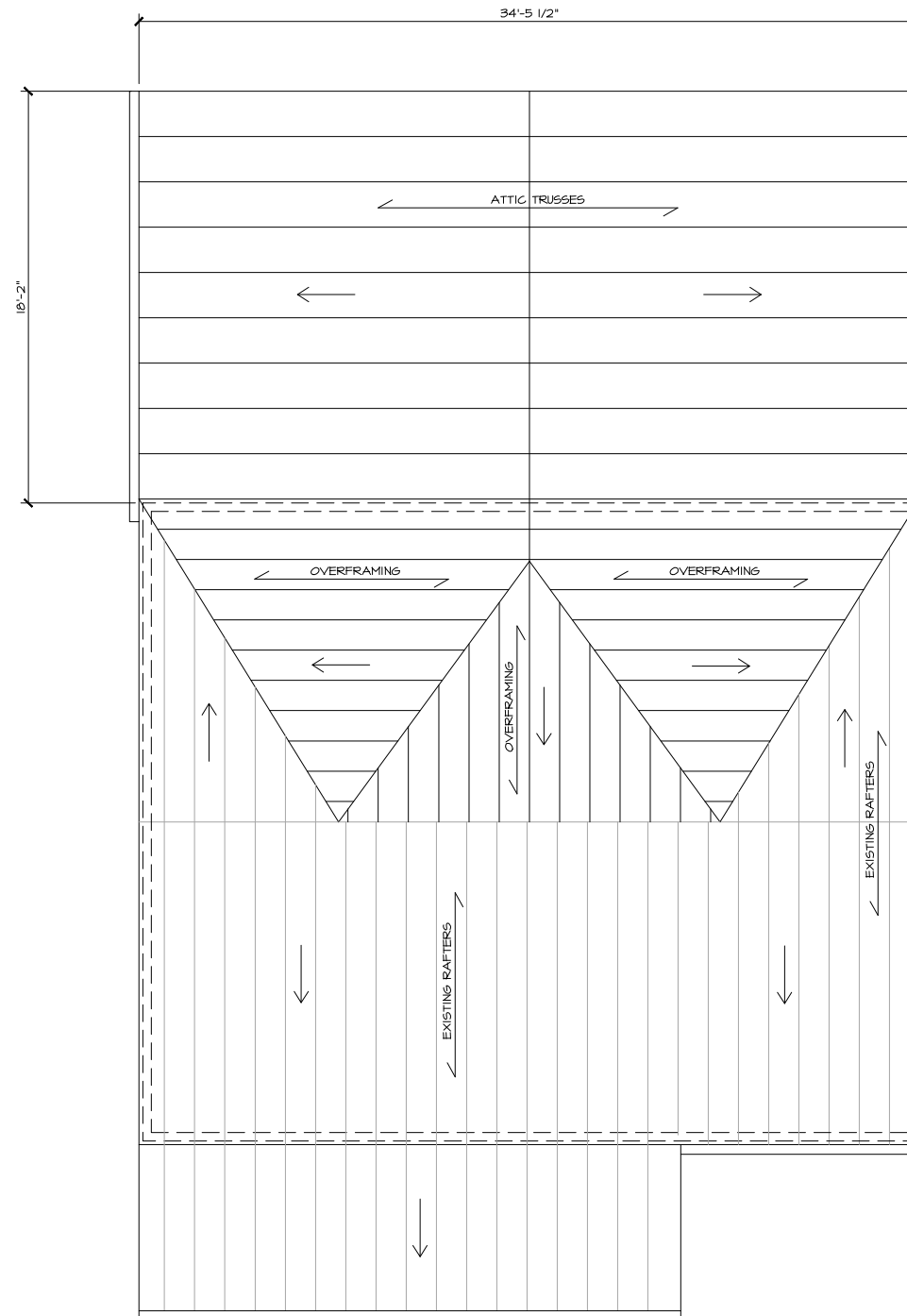


B
A2 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"





A
A4 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



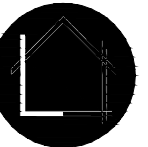
B
A4 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



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Lakeside renovation & design
CERTIFICATE OF AUTHORITY
A-2020028434

CHARLES D. NIGH
REGISTERED ARCHITECT
MISSOURI LICENSE #A-6065
139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000



LAKESIDE
renovation & design
139 CHESTERFIELD INDUSTRIAL BLVD.
CHESTERFIELD, MISSOURI 63005
PHONE: 636.978.5000

ADDITION AND REMODEL
FOR
LARRY AND WENDY BROOKS
918 CLEVELAND AVE.
KIRKWOOD, MO 63122

PERMIT SET:
06.01.21

NO.	DESCRIPTION	DATE

REVISIONS

NO. DESCRIPTION DATE

DRAWING TITLE:
**PROPOSED
SECOND FLOOR
AND ROOF PLAN**

DRAWN BY:
DAN KARY

CHECKED BY:
VISHAL DOSANJH

SHEET #

A4

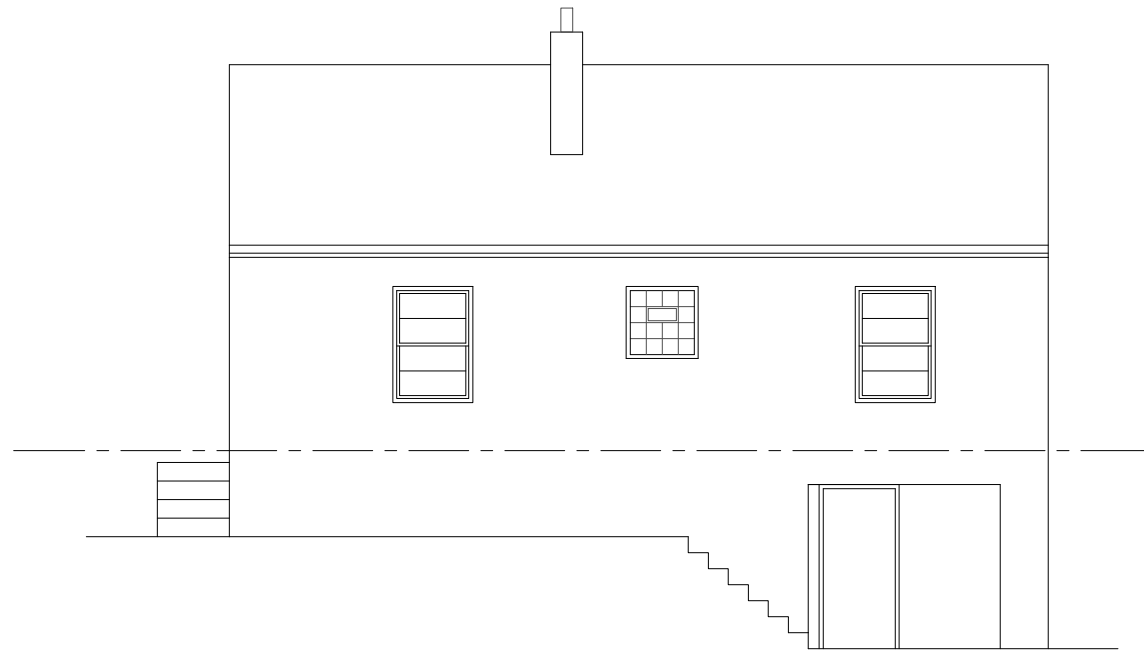
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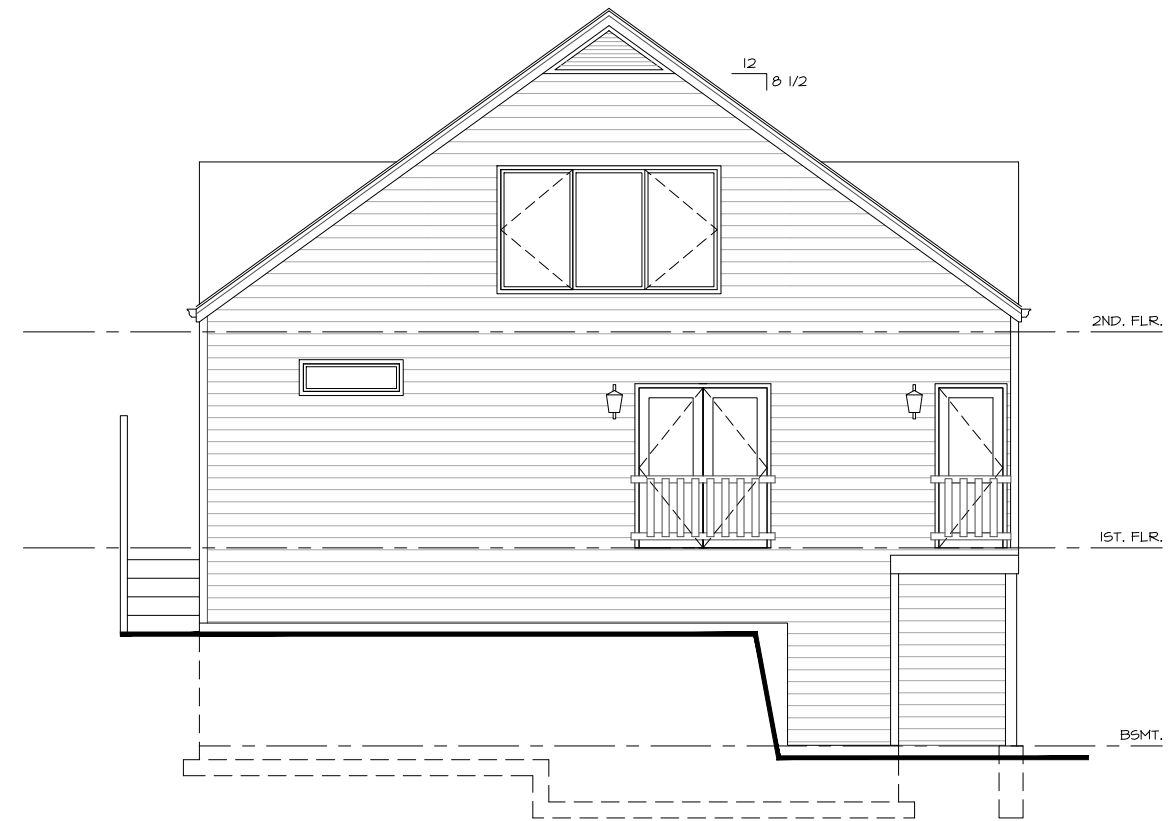
(A) EXISTING FRONT ELEVATION
A6 SCALE: 1/4" = 1'-0"



(B) PROPOSED FRONT ELEVATION
A6 SCALE: 1/4" = 1'-0"



(C) EXISTING REAR ELEVATION
A6 SCALE: 1/4" = 1'-0"

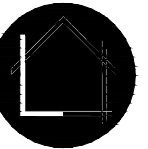


(D) PROPOSED REAR ELEVATION
A6 SCALE: 1/4" = 1'-0"

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ADDITION AND REMODEL
FOR
LARRY AND WENDY BROOKS
918 CLEVELAND AVE.
KIRKWOOD, MO 63122

PERMIT SET:
06.01.21

NO.	DESCRIPTION	DATE

REVISIONS

NO. DESCRIPTION DATE

DRAWING TITLE:

**PROPOSED
EXTERIOR
ELEVATIONS**

DRAWN BY:
DAN KARY

CHECKED BY:
VISHAL DOSANJH

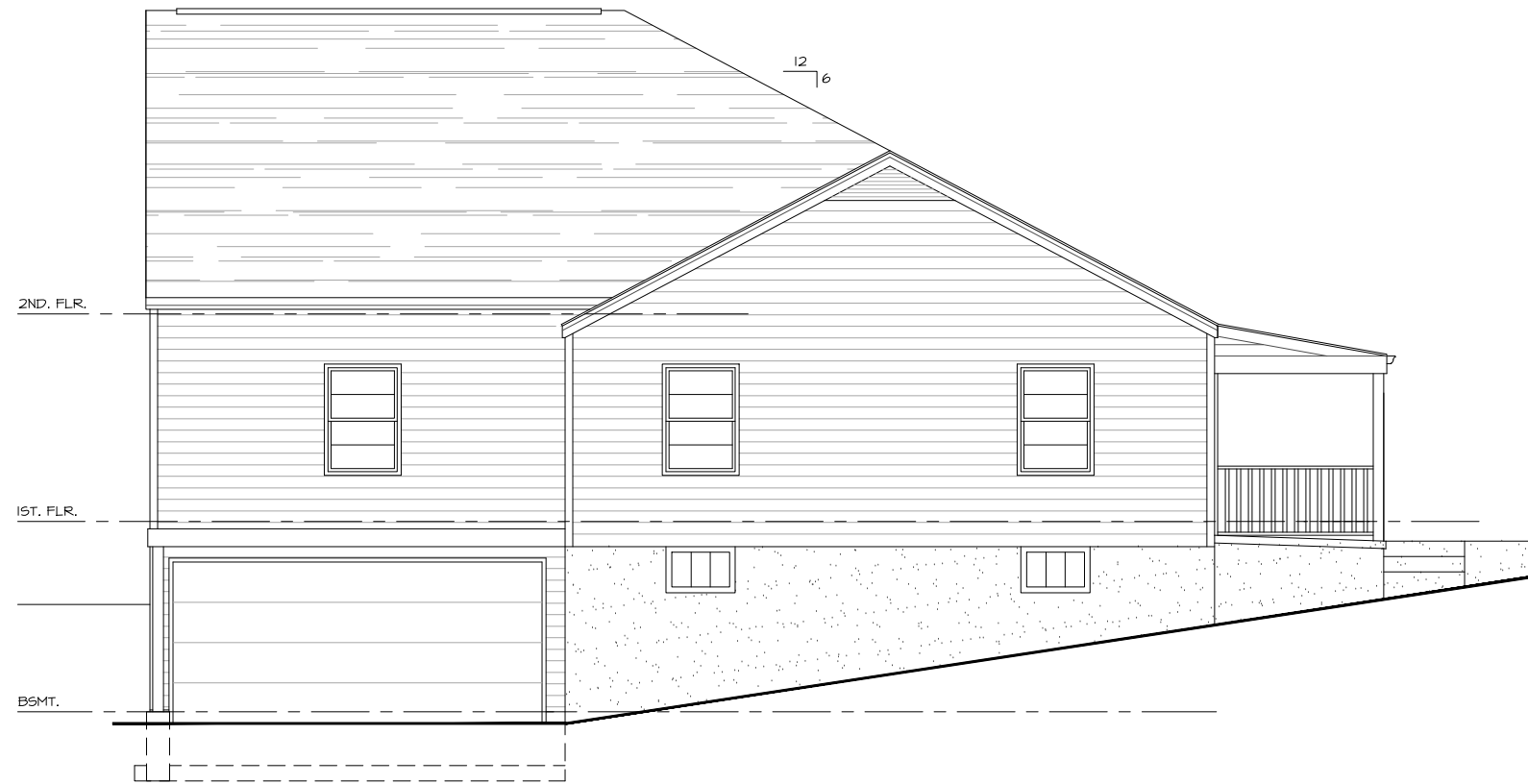
SHEET #

A6

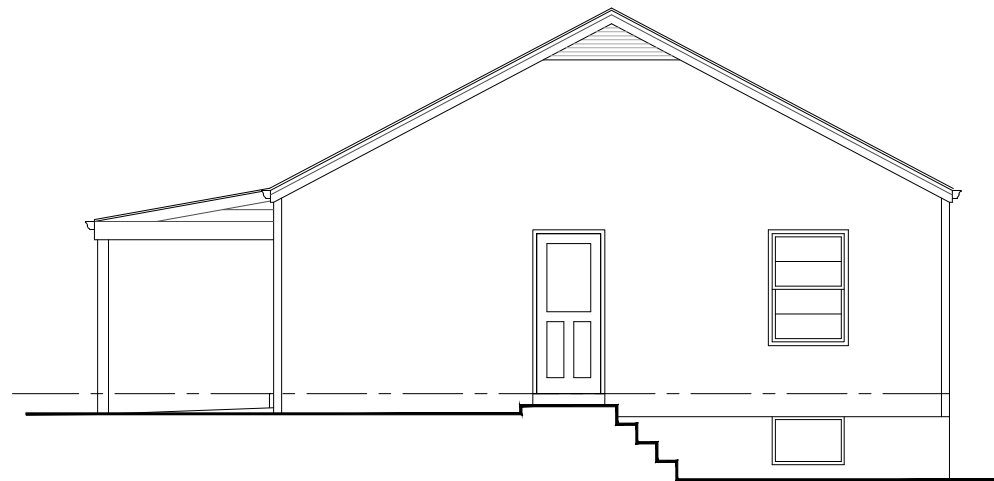
© 2021 LAKESIDE RENOVATION & DESIGN



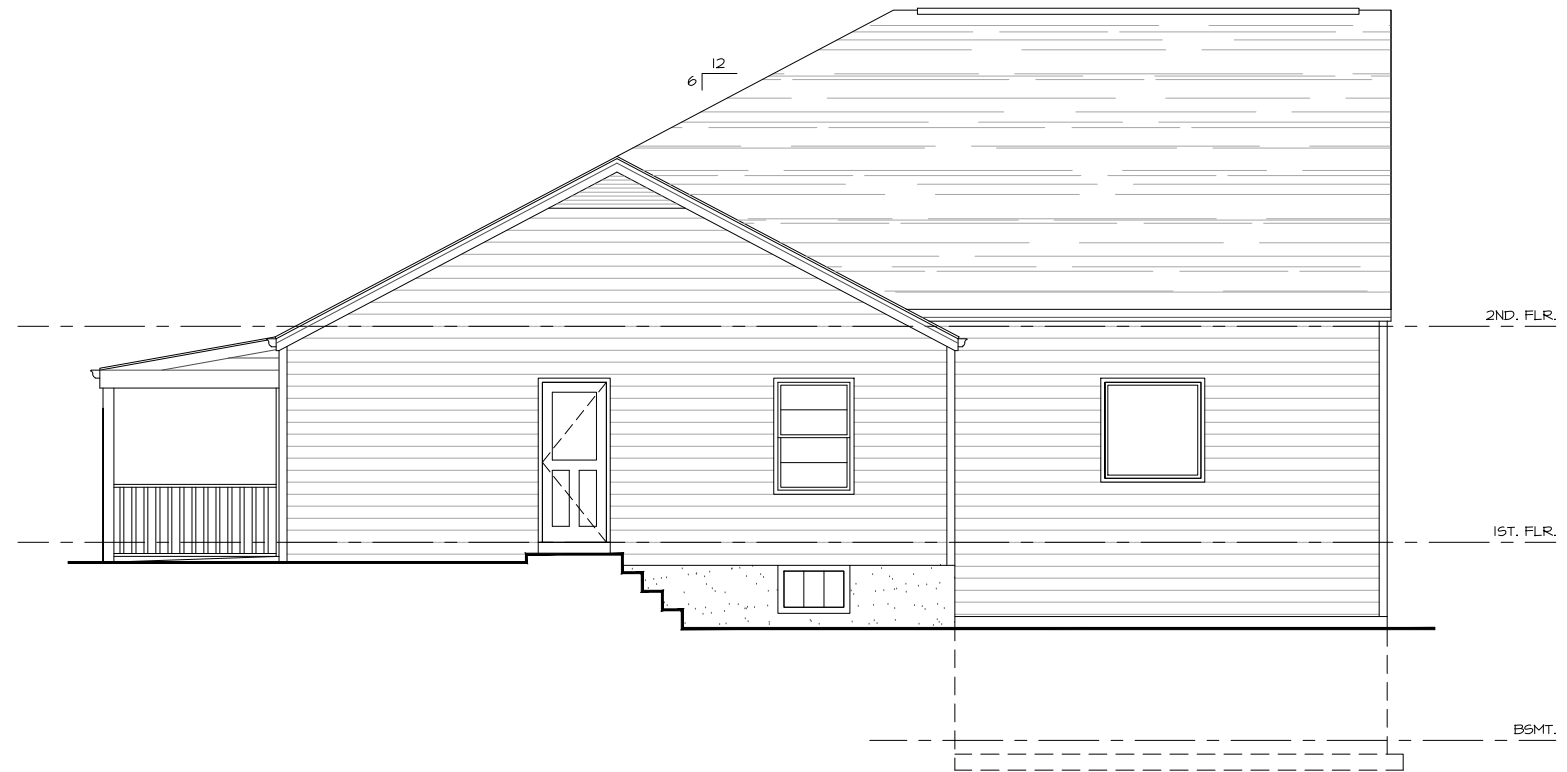
(A) EXISTING LEFT SIDE ELEVATION
A7 SCALE: 1/4" = 1'-0"



(B) PROPOSED LEFT SIDE ELEVATION
A7 SCALE: 1/4" = 1'-0"



(C) EXISTING RIGHT SIDE ELEVATION
A4 SCALE: 1/4" = 1'-0"



(D) PROPOSED RIGHT SIDE ELEVATION
A4 SCALE: 1/4" = 1'-0"

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ADDITION AND REMODEL
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918 CLEVELAND AVE.
KIRKWOOD, MO 63122

PERMIT SET:
06.01.21

REVISIONS

NO.	DESCRIPTION	DATE

DRAWING TITLE:
**PROPOSED
EXTERIOR
ELEVATIONS**

DRAWN BY: DAN KARY
CHECKED BY: VISHAL DOSANJH

SHEET #

A7





920 CLEVELAND



910 CLEVELAND



908 CLEVELAND



922 CLEVELAND



Architectural Review Board Application
Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 438 Greenleaf Dr. Zoned R-3 ✓

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work Screened in porch over existing deck and family room extension.

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name Jared Byers Phone 314-575-3116

Address 1905 N. Signal Hills Dr.

City, State, Zip Kirkwood, MO 63122

E-mail (Agenda will be e-mailed to applicant) JaredLByers@hotmail.com

PROPERTY OWNER

Name Janet Bolinske Phone 314-504-3706

Address 438 Greenleaf Dr.

City, State, Zip Kirkwood, MO 63122

ARCHITECT INFORMATION

Name _____ Phone _____

Address _____

City, State, Zip _____

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Jared Byers _____ 6-18-21
 Applicant's Signature Date



City Use Only

Received by JAV

Agenda Date 07/06/2021

Case # 101-21R

Permit # 22-1220

Zoning Comments None say

Building Comments _____



Architectural Review Board Application

Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: Screened in porch over existing deck and family room extension

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Ranch
 Number of Stories: 1-1/2 Building Height: 20' Number of Roof Lines: 5
 Roof Type: Gable Primary Roof Pitch: 6/12
 Secondary Roof Pitch: 3/12 Tertiary Roof Pitch: _____

2) Building Materials

Primary Exterior Wall Material: Brick
 Secondary Exterior Wall Material: Siding (vinyl)
 Tertiary Wall Material: N/A
 Primary Roof Material: Asphalt
 Secondary Roof Material: N/A

3) Exterior Windows and Doors

Type of Door: Front in 6 panel w/2 lites, Side door is 2 panel w/9 lite
 Type of Window: Vinyl double hung Pane Arrangement: grills

4) Detailing

Foundation Wall Covering: None
 Location of Utility Equipment: See plans
 Screening of Utility Equipment: None

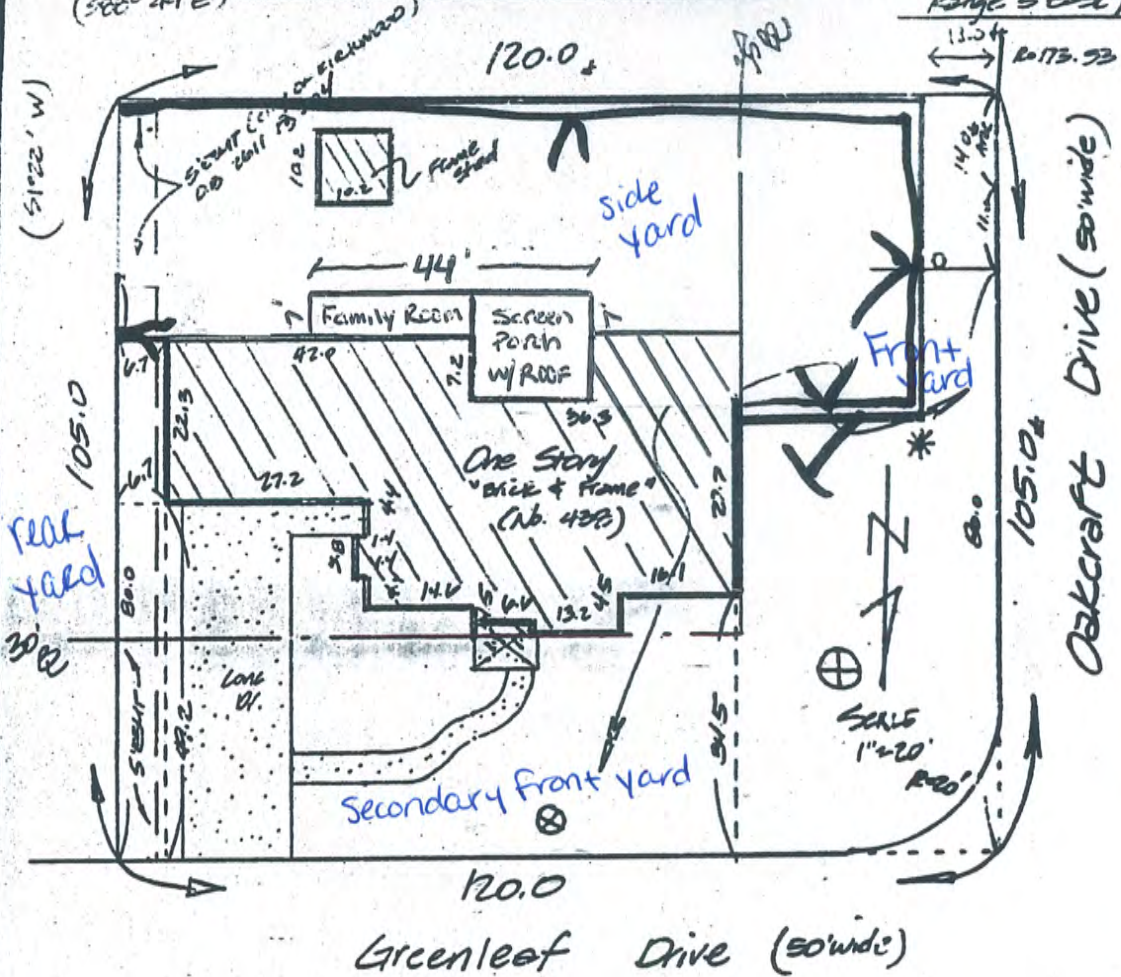
Section C: Site Context Photos

Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

Lot 58

WOODLAWN TERRACE No. 4

is a STRIP OF LAND IN SECTION 36 (Township 45 North Range 5 East)



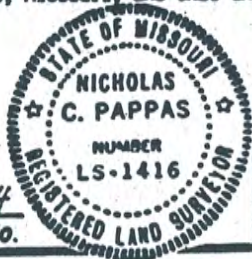
It has been agreed for Topos Surveying & Engineering Corp. to execute a survey, which is commonly known as a Mortgage Inspection Survey, Spot Survey, or Location of Improvements Survey.

Be it known that this survey does not meet the following requirements as defined in the Minimum Standards for Boundary Surveys [10 CSR 30-2.010 of the State Regulation.]

1. No corner monuments have been set
2. Possession lines are not shown
3. No fences are shown
4. Deeded description is followed in accordance to information provided by client
5. Building Lines and Easements are shown in accordance with the recorded plat unless otherwise noted

Legend
 O - Trip Line
 * - Rock
 ⊕ - Cur Tr
 ⊗ - Post Tr

This is to certify that Topos Surveying & Engineering during the month of July 1992, at the request of Lanver's Title Co made a mortgage inspection survey, spot survey, as described above to locate the improvements on Lot 58 Woodlawn Terrace, No 4 as recorded in Plat Book 45 Page 37 of the St. Louis County records, Missouri, and that the results are correctly represented upon this plat.



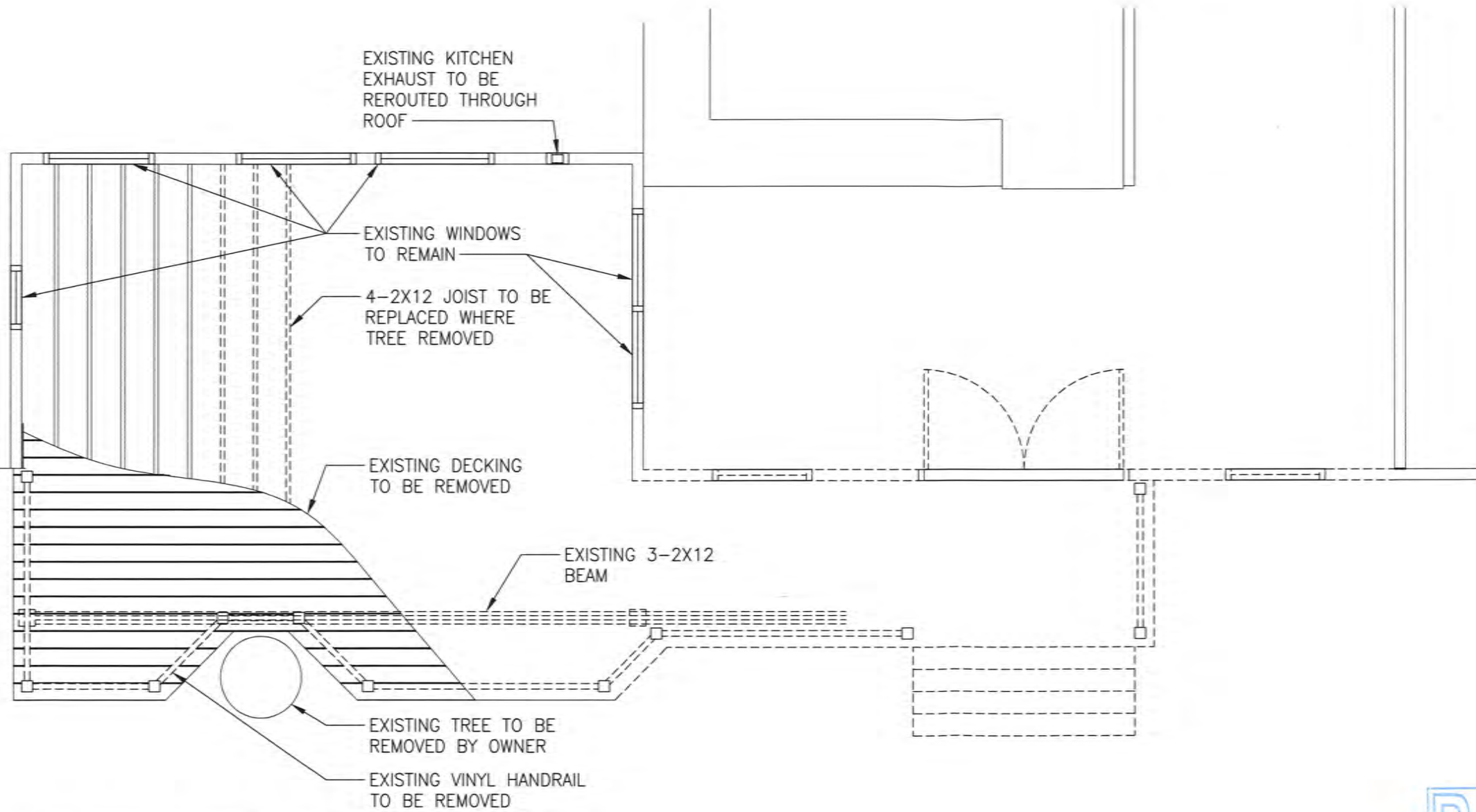
N. Pappas
Nicholas C. Pappas, L.S. 1416

TOPOS SURVEYING & ENGINEERING CORP.

792-314
Order No.

Drn By:

DSGN\DRFT: msc
FILE PATH: C:\Users\Michael Croy\OneDrive\Work\Jared\Bolinske\Deck Remodel.dwg
DIMSCALE: 0.0000
PLOT DATE: 17 Jun 21



1 EXISTING FLOOR PLAN - DEMO

1/4" = 1'-0"

0" 2' 4' 8'



APPROVED



BYERS CONTRACTING

MARK: DATE: DESCRIPTION:

OWNER:
JANET BOLINSKE
438 GREENLEAF DR
SAINT LOUIS, MO 63122

PROJECT TITLE:

SHEET TITLE:

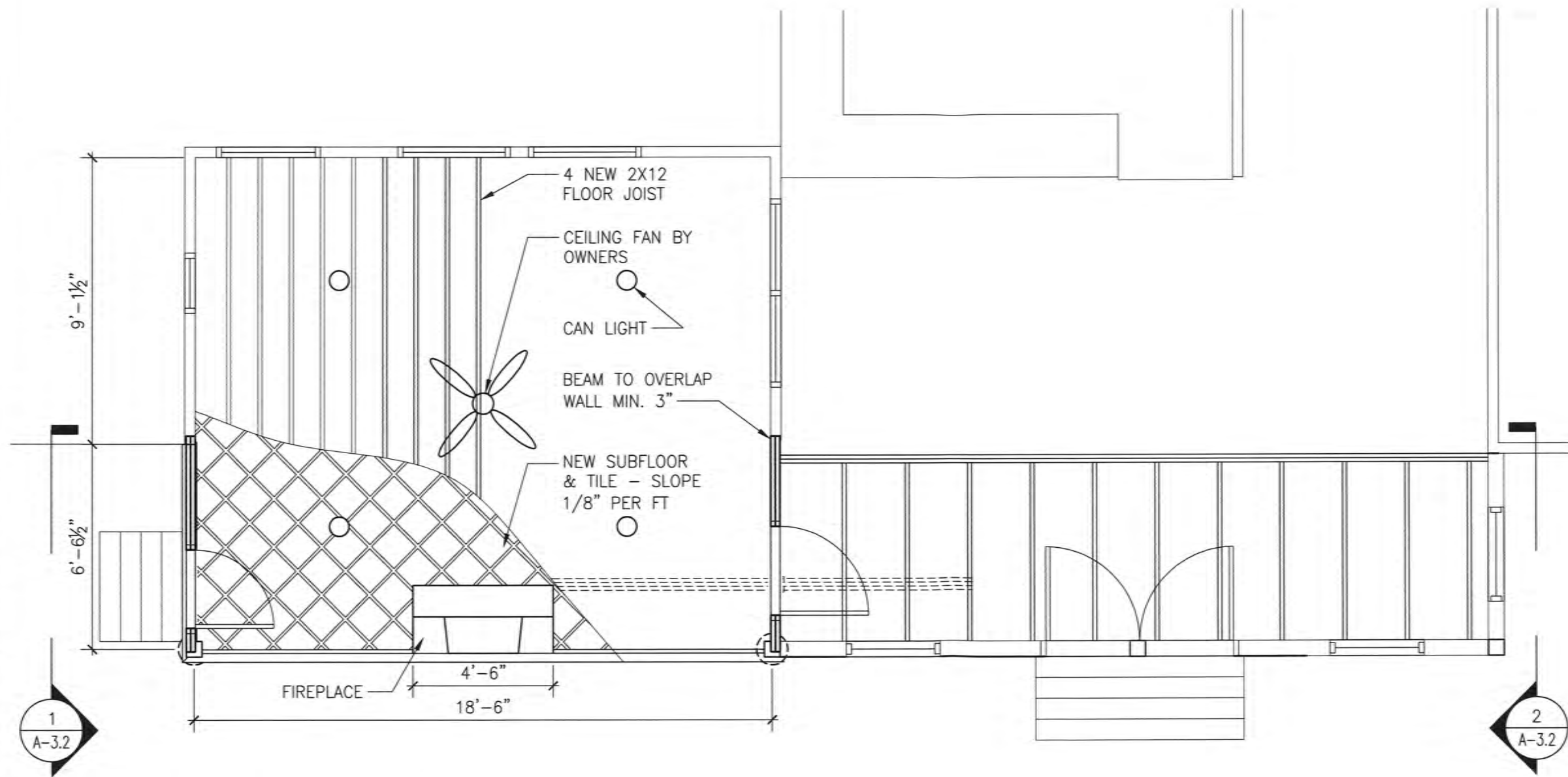
DECK & ROOM
DEMO PLAN

PROJECT No.

SHEET No.

A-1D

DIMSCALE: 0.0000
 PLOT DATE: 17 Jun 21
 DSGN\DRFT: msc
 FILE PATH: C:\Users\Michael Croy\OneDrive\Work\Jared\Bolinske\Deck Remodel.dwg



1 FLOOR PLAN - FRAMING
 1/4" = 1'-0"
 0" 2' 4' 8'



BYERS CONTRACTING

MARK:	DATE:	DESCRIPTION:
-------	-------	--------------

OWNER:
 JANET BOLINSKE
 438 GREENLEAF DR
 SAINT LOUIS, MO 63122

PROJECT TITLE:

SHEET TITLE:
**DECK & ROOM
 ADDITION PLAN**

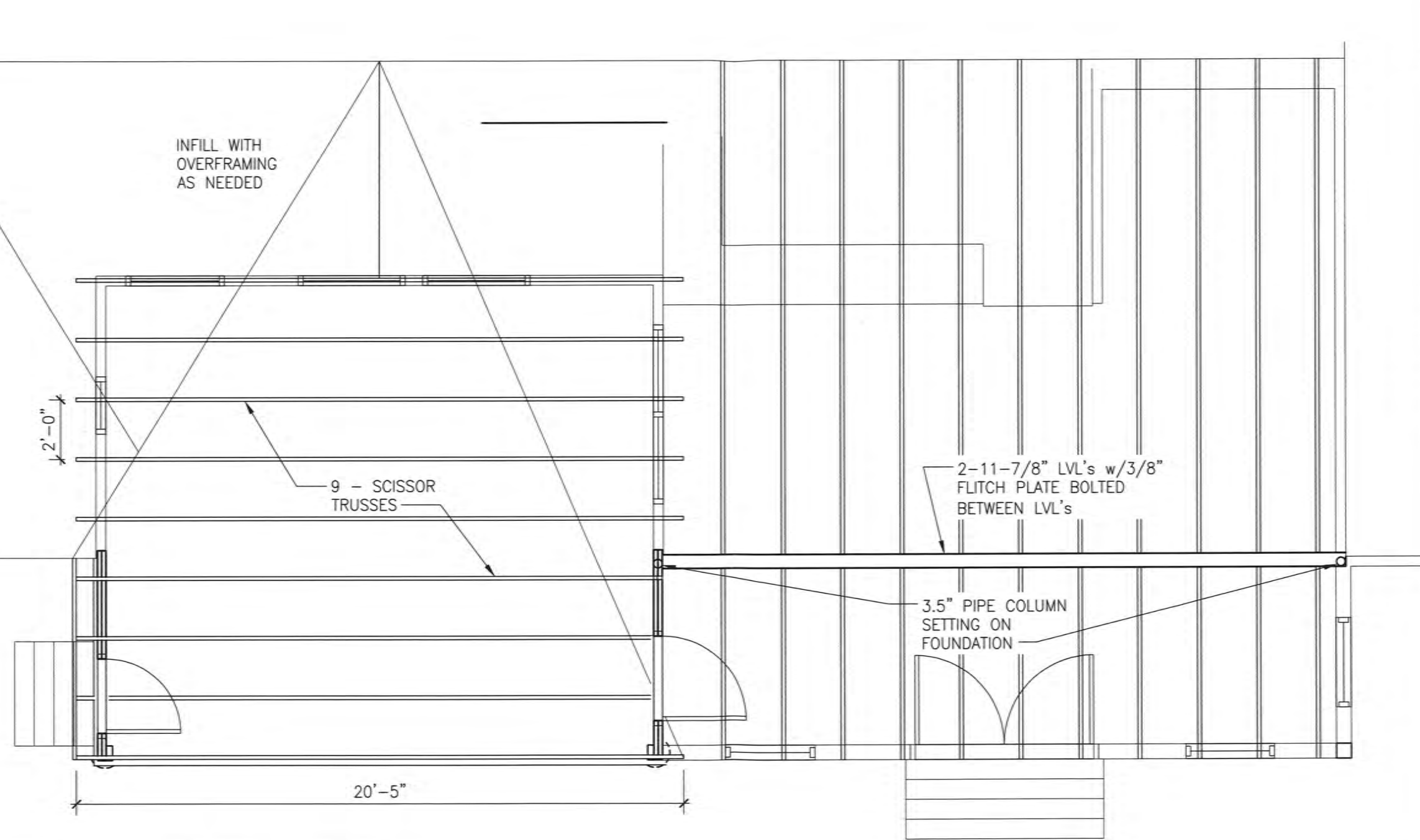
PROJECT No.

SHEET No.

A-2

APPROVED

DSGN\DRFT: msc
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DIMSCALE: 0.0000
PLOT DATE: 17 Jun 21



1 TRUSS - ROOF FRAMING PLAN
1/4" = 1'-0"
0" 2' 4' 8'

APPROVED



BYERS CONTRACTING

MARK: DATE: DESCRIPTION:

OWNER:
JANET BOLINSKE
438 GREENLEAF DR
SAINT LOUIS, MO 63122

PROJECT TITLE:

SHEET TITLE:
DECK & ROOM TRUSS PLAN

PROJECT No.

SHEET No.
A-2.1



BYERS CONTRACTING

MARK: DATE: DESCRIPTION:

OWNER:
JANET BOLINSKE
438 GREENLEAF DR
SAINT LOUIS, MO 63122

PROJECT TITLE:

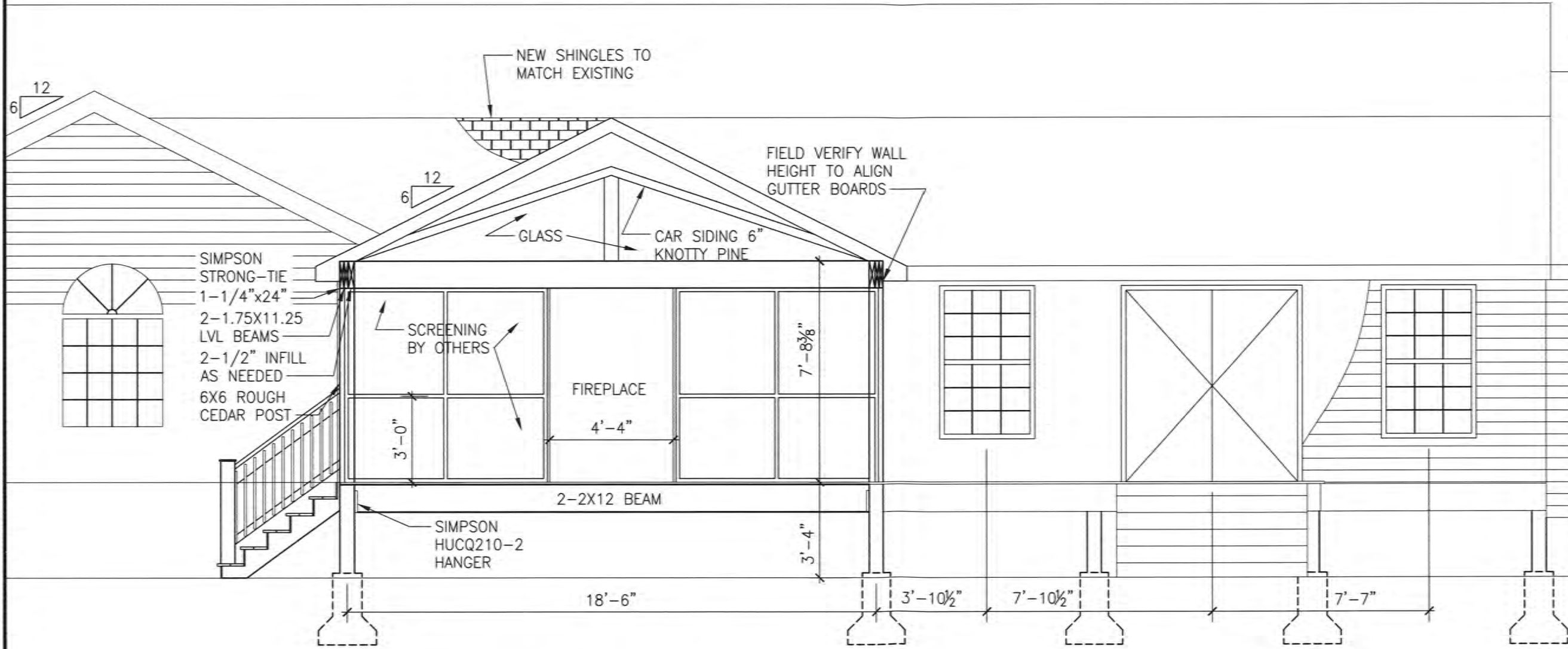
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DECK & ROOM
REAR VIEW

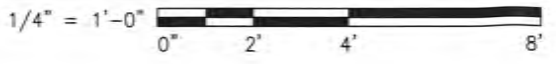
PROJECT No.

SHEET No.

A-3



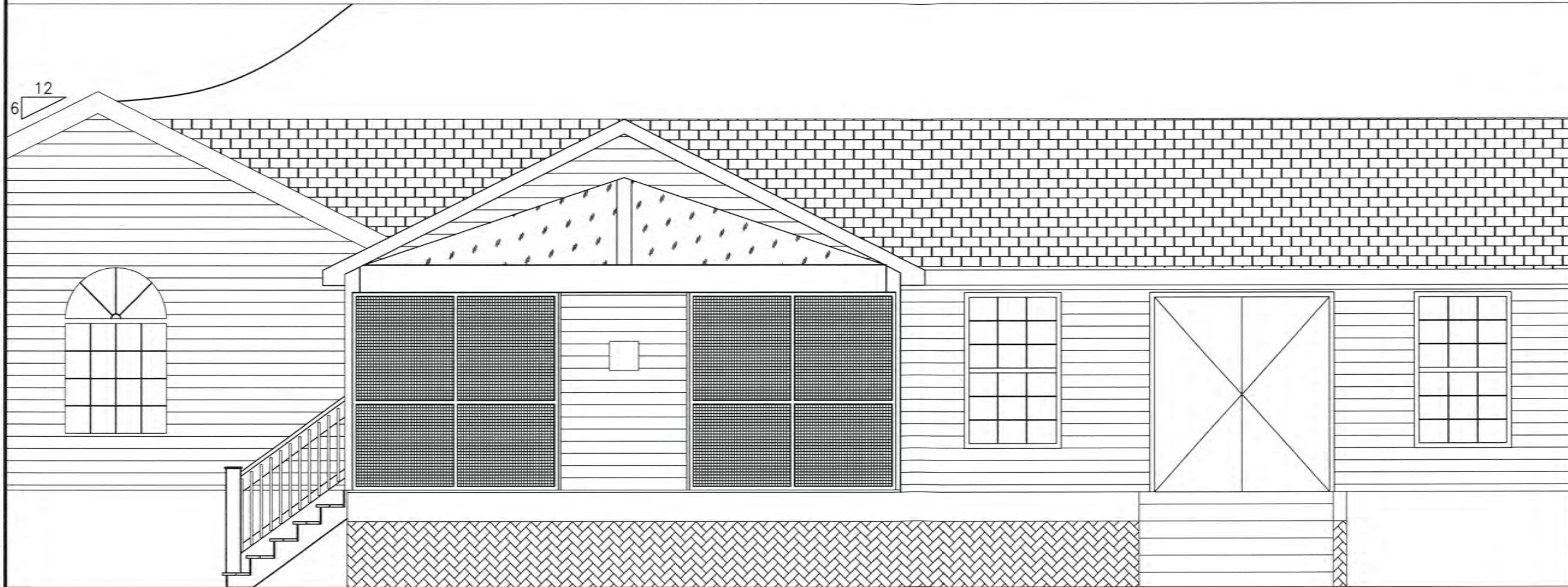
1 ELEVATION DETAIL - REAR VIEW LOOKING NORTH



APPROVED

DIMSCALE: 0.0000
 PLOT DATE: 17 Jun 21
 DSGN\DRFT: msc
 FILE PATH: C:\Users\Michael Croy\OneDrive\Work\Jared Bolinske\Deck Remodel.dwg

DSGN\DRFT: msc
FILE PATH: C:\Users\Michael Croy\OneDrive\Work\Jared\Bolinske\Deck Remodel.dwg
DIMSCALE: 0,0000
PLOT DATE: 17 Jun 21



① ELEVATION – REAR VIEW LOOKING NORTH
1/4" = 1'-0"
0' 2' 4' 8'

APPROVED



BYERS CONTRACTING

MARK: DATE: DESCRIPTION:

OWNER:
JANET BOLINSKE
438 GREENLEAF DR
SAINT LOUIS, MO 63122

PROJECT TITLE:

SHEET TITLE:

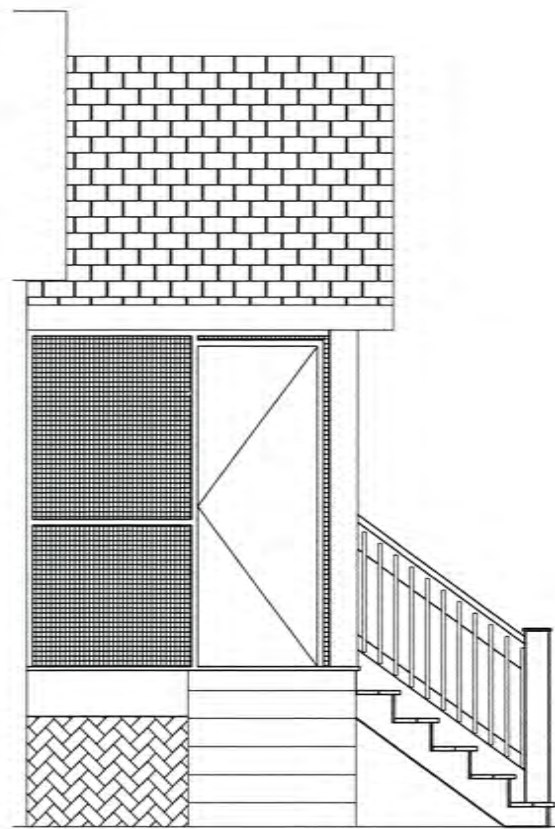
DECK & ROOM
REAR VIEW

PROJECT No.

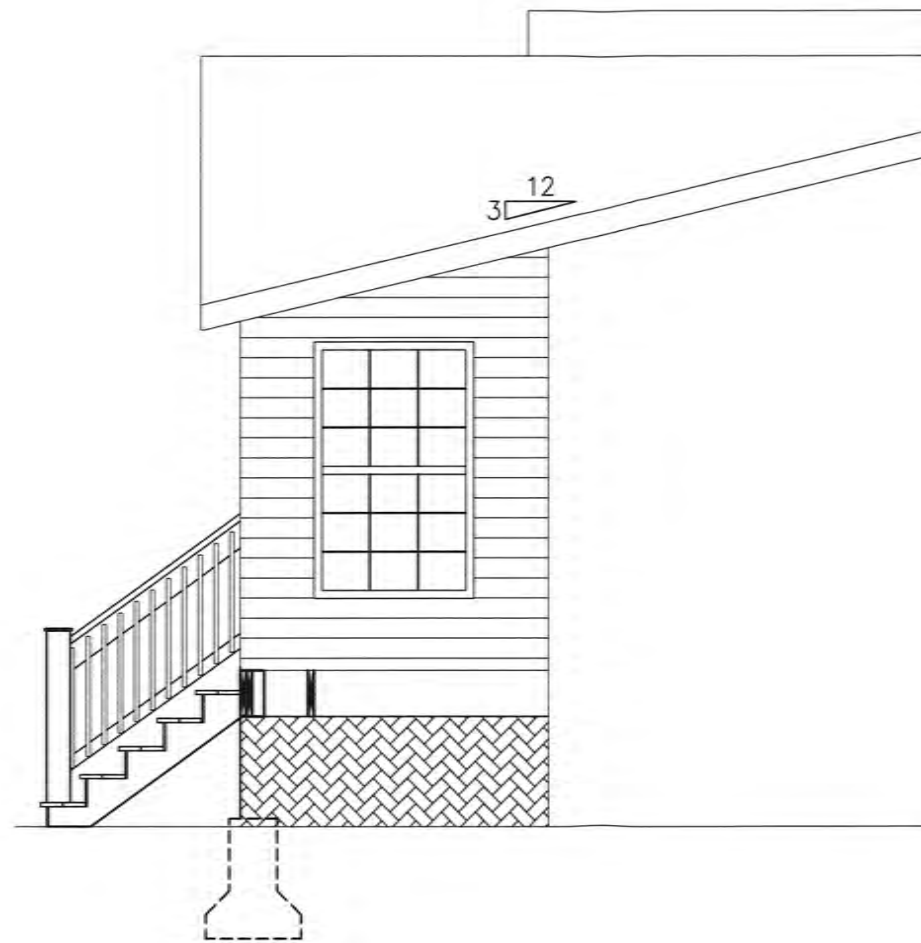
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A-3.1

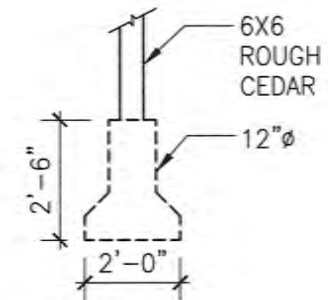
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 PLOT DATE: 17 Jun 21
 DSGN\DRFT: msc
 FILE PATH: C:\Users\Michael Croy\OneDrive\Work\Jared\Bolinske\Deck Remodel.dwg



1 ELEVATION — LOOKING EAST
 1/4" = 1'-0"
 0' 2' 4' 8'



2 ELEVATION — LOOKING WEST
 1/4" = 1'-0"
 0' 2' 4' 8'



3 FOOTING DETAIL
 1/4" = 1'-0"
 0' 2' 4' 8'

APPROVED



MARK:	DATE:	DESCRIPTION:

OWNER:
JANET BOLINSKE
438 GREENLEAF DR
SAINT LOUIS, MO 63122

PROJECT TITLE:

SHEET TITLE:

DECK & ROOM
ELEVATIONS

PROJECT No.

SHEET No.

A-3.2







