



SPECIAL ANNOUNCEMENT REGARDING PLANNING AND ZONING COMMISSION MEETINGS

Under Section 610.015 of the Missouri Sunshine Law provides that members of the Planning and Zoning Commission who are not physically in the Council Chambers can participate and vote on all matters when an emergency exists and the nature of the emergency is stated in the minutes.

The U.S., and the World, is in a state of emergency due to the Coronavirus--Covid-19. The Missouri Governor and the County Executive directed all citizens to limit meetings and gatherings to a few people to avoid the spread of the Coronavirus. Therefore, members of the Planning and Zoning Commission have elected to participate in this meeting electronically so that we are compliant with such Orders and for the public health and safety of each other and the general public.

To follow along with the Planning and Zoning Commission meeting, please see the instructions below. To make a comment during the public comment portion of the meeting, you will need to access via the Zoom application and click the hand icon to "raise your hand". Raised hands will be called on in the order received. Please note, if dialing in from a phone, you will "raise your hand" by dialing *9.

You are invited to a Zoom webinar.

You are invited to a Zoom webinar.

When: Sep 16, 2020 7:00 PM Central Time (US and Canada)

Topic: Planning & Zoning Commission

Please click the link below to join the webinar:

<https://zoom.us/j/99572026630?pwd=L0ZITWdLanF5cFdLaDI0dkcyTGVTZz09>

Passcode: 702247

Or iPhone one-tap :

US: +16468769923,,99572026630#,,,,,0#,,702247# or +13017158592,,99572026630#,,,,,0#,,702247#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 646 876 9923 or +1 301 715 8592 or +1 312 626 6799 or +1 408 638 0968 or +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799

Webinar ID: 995 7202 6630

Passcode: 702247

International numbers available: <https://zoom.us/u/ackJkEZ0yJ>

SEE THE FOLLOWING PAGE FOR THE AGENDA

A digital copy of the packet for this meeting may be accessed by clicking on the event for this meeting on the City's website calendar at the following link: <https://www.kirkwoodmo.org/services/events-calendar>.



Planning & Zoning Commission Agenda

Wednesday, September 16, 2020, 7:00 p.m.

Via Zoom Virtual Meeting

Posted September 10, 2020

- I. ROLL CALL
- II. APPROVAL OF THE MINUTES OF THE SEPTEMBER 2, 2020, MEETING
- III. UNFINISHED BUSINESS
 1. PZ-08-20 SPECIAL USE PERMIT AND SITE PLAN REVIEW EXTENSION –
AUDI KIRKWOOD, 10230 MANCHESTER ROAD
Submitted: 9-2-2020
Petitioner's Agent, Jeremy Whitt
 2. PZ-2-21 SITE PLAN REVIEW – MULTI FAMILY, 134-138 WEST MADISON AVE
Submitted: 7-28-20 Automatic Recommendation: 11-25-20
Petitioner's Agent, Tyler Stephens
Opportunity for Public Comment
(Subcommittee – Commissioners Evens and Feiner)
- IV. NEW BUSINESS
 1. PZ-3-21 SPECIAL USE PERMIT (RESTAURANT WITH OUTDOOR SEATING)
AND SITE PLAN REVIEW – TELEO COFFEE, 132 W MONROE
Submitted: 8-28-20 Automatic Recommendation: 12-26-20
Petitioner's Agent, Brian Ivy
Opportunity for Public Comment
- V. COMMISSION/STAFF (INTERNAL) ITEMS
 1. DEVELOPMENT PROJECT UPDATE
- VI. PLANNING AND ZONING SCHEDULE:
 1. OCTOBER 7 AND 21, 2020 – 7:00 P.M. (VIA ZOOM)
 2. NOVEMBER 4 AND 18, 2020 – 7:00 P.M. (VENUE T.B.D.)

Staff Liaison: Jonathan Raiche; Phone: (314) 984-5926; Email: RaicheJD@kirkwoodmo.org

Kirkwood Planning and Zoning Commission: Chairman Jim Adkins, Commissioners Allen Klippel, Jim O'Donnell, James Diel, David Eagleton, Ron Evens, Tom Feiner, Sandy Washington, and Mary Lee Salzer-Lutz.

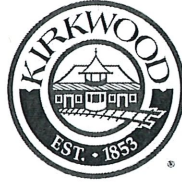
Accommodation: The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.

RECOMMENDATIONS SUBMITTED TO COUNCIL

1. **ZONING, SUBDIVISION, SIGN CODE RE-WRITE**
January 29: P&Z recommended approval.
February 6: City Council scheduled public hearing for February 27, 2020 at 6 p.m.
February 27: Public hearing held.
2. **PZ-15-20 MIXED USE/SITE PLAN REVIEW IN B-2-KIRKWOOD FLATS, 426 N KIRKWOOD**
July 14: P&Z recommended denial. Awaiting public hearing at the City Council.
August 14: City Council scheduled public hearing for October 22 at 6 p.m.
3. **PZ-27-20 ZONING CODE AMENDMENT, SITE PLAN REVIEW, AND SUBDIVISION (2 LOTS) – COMMERCE BANK, 350 NORTH KIRKWOOD ROAD**
August 5: P&Z recommended approval.
August 6: City Council scheduled public hearings for September 3.
September 3: Public hearing held.
4. **PZ-1-21 SPECIAL USE PERMIT (PHYSICAL FITNESS FACILITY)–RIVERNORTH STRENGTH, 10505 BIG BEND BOULEVARD, SUITES A & B**
August 5: P&Z recommended approval.
August 6: City Council scheduled public hearing for September 3.
September 3: Public Hearing held.
5. **PZ-28-20 ZONING CODE AMENDMENT, SPECIAL USE PERMIT (ASSISTED LIVING), AND SITE PLAN REVIEW FOR MIXED-USE DEVELOPMENT IN B-2 ZONING DISTRICT 300 NORTH KIRKWOOD ROAD**
September 2: P&Z recommended approval.
September 3: City Council scheduled public hearing for October 1, 2020.

STATUS OF APPROVALS

1. **PZ-24-18 SPECIAL USE PERMIT & SITE PLAN – BP, 10901 MANCHESTER**
Perf guar/fee, Water/Fire, and ARB prior to 4-5-21.
2. **PZ-24-19 SPECIAL USE PERMIT, - NO LEASH NEEDED, 902 SOUTH KIRKWOOD**
Perf guar/fee, Water/Fire, and permit.
3. **PZ-08-20 SPECIAL USE PERMIT AND SITE PLAN REVIEW – AUDI KIRKWOOD**
Perf guar/fee, consolidation plat w/easements, MoDOT, MSD, ARB & permit by 9-19-20. Reminder letter sent 8-27-20. Requested one-year extension.
4. **PZ-13-20 SITE PLAN – TOWNES AT GEYER GROVE, 11204-11224 BIG BEND**
ARB, StLCo Dept of Transportation, MDNR, & MSD approval; Fire/Water; and consolidation plat prior to 1-16-21.
5. **PZ-23-20 FINAL B4 PLAN – GENERAL RETAIL AND SPECIAL USE PERMIT (RESTAURANT WITH DRIVE-THRU), 10463 MANCHESTER ROAD**
Perf. guarantee/fee, signal timing study, MSD, and Water/Fire prior to 4-16-21.
6. **PZ-24-20 FINAL B4 PLAN – FIRST COMMUNITY CREDIT UNION, 10357 MANCHESTER**
Perf guar/fee, ARB, MSD prior to 2-20-21



**CITY OF KIRKWOOD
PLANNING AND ZONING COMMISSION
Via Zoom Virtual Meeting
September 2, 2020**

PRESENT:

Jim Adkins, Chairman
James Diel, Vice Chairman
David Eagleton, Secretary/Treasurer
Allen Klippel
Jim O'Donnell
Ron Evens
Tom Feiner
Mary Lee Salzer-Lutz
Sandy Washington

ABSENT:

Pursuant to notice of meeting duly given, the Planning and Zoning Commission convened on Wednesday, September 2, 2020, at 7:00 p.m. via Zoom Virtual Meeting. City Attorney John Hessel, Planning and Development Services Director Jonathan Raiche, Planner II Amy Lowry, and Administrative Assistant Patti Dodel also attended the meeting.

1. Chairman Adkins called the meeting to order at 7:06.

Planning and Development Services Director Jonathan Raiche stated for the record that under Section 610.015 of the Missouri Sunshine Law provides that members of the Planning and Zoning Commission who are not physically in the City Hall can participate and vote on all matters when an emergency exists and the nature of the emergency is stated in the minutes. So, let the minutes reflect that the U.S., and the World, is in a state of emergency due to the Coronavirus. The Missouri Governor and the County Executive directed all citizens to limit the number of attendees for meetings and gatherings to avoid the spread of the Coronavirus. Therefore, members of the Planning and Zoning Commission have elected to participate in this meeting electronically so that we are compliant with such Orders and for the public health and safety of each other and the general public. To make a comment during the public comment portions of the meeting, you will need to use the following methods. If you are accessing the meeting via the Zoom application/program, then you should click the hand icon on the bottom of your screen to "raise your hand". If you are accessing the meeting solely using a dial-in phone line, you will need to "raise your hand" by dialing *9. All individuals with raised hands will be called upon and unmuted one at a time. Please begin your comment by providing your name and address for the record. Also, please note, the chat feature of the Zoom meeting will not be monitored by Commissioners.

Chairman Adkins informed the audience of the procedure for making comments regarding items on the agenda requiring Site Plan Review approval, City Attorney

Hessel stated, as new members, Commissioners Washington and Salzer-Lutz are encouraged to participate in those matters in which they are satisfied that they have enough information provided by staff and documentation to vote on the matter based upon their review of the materials. Commissioner Washington stated she is familiar with the item and comfortable in voting tonight. Commissioner Salzer-Lutz stated she is familiar with the item and comfortable in voting tonight.

Chairman Adkins announced that all nine Commissioners were present.

- 2. Motion was made by Commissioner O'Donnell and seconded by Commissioner Diel to approve the minutes for the August 19, 2020, meeting as written.

Roll Call:

Chairman Adkins	"Yes"
Commissioner Klippel	"Yes"
Commissioner O'Donnell	"Yes"
Commissioner Diel	"Yes"
Commissioner Eagleton	"Yes"
Commissioner Evens	"Yes"
Commissioner Feiner	"Yes"
Commissioner Salzer-Lutz	"Yes"
Commissioner Washington	"Yes"

- 3. **PZ-28-20 ZONING CODE AMENDMENT, SPECIAL USE PERMIT (ASSISTED LIVING), AND SITE PLAN REVIEW FOR MIXED-USE DEVELOPMENT IN B-2 ZONING DISTRICT, 300 NORTH KIRKWOOD ROAD**

Submitted: 2-21-20; Revised 8-26-20 Automatic Recommendation: 9-24-20
Petitioner's Agent, George Stock
(Subcommittee – Commissioners Adkins, Diel, and O'Donnell)
Opportunity for Public Comment

Planning and Development Services Director Raiche stated the proposal for a mixed-use development is on Lot 1 of the two-lot subdivision currently pending before the City Council. In addition to the preliminary development plan, text amendments to add a definition for Assisted Living Facility, add a parking rate of .5 space per assisted living unit and 1 space per independent living unit, and add a Special Use Permit category for an Assisted Living Facility in the B-2 Zoning District and applying for the newly-created category are also included with the application. More than 20 e-mails regarding this development have been sent to the City and provided to the Commission members.

The proposed building on the 1.4 acre site would contain retail on the first floor and 66 independent living apartments restricted to residents 55 and older and 56 assisted living apartments. A revised plan was submitted on August 26 showing an 8' wide tree lawn and 8' wide sidewalk along Kirkwood Road in lieu of the 10' wide tree lawn and 6' wide sidewalk; additional bicycle racks would be located in the garage; and a revised width for accessible parking spaces. A six-foot tall

sight-proof fence would be constructed along the eastern property line from Adams Avenue to Washington Avenue.

The petitioner is requesting three modifications in their proposal:

Requirement	Required	Provided	Difference
Density (sf of lot area/unit)	(As proposed)		
- Assisted Living	• 500		
- Independent Living	• 800		
- Blended Average	• 662	• 514	• 148
Floor Area Ratio	2.5	2.56	0.06 (3,963sf)
Parking lot perimeter trees	8	0	8

The swimming pool in the original plan was not enclosed; and when the developer submitted the revised site plan, the swimming pool was enclosed, which increased the Floor Area Ratio over the maximum allowed. Also, the eight Parking Lot Perimeter Trees required along the eastern property line are being replaced with a 5' wide public pedestrian parkway, bushes, and a 6' tall sight-proof fence.

In response to Commissioner Klippel's inquiry about the maximum height of the building, Mr. Raiche responded the maximum height allowed is 60 feet and the proposed building meets that requirement.

Ryan Carlie, Director of Real Estate Development for Opus; Joe Miklich, Senior Vice President of Development and Acquisitions for Allegro; and Gary Schuberth, Vice President for Opus AE Group were present.

Mr. Miklich stated that the 19 Allegro communities have approximately 2,863 units. Their first community was constructed in 1999 in St. Augustine, Florida.

Mr. Carlie added that the City's Downtown Master Plan noted that this property is underutilized.

Mr. Miklich stated that the average age of a resident in their facilities is 84 years old. The units (studio to two-bedroom) would range in size from 450 to 1,100 square feet and rent for \$3,500 to \$9,000 per month based on size and acuity of care. Housekeeping, insurance, taxes, utilities, classes, pest control, and transportation are included and meal plans are available. Amenities include a fitness center, theater, swimming pool, salon, spa, game room, conference room, library, multiple dining rooms, a pub, and a bistro. Approximately 75 percent of the residents are female with 15 to 20 percent of the rooms being double occupied. There will be 25 to 30 employees on the peak shift. One off-site group activity is planned each day and catered events are held on site. Approximately 70 percent of the residents who occupy the units come from within a three- to five-mile radius.

Mr. Schuberth presented the site plan, details of the linear park, the decorative street lights, 5-foot wide north-south walkway, 16 bicycle racks to accommodate 32 bicycles.

Mr. Miklich added that they are proposing 122 units with 135 residents. Based on the Census average of 2.63 persons per household, the 52 units allowed would provide for 136 residents.

In response to Commissioner Salzer-Lutz' questions, Mr. Miklich stated they will file for a Certificate of Need after City Council approval of the preliminary plan; due to COVID, some residents in their Richmond Heights location have moved out and they are unable to move new residents in; and they have never converted or closed a location since they have been built. Their market study indicates Aberdeen Heights and Bethesda Gardens are at capacity.

In response to Commissioner Evens' questions, Mr. Miklich responded that a CON is costly, and they will apply after Council approval; their market study indicates there is a need for these units in this area; and residents do not "buy in", there is a one-month's rent move in fee and they sign a 12-month agreement. If a resident's situation changes within that year, they do not penalize them for moving out.

In response to Commissioner Eagleton's questions, Mr. Carlie responded the pedestrian path connecting the north-south walkway to the linear park across the driveway aisle would be a raised traffic-calming feature.

In response to Commissioner Salzer Lutz' question about the former Pitman School flagpole, Mr. Carlie responded it would be relocated on the site, possibly to the entry way for the linear park.

In accordance with Section 220.6 of the Zoning Code, Chairman Adkins asked if there was anyone in the audience who had comments concerning the site plan, and the following responded:

Ross Sanders, 724 East Madison, spoke in favor of the development citing a need for high-quality residential care, there would be no negative impact on the schools, and would be a positive impact on local stores.

Rich Vandegrift, 131 East Adams Unit 1D, stated: (1) no other senior living facility has mixed use and that assisted living residents prefer to live on the first floor, and this proposal doesn't have first floor apartments; (2) there are vacant commercial spaces on Kirkwood Road in this block already (Gwin's Travel and McArthur's) and there is not a demand for more retail in this block; (3) would prefer to keep the 106 year old chain link fence and doesn't want a view of a 6' tall sight-proof fence; and (4) believes the project is too dense with the building not in character with the neighborhood.

Scott Chartrand, Real Estate Manager for Commerce Bank, stated the size of the existing bank building was required when it was built in 1979; however, needs have changed.

Kathy Paulson, 401 Frieda Avenue, believes the modifications conflict with the Downtown Master Plan, specifically pages 101 and 130.

Phil Hutchison, 131 East Adams, is concerned about the density, parking, and the additional traffic on an already crowded road.

John Burns, 1881 Charmwood Court, believes the City should adopt the proposed Zoning Code that is currently pending before the City Council before considering a project of this size. The Downtown Master Plan suggests townhouses, cottages, and small multi-family developments.

Commissioner Diel read the underlined sections of the Subcommittee Report:

(Insert Report)

Commissioner Eagleton made a motion, which was seconded by Commissioner Feiner, to recommend approval of an amendment to Zoning Code Section A-140 to add the Definition for "Assisted Living Facility" and to Section A-1000.4 Table 1000-2 to add a parking rate for Assisted Living Facility subject to the conditions contained in the Subcommittee Report.

Roll Call:

Chairman Adkins	"Yes"
Commissioner Klippel	"Yes"
Commissioner O'Donnell	"Yes"
Commissioner Diel	"Yes"
Commissioner Eagleton	"Yes"
Commissioner Evens	"No"
Commissioner Feiner	"Yes"
Commissioner Washington	"Yes"
Commissioner Salzer-Lutz	"Yes"

Commissioner Eagleton made a motion, which was seconded by Commissioner O'Donnell, to recommend approval of an amendment to Zoning Code Section A-510.3 to add "Assisted Living Facility" as a Special Use in the B-2 General Business District subject to the conditions contained in the Subcommittee Report.

Roll Call:

Chairman Adkins	"Yes"
Commissioner Klippel	"Yes"
Commissioner O'Donnell	"Yes"
Commissioner Diel	"Yes"
Commissioner Eagleton	"Yes"

Commissioner Evens	"No"
Commissioner Feiner	"Yes"
Commissioner Washington	"Yes"
Commissioner Salzer-Lutz	"Yes"

Commissioner Eagleton made a motion, which was seconded by Commissioner O'Donnell, to recommend approval of a Special Use Permit for an "Assisted Living Facility" at 300 North Kirkwood Road subject to the conditions contained in the Subcommittee Report.

Commissioner Salzer-Lutz expressed concern regarding the parking required for the retail portion of the development and for employees of Allegro and of the architecture of the building. Mr. Raiche commented that the traffic study submitted for this project included the retail portion, employees, and the proposed Commerce Bank building on Lot 2. Chairman Adkins added that the Architectural Review Board would review the elevations.

Roll Call:

Chairman Adkins	"Yes"
Commissioner Klippel	"Yes"
Commissioner O'Donnell	"Yes"
Commissioner Diel	"Yes"
Commissioner Eagleton	"Yes"
Commissioner Evens	"No"
Commissioner Feiner	"Yes"
Commissioner Washington	"Yes"
Commissioner Salzer-Lutz	"No"

Commissioner Eagleton made a motion, which was seconded by Commissioner Feiner, to approve the Preliminary Development Plan of a Mixed-Use Development at 300 North Kirkwood Road subject to the conditions contained in the Subcommittee Report.

In response to Commissioner Evens asking why Commissioners were supporting this project and not Kirkwood Flats, the Commissioners responded there was a better buffer between this development and the adjacent property, more distance between this development and detached single-family residences, less intrusive, and fewer units.

Commissioner Salzer-Lutz stated that the surrounding independent- and assisted-living unit developments do not have wait lists.

Roll Call:

Chairman Adkins	"Yes"
Commissioner Klippel	"Yes"
Commissioner O'Donnell	"Yes"
Commissioner Diel	"Yes"

Commissioner Eagleton	“Yes”
Commissioner Evens	“No”
Commissioner Feiner	“Yes”
Commissioner Washington	“Yes”
Commissioner Salzer-Lutz	“No”

4. Planning and Development Services Director Raiche stated the City Council is holding a public hearing on Kirkwood Flats/The James (PZ-15-20) on October 22nd via Zoom, the City Council is holding public hearings for RiverNorth Strength (PZ-1-21) and Commerce Bank (PZ-27-20) on September 3 via Zoom; Burn Boot Camp (PZ-20-20) has a conditional occupancy permit; KirkWork (PZ-19-19) building is complete and one tenant has an occupancy permit; No Leash Needed (PZ-24-19) is proceeding through the permit process; Villa Di Maria (PZ-30-20) and Starbucks (PZ-29-20) are in the process of gathering traffic data and will be on a future P&Z agenda; and the condo development at 134/138 West Madison Avenue (PZ-2- 21) will be on the September 16 Planning and Zoning Commission agenda.

There being no further business, motion was made by Commissioner Eagleton and seconded by Commissioner Evens to adjourn at 9:40 p.m. The next meeting will be held on September 16, 2020, at 7 p.m. via Zoom.

Jim Adkins, Chair

David Eagleton, Secretary/Treasurer

Upon request, these minutes can be made available within three working days in an alternate format, such as CD, by calling 314-822-5822. Minutes can also be downloaded from the City’s website at www.kirkwoodmo.org, then click on City Clerk, Boards & Commissions, Planning & Zoning Commission.

MEMORANDUM

TO: PLANNING & ZONING COMMISSION
FROM: JONATHAN D. RAICHE, PLANNING AND DEVELOPMENT SERVICES DIRECTOR *JDR*
SUBJECT: PZ-08-20, 10230 MANCHESTER ROAD
(AUDI KIRKWOOD) – SPECIAL USE PERMIT EXTENSION
DATE: SEPTEMBER 3, 2020
CC: BILL BENSING, PUBLIC SERVICES DIRECTOR



WHERE COMMUNITY AND SPIRIT MEET®

Per Section 900.3 (1) b. of the City's Zoning Code, the applicant has requested a 12-month extension to the period in which construction shall commence under the previously approved Special Use Permit. If a building permit is not issued by September 19, 2020, the current approval, Ordinance 10627, will expire.

Attached for your consideration are copies of the following items:

- 1) The Application and request letter from the applicant,
- 2) Ordinance 10627,
- 3) The original July 17, 2019, Subcommittee Report.
- 4) Sheet 2.1 from Approved Plan

CITY OF KIRKWOOD

APPLICATION FOR PLANNING AND ZONING COMMISSION ACTION

CASE NUMBER: PZ-08-20

DATE: 8-28-20

PROJECT ADDRESS: 10230-40 Manchester Rd., Kirkwood, MO
ZONING DISTRICT: _____ LOT SIZE: 1.5 acres
LOCATOR NUMBER: 22M24-1072
PROJECT NAME Audi Kirkwood

ACTION REQUESTED

- Zoning Change From _____ to _____
- Community Unit Plan, Type: _____
- Special Use Permit, Category: _____
- Subdivision Development, Number of Lots: _____
- B4 Development Plan
- B5 Development Plan

- Site Plan Review
 - Right-of-Way/Easement Vacation
 - Other: Time Extension
- Comments: Ordinance No. 10627

PETITIONER INFORMATION

I (We) hereby certify that I (we) have legal interest in the hereinabove described property and that all information given herein is true and a statement of fact

Name (Print): Manchester 10230 LLC Signature: X [Signature] Phone No.: 414-881-8099
Mailing Address: 478 Water St., [Signature] City: Prairie du Sac State: WI Zip: 53578
E-mail Address: jwhitt@leadcar.com
Petitioner's Status: Corporation Partnership Individual LLC
Relationship of Petitioner to Property: Owner Tenant Option Holder (Attach Copy of Contract) Other

AGENT INFORMATION

Agent's Name _____ Signature _____ Phone No.: _____
Mailing Address _____ City _____ State _____ Zip _____
E-mail Address: _____
(NOTE: The petitioner's agent, if listed, shall receive the official notice of public hearing)

PROPERTY OWNERS

Signature **required** or submit proof petitioner has legal interest in property.
Name: _____ Signature: X [Signature]
Address: _____ Address: 478 Water St.
City/State/Zip: _____ City/State/Zip: Prairie du Sac, WI
Phone: _____ Phone: 414-881-8099

FOR CITY USE ONLY

Date Received: 9-2-2020 Total Received: \$ 300 Agenda Date: _____
 B-4/B-5 Development Plan (Preliminary): \$1,000 + _____ Acres @ \$100/Acre or portion over one acre) = \$ _____
 CUP, Preliminary (Multi Family): \$1,000 + _____ Dwelling units @ \$20/Each = \$ _____ = \$ _____
 CUP, Preliminary (Detached Single Family): \$1,000 + _____ Lots @ \$500/Lot = \$ _____
 Letter of Credit Extension: \$100
 Rezoning: \$1,000
 Site Plan Review: \$1,000
 Site Plan Review Amendment \$800 or Extension: \$300
 Site Plan Review, Mixed Use in B2 Zoning District (Preliminary): \$1,000 (includes SPR fee) + \$25/acre or portion over one acre
 Special Use Permit and Special Use Permit Amendments: \$1,000
 Subdivision, Preliminary (Detached Single Family): _____ Lots @ \$500/Lot = \$ _____
 Vacation, Easement: \$75
 Vacation, Right-of-way: \$100
 Zoning Code Amendment: \$1,000

Final Subdivision Plat/Community Unit Plan/B-4or B-5 Development Plan

Date Received: _____ Total Received: \$ _____ Agenda Date: _____
 B-4 and B-5 Development Plan (Final) or B4 Development Plan Amendment (when public hearing is not required): \$1,000
 B-5 Development Plan Amendment (when public hearing is not required): \$500
 CUP Amendment, Type A or Type C: Without public hearing \$500; With public hearing \$800
 CUP Type C (Final): \$500 + 1-1/4% of \$ _____ = \$ _____
 CUP Type A or C Time Extension on Final: \$300
 Sidewalk Waiver on _____ feet @ \$30/Foot = \$ _____ = \$ _____
 Site Plan Review, Mixed use in B2 Zoning District (Final): \$500
 Site Plan, Mixed use in B2 Zoning District Amendment: \$300
 Subdivision Plat or CUP Type A (Final): _____ Lots @ \$100/Lot = \$ _____ + 1-1/4% of \$ _____ = \$ _____
 Subdivision Plat Development Plan Amendment: \$200

Y:\PlanningAndZoning\FORMS\PetitionForm2018.docx

SUBCOMMITTEE (_____)

LEADCAR™

Manchester 10230, LLC

Sent via FedEx & Email

August 28, 2020

Jonathan D. Raiche
Planning & Development Services Director
City of Kirkwood
139 S. Kirkwood Road
Kirkwood, MO 63122-4303

Re: Extension of Time Under Ordinance No. 10627

Dear Jonathan:

Manchester 10230, LLC, an affiliate of Audi Kirkwood and LeadCar, hereby formally requests a one year time extension under Ordinance No. 10627, including with respect to building permit, performance guaranty, administrative fee and related deadlines. We are requesting additional time for final construction design/planning and unexpected delays, including due to the COVID-19 pandemic.

Please contact our General Counsel, Jeremy Whitt, at 414-881-8099 or jwhitt@leadcar.com with any questions. We greatly appreciate the opportunity to continue working with the City of Kirkwood on this project.

Sincerely,

Manchester 10230, LLC



Jason R. Brickl, Manager

BILL 10788AA

ORDINANCE 10627

AN ORDINANCE GRANTING A SPECIAL USE PERMIT AND SITE PLAN APPROVAL FOR MOTOR VEHICLE SALES AT 10230 AND 10240 MANCHESTER ROAD SUBJECT TO CERTAIN CONDITIONS.

WHEREAS, Manchester 10230, LLC made application (PZ-8-20) for a Special Use Permit and Site Plan approval for the purpose of a building addition and site improvement on the subject property to be utilized for motor vehicle sales to be located at 10230 and 10240 Manchester Road; and

WHEREAS, the Planning and Zoning Commission did on the 17th day of July, 2019, by adopting the Planning and Zoning Commission Report dated July 17, 2019, (attached hereto as Exhibit "A" and incorporated by reference herein), recommend the granting of said Special Use Permit and Site Plan approval subject to certain conditions and did find that granting of said permit and site plan approval would not substantially increase traffic hazards or congestion, would not substantially increase fire hazards, would not adversely affect the character of the neighborhood, would not adversely affect the general welfare of the community, and would not overtax public utilities, and that granting such permit would be consistent with the zoning laws; and

WHEREAS, the Council did on the 15th day of August, 2019, hold a public hearing with respect to such application after duly advertising and giving proper notice of such hearing and does find that the granting of such permit and site plan approval, subject to certain conditions, would not substantially increase traffic hazards or congestion, would not substantially increase fire hazards, would not adversely affect the character of the neighborhood, would not adversely affect the general welfare of the community, and would not overtax public utilities; and

WHEREAS, the Council does further find that the general welfare requires that such permit be subject to the conditions hereinafter set out.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. A Special Use Permit and Site Plan approval for motor vehicle sales is granted on the properties known as 10230 and 10240 Manchester Road subject to the following conditions:

1. The project shall be constructed and maintained in accordance with the Site Plan stamped "Received July 2, 2019, City of Kirkwood Public Services Department", the Landscape Plan stamped "Received September 16, 2019, City of Kirkwood Public Services Department", and the Lighting Plan stamped "Received July 10, 2019, City of Kirkwood Public Services Department", except as noted herein.
2. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee (10% of the first \$10,000 and 2% of the remaining balance of the performance guarantee) shall be submitted within one year of approval and prior to the issuance of a foundation letter or building permit to insure the completion of the proposed improvements, utilities and

landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services. The Letter of Credit shall be drawn from a St. Louis area bank.

3. Based upon the justification submitted per Section 220.2, the following modifications shall be granted:
 - a. A reduced drive aisle width for the ramp to the western parking lot from 22' to 20'.
 - b. A full waiver of the required 10' planting screen along Manchester Road.
 - c. A full waiver of the 8 canopy trees required along Manchester Road.
 - d. A full waiver of the 11 canopy trees required along the southern property line.
 - e. A full waiver of the 7 canopy trees required along the west perimeter of the western parking lot.
 - f. An allowance for 2 of the required parking island canopy trees to be replaced with 2 understory trees.
4. The 18 parking spaces near the southeast corner of the site and indicated on the site plan as "Inventory or Service Car Parking Spots Only" shall be reserved for those uses and designated with signage and/or striping.
5. One additional ADA parking space is required, a total of 4 ADA spaces, per Section A-1000.5 (3) and shall be included on a revised Site Plan prior to issuance of permits.
6. A landscape island shall be added in the southeast corner of the site to accommodate landscaping consistent with other landscaping proposed in consultation with the Public Services Department.
7. All permanent and temporary easements for the Route 100 project shall be provided as part of this project prior to issuance of a building permit.
8. A consolidation plat with easements as required by the City shall be recorded and a recorded copy provided to the City prior to the issuance of a building permit.
9. All proposed public sidewalks shall be constructed so that they terminate in a manner compliant with ADA/PROWAG.
10. Site plan approval from MoDOT is required prior to issuance of permits.
11. If applicable, proper ground disturbance permits through MDNR shall be obtained prior to issuance of permits from the City.
12. All new curb is required to be 18" concrete barrier curb.
13. Storm water management plans shall be submitted to Metropolitan Sewer District (MSD) and City for review and approval prior to the issuance of a grading, foundation or building permit. Storm water greater than one c.f.s. shall not be directed across the public sidewalk or driveway entrances.

14. If applicable, sanitary sewer plan shall be approved by MSD prior to the issuance of a foundation letter or building permit.
15. Parking lot entrances shall be 7" thick concrete and ADA compliant.
16. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the petitioner shall install the necessary mains and accessories.
17. If applicable, a grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
18. During excavation and construction activities, the area of the site that is disturbed for this project shall be fully enclosed by a 6-foot high chain link fence to prevent the entry of unauthorized persons. The gate for the fence shall be locked during non-working hours.
19. No parking of construction trailers, material storage, equipment storage, or construction equipment is authorized on the public streets at any time.
20. Enclosures are required to screen all dumpsters, grease receptacles, and similar items on the site and shall be constructed of sight-proof materials (e.g. masonry, split-faced concrete masonry units, etc.) similar or complementary to the main building and not less than six feet in height. Latching gates of similar or complementary materials shall be required to completely enclose the dumpster.
21. An accessible route in compliance with ADA standards shall be provided from the proposed accessible parking spaces to the accessible entrance of the building.
22. All rooftop equipment, air-conditioning units and mechanical equipment shall be completely screened from view of adjoining properties and public right-of-way.
23. The Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.
24. Between the hours of 8 p.m. and 8 a.m., interior lighting for second story rooms along the south façade shall be limited to lighting required for building and fire code compliance, janitorial services, and security.
25. The use of outdoor speakers for amplification of sound including, but not limited to, music and voice shall be prohibited.
26. An 8 foot tall sight-proof fence in an earth-tone color and made of Simtek, or a similar durable composite product as approved by the Public Services Department, shall be provided along the southern property line adjacent to residentially zoned property.

SECTION 2. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation and shall be installed prior to beginning of any grading or construction. The siltation control measures shall be installed and approved by the Public Services Department prior to issuance of any permit. These devices shall be maintained during the construction activities. Failure to maintain these devices authorizes the Public Services Department to issue a Stop Work Order for the building permit until such devices are restored.

SECTION 3. The approval of this special use permit and site plan shall not authorize any person to unreasonably alter, increase, or redirect the surface water run off so as to cause harm to any person or property.

SECTION 4. The premises and improvements as approved by this special use permit and site plan shall be in good working order and maintained in good repair at all times.

SECTION 5. The applicant by accepting and acting under the special use permit and site plan herein granted accepts the permit subject to the reservations, restrictions, and conditions set forth in the Code of Ordinances and in this Ordinance and agrees to comply with each provision subject to the penalties prescribed under Section 1-8 of the Code of Ordinances and subject to revocation of this permit in the event such provisions are not complied with.


SECTION 6. The applicant further agrees by accepting and acting under this special use permit and site plan herein granted that this ordinance does not grant applicant any special rights, privileges, or immunities.

SECTION 7. This ordinance shall become null and void in the event the petitioner does not obtain a building permit within one year of the passage of this ordinance.

SECTION 8. The applicant and her successors and assigns by accepting and acting under the approval herein granted accepts the approval subject to the condition that failure to abate any violation of this approval or any provisions of the Code of Ordinances of the City of Kirkwood within five (5) days after notice by hand delivery or first-class mail shall result in an administrative investigation fee of \$500 due to the City of Kirkwood. An invoice shall be issued. A Stop Work Order to cease all work on the premises except such work as directed by the Public Services Director to abate the violation may be issued for any work on the premises until the investigation fee is paid in full. The City may demand payment of said fee from the holder of the letter of credit, any bond, or escrow if not paid within 30 days of the invoice.

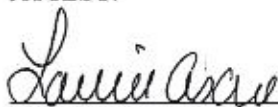
SECTION 9. This ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS 19TH DAY OF SEPTEMBER 2019.



Mayor, City of Kirkwood

ATTEST:



City Clerk

Public Hearing: August 15, 2019
1st Reading: September 5, 2019
2nd Reading: September 19, 2019

AMENDED
APPROVED 7.17.19

CITY OF KIRKWOOD
PLANNING AND ZONING COMMISSION
SUBCOMMITTEE REPORT
July 17, 2019

PETITION NUMBER: PZ-8-20

ACTION REQUESTED: SPECIAL USE PERMIT (MOTOR VEHICLE SALES) AND SITE PLAN REVIEW –
AUDI KIRKWOOD

PROPERTY OWNER: MANCHESTER 10230, LLC

APPLICANT: MANCHESTER 10230, LLC

APPLICANT'S AGENT: JEREMY WHITT, ATTORNEY

PROPERTY LOCATION: 10230 – 10240 MANCHESTER ROAD

ZONING: B-3, HIGHWAY BUSINESS DISTRICT

DRAWINGS SUBMITTED: FLOOR PLAN (4 SHEETS) STAMPED "RECEIVED MAY 31, 2019, CITY OF
KIRKWOOD PUBLIC SERVICES DEPARTMENT"

SITE PLAN BY STERLING ENGINEERING STAMPED "RECEIVED JULY 2,
2019, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

LANDSCAPE PLAN PREPARED BY LANDSCAPE TECHNOLOGIES STAMPED
"RECEIVED JULY 10, 2019, CITY OF KIRKWOOD PUBLIC SERVICES
DEPARTMENT"

LIGHTING PLAN PREPARED BY CHIODINI ARCHITECTS STAMPED
"RECEIVED JULY 10, 2019, CITY OF KIRKWOOD PUBLIC SERVICES
DEPARTMENT"

DESCRIPTION OF PROJECT:

The applicant is requesting a Special Use Permit and Site Plan approval for a significant building remodel/addition with associated parking lot improvements on the sites located at 10230 and 10240 Manchester Road for the existing Motor Vehicle Sales business. There is no active Special Use Permit on the site; however, Staff has determined that the business is a legal non-conforming use. Approximately the front third of the existing building is proposed to be removed and replaced with a 2-story building addition which will provide space for offices and showroom on the 2nd story and service department arrival area on the 1st story. The parking to the west will be reconstructed to further utilize the existing grade change on the site. The western parking lot will be built to gradually rise until it meets the 2nd story which will become the main entrance to the new showroom and office space. The remaining parking areas are proposed to remain in their current footprint with more minor repairs and resurfacing/restriping occurring to accommodate the proposed internal circulation.

The proposed site plan includes the elimination of three access points that currently exist on Manchester Road for a total proposed two access point (reduced from 5 existing). The applicant also shows a 5' wide sidewalk along the entire frontage on private property and located in a public sidewalk easement. This sidewalk is separated from Manchester Road by a proposed 5' wide greenspace. This

design was the result of consultation with City Staff in order to keep the project consistent with the City/MoDOT Route 100 project.

COMPREHENSIVE PLAN, LAND USE AND ZONING:

The site is designated as Corridor Commercial on the EnVision Kirkwood 2035 Future Land Use Map. Development types discussed in this land use include regional/neighborhood commercial. The proposed development maintains the current use of the site and is consistent with the uses listed.

The subject properties are zoned B-3, Highway Business District. The proposed use, Motor Vehicle Sales is technically termed "Motor vehicle and other vehicle sales by a factory franchised dealer, provided that sales of new vehicles shall exceed the sale of used vehicles each year and no streamer lights are used". This use is a special use in this district which is why the applicant has applied for a Special Use Permit.

Surrounding land uses and zoning include the following:

- To the north: Across Manchester Road, properties are zoned B-3 and B-4 with various commercial uses being conducted.
- To the south: There is a single-family residential neighborhood zoned R-4.
- To the east: There are multiple commercial properties zoned B-3.
- To the west: There is a single commercial property zoned B-3 between the subject site and Woodlawn Avenue.

DEPARTMENTAL/AGENCY COMMENTS:

- Electric: No comments received.
- Water: Water service and appurtenances to be installed per City specs.
- Engineering:
 1. Provide all permanent and temporary easements for the Route 100 project.
 2. MSD approval is required.
 3. MoDOT approval is required.
- Building/Fire:
 1. A flow test is required.
 2. Identify fire hydrant locations
 3. Provide turning radius details for the entrances.
 4. Front loading spaces may limit access to front of building.
- Forester: No Comments.
- MoDOT:
 1. Project is found to be feasible subject to final approval in form of a permit issued by MoDOT.
 2. MoDOT objects to new trees being located in the right-of-way.

SITE ELEMENTS ANALYSIS:

Structure & Parking

The proposed building addition is located approximately 38' from the front property line which is approximately 5' further back from the property line when compared to the existing building. The front yard setback is 37.8' which is determined by averaging the setback of the adjacent buildings. The

building addition complies with all structure setbacks in the B-3 District. The proposed building also conforms to the height which is regulated through a maximum F.A.R of 2.0.

The proposed building includes 8 service bays with 7 service employees (47 parking spaces required), and 4,150 sf of office space (21 parking spaces required) which require a total of 68 parking spaces. The proposed plan includes 104 parking spaces including 10 internal spaces in the service arrival area. There are 18 spaces designated as Inventory or Service car parking-only. This restriction is included in the recommendation section of this report and is due to the fact that these spaces are double-parked. A condition has also been added that 1 additional ADA parking space be provided to comply with Section A-1000.5 (3). Additionally, the proposed plan includes 3 inverted-U bicycle racks as required by Code.

Site Access & Traffic Management

As mentioned in the Project Description, the proposal reduces the number of access points from 5 to 2 which will eliminate many potential conflict points for vehicles and pedestrians. There is a concrete median across from the western entrance which restricts this entrance to right-in, right-out movements. The eastern entrance is proposed as full-access. In addition to reducing the number of entrances, the current access points also range in size from 29' wide to 59' wide nearly creating one continuous curb-cut along the property line. To further the circulation concerns, the existing site also has parking spaces directly adjacent to the right-of-way. The proposed plan has all parking spaces a minimum of 15' from the property line with an additional 5' of greenspace before the proposed curb. This design will create further separation and better visibility for all users.

Landscaping

Five of the six modifications listed in the Modifications section below are due to deficiencies in the proposed plan when compared to the City's landscaping requirements. For landscaping purposes, the proposal was evaluated in two separate parts. The existing building site (10230 Manchester) was evaluated as a redevelopment for purposes of frontage and rear yard trees. This parcel; however, was not evaluated to require additional trees around the parking areas since these areas are in the same location and are not being reconstructed. Because the western parking lot is being reconstructed, Staff evaluated this portion to require frontage trees, rear yard trees, and perimeter trees.

The proposed plan includes 8 trees (6 canopy and 2 understory) and various shrubs within landscape islands in the western parking lot. On the eastern portion of the project, there are various shrubs around the proposed monument sign and 4 evergreen trees around the proposed dumpster enclosure.

The applicant's original proposal included street frontage trees that met the requirements, with the exception of understory trees being proposed under overhead utility lines. After review by MoDOT; however, the City received comment that MoDOT would not allow the proposed trees in their right-of-way. The applicant could provide a 5' sidewalk in the public right-of-way and a 5' greenspace for planting of trees on their property; however, City Staff recommends that the current proposal which locates the greenspace between the sidewalk and the street is preferable. This design will be safer for pedestrians and will be consistent with the Route 100 project occurring along the corridor from Kirkwood Road east into Brentwood. The other option would be for the developer to provide additional greenspace on their property; however, this would make significant changes to their building and site layout design. The applicant has elected to request modifications for these items that they have not complied with.

Lighting

A revised lighting plan was provided on July 10, 2019 which addressed Staff's outstanding comments. The proposed plan includes 15 pole-mounted LED fixtures and 4 building-mounted LED fixtures designed to meet the requirements of the Zoning Code.

MODIFICATIONS

Along with their request, the applicant has requested multiple modifications per Section 220.2 of the Zoning Code regarding parking and landscaping requirements. The following is a summary of the various modifications that would be needed to accommodate the proposed design:

Topic	Required	Provided	Difference
Drive aisle width	22'	20'	2'
Planting screen on private property between parking and abutting street	10'	0' (5' in public ROW)	10'
Street frontage trees	8 canopy	0 (not permitted in MoDOT ROW)	8
Rear yard trees	11 canopy	0	11
Parking lot perimeter trees (west property line only)	7 canopy trees	0	7
Parking lot island trees (western lot only)	8 canopy trees	6 canopy trees 2 understory trees	-2 canopy +2 understory

The applicant has submitted the following items for consideration regarding the modification. Additional detail on these items can be found in their letter received by the City on July 10, 2019:

1. Trees are proposed at 3.5" caliper rather than the 2" caliper required.
2. Adding as much landscape (irrigation included) as possible while allowing for adequate parking.
3. The architectural design provides an improved view for neighbors to the south.
4. The site and building will utilize high-efficiency lighting and HVAC equipment.
5. Reducing existing access points from 5 to 2 to promote safer vehicle and pedestrian circulation both on and off-site.
6. Public sidewalk easement on-site to coordinate with larger Route 100 plan and provide a 5' greenspace along Manchester Road and the addition of bicycle racks for safer access for all users.
7. The proposed site plan reduced the impervious area on-site which is currently 100% impervious.

DISCUSSION:

Zoning Matters signs were placed on the property on June 14, 2019. The request was introduced at the Planning & Zoning Commission meeting on June 19, 2019. An on-site subcommittee meetings was held on June 25th. A list of attendees of the subcommittee meeting can be seen in Exhibit B. At the subcommittee meeting, the following items were discussed:

1. On-site and off-site circulation improvements including pedestrian improvements.
2. The applicant expected to submit a modification request for multiple of the landscape issues.
3. The topography of the site was discussed with relation to the building's design and its utilization of the existing grade changes within the site.
4. Due to the existing raised-median, the western access point will be right-in/right-out and the eastern access point will be full-access.

These items have been discussed throughout the report and outstanding items have been included in conditions in the Recommendation section of this report.


RECOMMENDATION:

The Subcommittee recommends that this application be approved with the following conditions:

1. The project shall be constructed and maintained in accordance with the plans referenced in the Drawing Submitted portion of this report, except as noted herein.
2. Based upon the justification submitted per Section 220.2, the following modifications shall be granted:
 - a. A reduced drive aisle width for the ramp to the western parking lot from 22' to 20'.
 - b. A full waiver of the required 10' planting screen along Manchester Road.
 - c. A full waiver of the 8 canopy trees required along Manchester Road.
 - d. A full waiver of the 11 canopy trees required along the southern property line.
 - e. A full waiver of the 7 canopy trees required along the west perimeter of the western parking lot.
 - f. An allowance for 2 of the required parking island canopy trees to be replaced with 2 understory trees.
3. The 18 parking spaces near the southeast corner of the site and indicated on the site plan as "Inventory or Service Car Parking Spots Only" shall be reserved for those uses and designated with signage and/or striping.
4. One additional ADA parking space is required, a total of 4 ADA spaces, per Section A-1000.5 (3) and shall be included on a revised Site Plan prior to issuance of permits.
5. All permanent and temporary easements for the Route 100 project shall be provided as part of this project prior to issuance of a building permit.
6. All proposed public sidewalks shall be constructed so that they terminate in a manner compliant with ADA/PROWAG.
7. Site plan approval from MoDOT is required prior to issuance of permits.
8. If applicable, proper ground disturbance permits through MDNR shall be obtained prior to issuance of permits from the City.
9. The applicant shall comply with all standard conditions as listed in Exhibit A.
10. A landscape island shall be added in the southeast corner of the site to accommodate landscaping consistent with other landscaping proposed in consultation with the Public Services Department.

Respectfully submitted,

James Diel



Jim O'Donnell

July 17, 2019

Page 5

EXHIBIT A
STANDARD CONDITIONS

1. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee (10% of the first \$10,000 and 2% of the remaining balance of the performance guarantee) shall be submitted within one year of approval and prior to the issuance of a foundation letter or building permit to insure the completion of the proposed improvements, utilities and landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services. The Letter of Credit shall be drawn from a St. Louis area bank.
2. Storm water management plans shall be submitted to Metropolitan Sewer District (MSD) and City for review and approval prior to the issuance of a grading, foundation or building permit. Storm water greater than one c.f.s. shall not be directed across the public sidewalk or driveway entrances.
3. Sanitary sewer plan shall be approved by MSD prior to the issuance of a foundation letter or building permit.
4. Parking lot entrances shall be 7" thick concrete and ADA compliant.
5. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the applicant shall install the necessary mains and accessories.
6. If applicable, a grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
7. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation and shall be installed prior to beginning of any grading or construction. The siltation control measures shall be installed and approved by the Public Services Department prior to issuance of a building permit. These devices shall be maintained during the construction activities.
8. During excavation and construction activities, the area of the site that is disturbed for this project shall be fully enclosed by a 6-foot high chain link fence to prevent the entry of unauthorized persons. The gate for the fence shall be locked during non-working hours.
9. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time.
10. An accessible route in compliance with ADA standards shall be provided from the proposed accessible parking spaces to the accessible entrance of the building.
11. All rooftop equipment, air-conditioning units and mechanical equipment shall be completely screened from view of adjoining properties and public right-of-way.

12. The Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.

EXHIBIT B
Subcommittee Meeting Attendees
June 25, 2019

P&Z Subcommittee Meeting

Project:

P2-8-20, Audi Kirkwood

Date:

6/25/19

Location:

10230 Manchester Rd.

Name	Organization
Jonathan Pancho	City of Kirkwood
AUGEN KLIPPER	P&Z
MICHAEL S. CHIODINI	CHIODINI
Jeremy Whitt	Audi Kirkwood
Adam Fitzpatrick	Audi Kirkwood
Jim O'Sannell	P&Z
TED JUNKMANN	CITY OF KIRKWOOD
RICK MCKINLEY	KIRKWOOD ELECTRIC
JAMES DIEHL	PZ
RUSS TODD	CITY OF KIRKWOOD
JACK SCHENCK	CITY OF KIRKWOOD
J.D. HOWELL	STERLING ENGINEERING

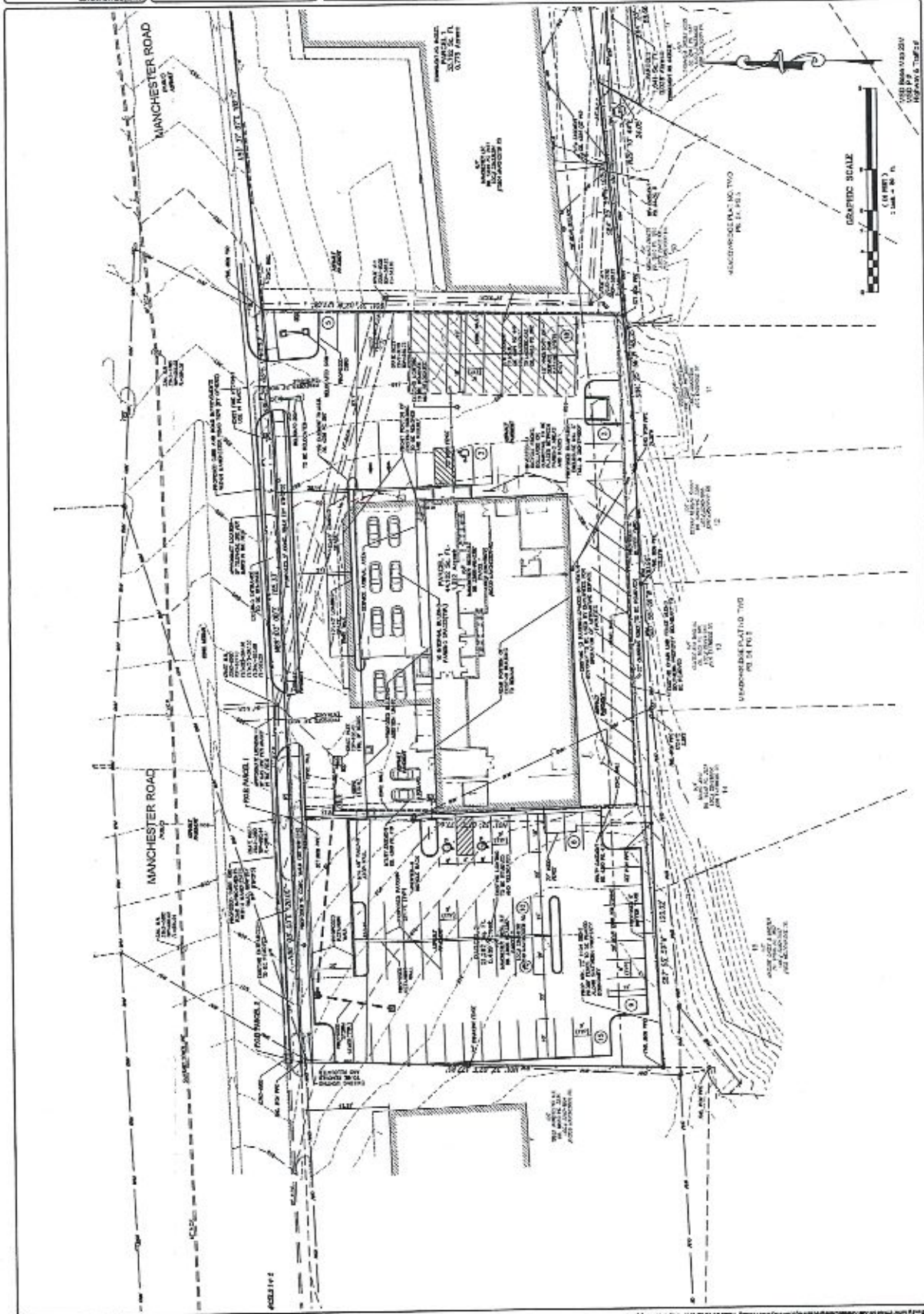
Manchester 1020, LLC
 410 West Street
 P.O. Box 400, West
 Manchester, NH 03103
 Tel: (603) 878-1001

STERLING
 ENGINEERS & SURVEYORS
 24 South Main Street
 Manchester, NH 03103
 Tel: (603) 878-1001
 Fax: (603) 878-1002

AUDI KIRKWOOD
 24 South Main Street
 Manchester, NH 03103
 Tel: (603) 878-1001
 Fax: (603) 878-1002



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**CITY OF KIRKWOOD
PLANNING AND ZONING COMMISSION
SUBCOMMITTEE REPORT
SEPTEMBER 16, 2020**

PETITION NUMBER: PZ-2-21

ACTION REQUESTED: SITE PLAN REVIEW

PROPERTY OWNER: SAVOY INVESTMENTS LLC (UNDER CONTRACT)

APPLICANT: SAVOY INVESTMENTS LLC

APPLICANT'S AGENTS: AMANDA NORRIS & TYLER STEPHENS – CORE 10 ARCHITECTURE

PROPERTY LOCATION: 134-138 WEST MADISON AVENUE

ZONING: B-2, GENERAL BUSINESS DISTRICT (CENTRAL BUSINESS DISTRICT)

DRAWINGS SUBMITTED: SITE PLAN PACKET (17 SHEETS) PREPARED BY CORE 10 ARCHITECTURE, SITE ONE PROJECT SERVICES AND VOLZ ENGINEERING STAMPED "RECEIVED SEPTEMBER 3, 2020, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

TREE STUDY (6 SHEETS) PREPARED BY FRONTENAC FORESTRY STAMPED "RECEIVED JULY 28, 2020, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

DESCRIPTION OF PROJECT:

The applicant is requesting Site Plan Review for a 12-unit condominium development. The existing properties contain two commercially-occupied buildings that were both converted from their original residential use. The proposed plan would demolish the existing buildings and place a four-story building with an underground parking garage that provides 24 parking spaces. The underground parking garage is proposed to be accessed via a two-way drive lane from Madison Avenue that would be shared with the Barclay development at 204 S. Clay Avenue. The proposed multi-family use is a permitted use in the B-2 District because the site is not located on a "Suggested or Mandatory Commercial" street in the Downtown Master Plan's Framework Plan.

COMPREHENSIVE PLAN, LAND USE AND ZONING:

The site is located in the Downtown land use category on the EnVision Kirkwood 2035 Future Land Use Map. Attached Residential (Duplexes/Townhomes/Garden Apartments) is listed in this land use category as an appropriate development type. The EnVision Kirkwood 2035 plan does not contain a land use category specifically for multi-family development, but rather, identifies that multi-family development could be appropriate within various land use categories. Multi-family developments have typically been approved near major intersections or as a transition between single-family uses and commercial uses which includes the perimeter of Downtown Kirkwood.

The subject property is currently zoned B-2, General Business District (Central Business District).

Surrounding land uses and zoning include the following:

To the north: Across Madison Avenue, there is a City Park, the Police Station and City Hall which are zoned B-2.

To the south: Directly to the south there are various commercial buildings that are currently zoned B-2.

To the east: Directly adjacent to the subject site is a city-owned public parking lot.

To the west: The 14-unit Barclay condominium building is under construction.

DEPARTMENTAL/AGENCY COMMENTS:

Electric: No Comments received.

Water: 1. Water line to be installed per City of Kirkwood Water specifications.
2. Detector check assembly required for the proposed fire/water service.
3. Maintain proper water/sewer separation per DNR regulations.

Engineering: No Comments received.

Building/Fire: 1. A flow test is required.
2. Maintain adequate Fire Department Access.
3. ARB Review is required.

Forester: No comments received.

SITE ELEMENTS ANALYSIS:

Structure & Pedestrian Access

The proposed building is 4 stories and approximately 50'10.5" tall which exceeds the maximum height of 40' for a non-mixed use project in the B-2 District. A modification has been requested for this and is included in the recommendation portion of this report. The building is proposed to have 12 total units with 4 units on each of the first two floors and 2 units each on the third and fourth floors. The unit density is proposed at 1,128 sf of lot area per unit which is slightly below the required 1,200 sf per unit. This deviation from the requirement is also included as a modification request.

The proposed structure is set back approximately 4' from the right-of-way line for Madison Avenue (16' from the curb-line), 5' from the east and west property lines, and approximately 10' from the southern property line. The sidewalk along Madison Avenue is proposed to be expanded to 6' wide to match the recently-approved multi-family building to the west. There is also a 3' wide emergency egress sidewalk proposed from the southern building façade that runs toward the west through the adjacent property and connects to the public sidewalk on Clay Avenue. Additional off-site improvements to the pedestrian circulation in the immediate area are being proposed after recommendation by the subcommittee. These additional improvements are discussed in the modification section of the report because they are viewed as means to justify the requested modifications.

Landscaping & Lighting

The proposed Landscape Plan provides the required number of frontage trees which are proposed to be located in the public right-of-way. While the Zoning Code does not explicitly state that trees cannot be provided in the right-of-way, Staff has identified the additional potential for conflict with utilities when trees are planted in the right-of-way. The proposed location provides a positive tree-lined aesthetic for the development, but if a tree is removed or damaged by a utility company during work not related to the proposed private development, the developer would not be required to replace the tree. This is not against the code, but something of which to be aware.

In addition to the required plantings, the applicant has proposed 2 understory trees, 11 evergreen trees, and various shrubs around the building that are provided above and beyond the Zoning Code's requirements.

The applicant provided a revised lighting plan to address Staff's initial comments; however, there are still various adjustments that need to be made in order for the plan to meet the requirements of Section A-1040. The revisions include revising all proposed fixtures to be full cut-off, lowering the lighting levels near the proposed front porch to comply with the 0.5 fc maximum trespass, and providing additional calculation points to ensure that the light does not exceed 0.5 fc on the southern and eastern property lines. Staff believes that the required revisions can be made without impact to the proposed site plan and can therefore be reviewed and evaluated prior to issuance of permits.

Site Access & Parking

The site is proposed to be accessed from a shared, two-way drive from Madison Avenue located along the western property line. The drive will decline in grade to provide access to the underground parking structure. The access drive is proposed to be 24' wide. The proposed parking structure will provide 24 spaces for the 12 units which exceeds the Zoning Code requirement of 1.5 parking spaces per unit (18 required spaces total).

Modifications

The proposed Site Plan requires three modifications from the current Zoning Code. A comparison of the proposed and required items is as follows:

Topic	Required	Provided	Difference
Unit Density	1,200 sf/unit	1,128 sf/unit	72 sf/unit
Building Height	40'	50'10.5"	10'10.5"
Floor Area Ratio	2.5	2.57	0.07 (919 sf)

In response to the subcommittee's request, the applicant is proposing new 6' wide, exposed aggregate sidewalks along the subject property and expanding it off-site to the east. The new 6' wide sidewalk would extend to the eastern side of the adjacent public parking lot at a minimum. If the owners of the property at 120 W. Madison Avenue choose, the applicant has also indicated that they would extend the sidewalk through the frontage of their property. However, Staff has advised that this would likely require additional removal of a public street-tree and could cause temporary inconvenience for the property owner. In addition to this off-site sidewalk widening, the applicant has also agreed to installing a mid-block pedestrian crossing which would connect the adjacent public parking lot with the police station across the street.

In addition to these off-site improvements, the developer provided multiple items to attempt to indicate how the project achieves the objectives listed in Section A-220.2 as part of the justification for the above modification requests. Below is a summary of some of the more important items:

1. Additional landscaping around the building and along the southern property line.
2. Decreasing site access to one shared-access point from Madison Avenue to increase pedestrian and vehicular safety.

DISCUSSION:

Zoning Matters signs were placed on the property on August 13, 2020. The request was introduced at the Planning & Zoning Commission meeting on August 19, 2020. A subcommittee meeting was subsequently held via Zoom on August 27th. A list of attendees of the subcommittee meeting can be seen in Exhibit B. The overall proposal was discussed at the subcommittee meeting with attention given to the modifications being requested and the justification for those modifications. The following is a summary of the discussion from the August 27th meeting:

- 1) Staff confirmed that a consolidation plat is required to accommodate the project.
- 2) The applicant clarified that the proposed shared drive would allow the drive to be expanded from the 20' approved with the adjacent site plan to 24' wide.
- 3) The subcommittee recommended additional off-site pedestrian enhancements in an effort to provide additional public benefit that would further reach the objectives stated in Section A-220.2. The applicant agreed to these off-site improvements as mentioned in previous sections of the report. Conditions are included in the recommendation referencing said improvements.
- 4) The subcommittee recognized the applicant's efforts to mitigate the appearance of building height through multiple step-backs in the proposed building façade.

The subcommittee finds that the justification provided and the circumstances of the modifications requested provide for a better development than might otherwise be realized. The subcommittee has included a recommendation for approval of the requested modifications in the recommendation section of this report.

RECOMMENDATION:

The Subcommittee recommends that the Site Plan Review application be **approved** with the following conditions:

1. The project shall be constructed and maintained in accordance with the plans referenced in the Drawing Submitted portion of this report, except as noted herein.
2. Based upon the justification submitted per Section 220.2, the following modifications shall be approved:
 - a. Unit density from 1,200 sf/unit to 1,128 sf/unit,
 - b. Building height from 40' to 50'10.5", and
 - c. Floor Area Ratio from 2.5 to 2.57.
3. As justification for the approved modifications, the following improvements are required:
 - a. A 6' wide, exposed aggregate sidewalk shall be installed along the subject property and shall be extended off-site to the eastern property line of the public parking lot located at 130 West Madison Avenue at a minimum. If the owners at 120 West Madison Avenue agree, the applicant shall also extend the 6' wide exposed aggregate sidewalk to the eastern property line of 120 West Monroe Avenue.
 - b. A mid-block pedestrian crossing which connects the public parking lot located at 130 West Madison Avenue with the Police Station shall be installed. Said crosswalk shall include ADA ramps on each end, high-visibility crosswalk markings, and MUTCD compliant signage. Final design shall be subject to approval by the Public Services Department.
4. If a tree, which is planted in the public right-of-way, is removed or damaged by a utility company during work not related to the proposed development, the property owner(s) must replace the tree with other aesthetic landscaping.
5. All proposed public sidewalks shall be constructed so that they terminate in a manner compliant with ADA/PROWAG and must be replaced with a 6' wide exposed aggregate sidewalk.
6. A consolidation plat shall be required with easements as required by the City prior to issuance of permits.

7. A revised lighting plan which meets all requirements of Section A-1040 shall be provided prior to issuance of permits.
8. The applicant shall comply with all standard conditions as listed in Exhibit A.

Respectfully submitted,

Ron Evens

Tom Feiner

DRAFT

EXHIBIT A
STANDARD CONDITIONS

1. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee (10% of the first \$10,000 and 2% of the remaining balance of the performance guarantee) shall be submitted within one year of approval and prior to the issuance of a foundation letter or building permit to insure the completion of the proposed improvements, utilities and landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services. The Letter of Credit shall be drawn from a St. Louis area bank.
2. Storm water management plans shall be submitted to Metropolitan Sewer District (MSD) and City for review and approval prior to the issuance of a grading, foundation or building permit. Storm water greater than one c.f.s. shall not be directed across the public sidewalk or driveway entrances.
3. Sanitary sewer plan shall be approved by MSD prior to the issuance of a foundation letter or building permit.
4. Parking lot entrances shall be 7" thick concrete and ADA compliant.
5. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the applicant shall install the necessary mains and accessories.
6. If applicable, a grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
7. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation and shall be installed prior to beginning of any grading or construction. The siltation control measures shall be installed and approved by the Public Services Department prior to issuance of a building permit. These devices shall be maintained during the construction activities.
8. During excavation and construction activities, the area of the site that is disturbed for this project shall be fully enclosed by a 6-foot high chain link fence to prevent the entry of unauthorized persons. The gate for the fence shall be locked during non-working hours.
9. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time.
10. An accessible route in compliance with ADA standards shall be provided from the proposed accessible parking spaces to the accessible entrance of the building.
11. All rooftop equipment, air-conditioning units and mechanical equipment shall be completely screened from view of adjoining properties and public right-of-way.
12. The Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.

EXHIBIT B
Subcommittee Meeting Attendees
August 27, 2020

Ron Evens -	P&Z Subcommittee Member
Tom Feiner -	P&Z Subcommittee Member
John Pennington -	Applicant
Drew Lesinski -	Applicant
Tyler Stephens -	Applicant Rep
Amanda Norris -	Applicant Rep
Jonathan Raiche -	City of Kirkwood
Chris Krueger -	City of Kirkwood
Patricia Jones -	Attendee

DRRAFF

Jonathan Raiche
City of Kirkwood
139 South Kirkwood Rd

Planning and Zoning Submittal

134 – 138 W. Madison Condominiums
Project Number: 20023

Dear Jonathan,

We are pleased to submit our application and submittal for the Planning and Zoning Site Plan Review on the 134 – 138 W Madison Condominiums project. This site is a combination of 2 existing buildings that sit between the City parking lot across from the Kirkwood Police Station and the Barclay Condominiums currently under construction at the corner of Clay and Madison. Following the success of both the Madison and Barclay projects, the goal is to create a phase 2 building of the Barclay Condominiums to continue to respond to the increased demand for high quality for-sale housing in the downtown Kirkwood area. We are proposing a similar structure in mass and height that will complement the existing building, while providing architectural variety on the street.

The project consists of a new 12-unit, 4 story residential structure with a secure underground parking garage, dedicated to the residents, and composed of 24 spaces for a 2 to 1 ratio of residential parking. The building will be designed as an urban structure, emphasizing a strong street façade with ample glass and recessed exterior balconies at each unit. We are proposing the development to transition from surrounding commercial structures by sitting back off the street with a surrounding front porch out to the sidewalk in order to provide a residential feel. This will allow the building to maintain the important pedestrian street edge, while providing visual relief and separation from the street for the ground floor units. The massing and layout of the porches continues to step back at the upper floors. Additionally, the site will be landscaped with regular street trees to provide a beautiful street presence, complementing the porches and continuing the rhythm of the adjacent developments to the east and west.

Michael Byrd, AIA CSI

Tyler Stephens, AIA

Within the B-2 district we are requesting modifications on the following requirements:

Density

We are requesting a modification to the density requirement of 1,128 sf/unit in lieu of the required 1,200. This slight adjustment is the result of the lot size which is 868sf short of compliance. Meeting proposed height and setback requirements identified in the downtown master plan, we feel this slight modification is justified.

Building Height

This development would request a modification to the building height and FAR. The current zoning defines a 40' height except for Mixed Use which allows up to 60'. The Madison project to the east was approved with a height of 56'-5". The Barclay project to the west was approved with an overall height of 49'-6". These two adjacent buildings are of similar use and configuration to the one proposed in this development. This new development, being a sister building to Barclay is thus set with a roofline to match that of Barclay. Their floor to floor heights and overall height are therefore designed to match, but due to the new development's average grade plane being slightly lower, the proposed height will be 50'- 10 ½ ".

The FAR requirement per zoning is 2.5. Analyzing the FAR of this building only on its particular lot is slightly over that at 2.57. When analyzing the building in concert with the adjacent Barclay project, with which it shares site open space for the access drive to their respective garages, then the overall FAR is 2.22. Or, analyzing the building utilizing the open space for half of the shared driveway, then the FAR is 2.34.

The following outlines some of the measurable ways that the above modifications are offset per the criteria established in Section 220.2.:

Landscaping

Additional site trees and a side yard landscape buffer are being provided above the required amount of street trees and landscaping.

Neighborhood Quality

As discussed above, the development addresses the "missing middle" setting up a transition from commercial to single-family residential. This will help maintain a density and cohesive transition from downtown to perimeter residential streets.

Utilities

Infrastructure is being reduced to service to one building in lieu of multiple buildings.

Traffic Circulation

Traffic is reduced to one site access point, shared with the adjacent Barclay condominiums. Bicycle storage is provided within the building for its occupants and the surrounding street sidewalks are being increased to 6 feet in width to improve the pedestrian pathway.

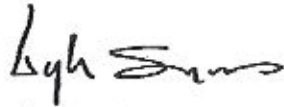
Pedestrian Access

As part of this development, Savoy will extend the 6' wide sidewalk started at the Barclay development along Madison Avenue to a minimum of the eastern property line of the City's parking lot to the east of this development. Pending conversations with the homeowner to the east of the City parking lot, Savoy is willing to extend the widened sidewalk to connect into the 5' sidewalk in front of the Madison Avenue condos.

Additionally, Mid-Block crosswalks were a recommendation made in Kirkwood's Master Plan. Savoy will install a pedestrian crosswalk with static signage and ADA ramps to connect from the City lot to the police station across the street.

Culminating the good work in the adopted downtown master plan, these adjustments to the current zoning code will continue the process of implementing

that plan for successful development in downtown Kirkwood into the future. The community has embraced and praised our recently completed developments on Madison to the east and Barclay to the west of this location and we feel there is room in the market to repeat that success. We are pleased to partner with the city in this way for the continuation of good growth. We ask for the city's approval and support of such efforts.



Tyler Stephens, AIA
Principal
CORE10 Architecture, Inc.

Drew Lesinski

Savoy Properties

Memo

Date: September 4, 2020
To: City of Kirkwood, Planning and Development
Jonathan Raiche, Planner
Re: Responses to Review Comments
PZ-2-21; 134-138 Madison Avenue (Site Plan)

Jonathan-

This letter and associated attachments provide response to review comments received from Kirkwood via email following the initial submittal on August 10, 2020. We are also providing response to the requests made during the Subcommittee Meeting held virtually on August 27, 2020. The original item reference is followed by our response in bold and/or action taken.

General Comments/Site Plan:

1. Since the approval of the Barclay project, there have been a number of code amendments that were approved that affect the content of your cover letter. The cover letter should be revised to remove reference to the code amendment for multi-family as a permitted use, remove reference to a front yard setback modification, and remove reference to a parking modification. Additionally, Staff has verified that the following modifications are needed to accommodate the current proposal: density of 1,128 sf/ unit; FAR of 2.57; Height of 50'10.5"; and parking stall dimensions of 9'x18'.
 - a. **See attached revised cover letter dated September 4, 2020.**
2. Sheet 1 of the Volz plans must be revised to reference Kirkwood Water as the water provider.
 - a. **See attached revised plans dated September 4, 2020.**
3. Sheet 1 of the Volz plans must be revised to reference the current parking requirement of 1.5 spaces per unit in downtown.
 - a. **See attached revised plans dated September 4, 2020.**
4. Note, trees A and D are located in the City ROW and require separate application, consideration and approval from the City's Urban Forestry Commission.
 - a. **Separate application was made to the Urban Forestry Commission. Approval to remove these two trees was granted at the August 25 meeting.**

5. Note, a recorded shared-access/maintenance agreement will be required prior to occupancy being approved for the proposed building.
 - a. **Savoy has established a shared access easement in The Barclay bylaws / original sales certificate. This will be executed when that project is complete and assuming this development is approved and moving forward.**
6. A modification for shorter parking stalls is included in the request letter; however, it appears that the stalls could be lengthened and the drive aisles narrowed to meet the City's requirements. Note, the minimum drive aisle width is 22'. Consider making these revisions.
 - a. **After review, the parking garage layout has been modified to provide the required parking stall length and drive aisle width. This modification request has therefore been removed. See attached revised cover letter and revised plans dated September 4, 2020.**
7. Widen the garage entrance to the required 22' minimum drive aisle width.
 - a. **It is not feasible to provide a 22' wide garage door. The garage door width shown in the submission is the same as what is being installed at the Barclay.**
8. Provide floor plans for the 3rd and 4th floors.
 - a. **See attached revised plans dated September 4, 2020.**
9. The proposed front porch shall not be located within the right-of-way. An as-built survey will be required to verify compliance. The plans appear to indicate that there is a slight encroachment in the NE corner of the porch. Revise as needed.
 - a. **See attached revised plans dated September 4, 2020. The item in question is the canopy overhang at the front entry. This has been adjusted to remain within the property.**

Lighting Plan

10. Light trespass exceeds the 0.5fc maximum in Section A-1040.5(2) in many locations. The lighting for the shared access drive may exceed this limit assuming the required recorded shared access document is ultimately provided. Revise the plan as needed to comply. These requirements are not eligible for modification.
 - a. **See attached revised plans dated September 4, 2020.**
 - i. **Note – along the southern border there are a couple of spots that are 0.6 but those points fall on the property. There are adjacent spots along the entire property line that do show 0.5 fc max at the property line itself.**

4501 Lindell Blvd, Suite 1a
Saint Louis, Missouri 63108
314.726.4858 CORE10architecture.com

11. The minimum average lighting requirement for the private sidewalk is required to be 2fc; however, the maximum light trespass must be 0.5fc. Revise the design to comply.
 - a. **See attached revised plans dated September 4, 2020. Note – while there are spots that show lighting below 2fc, the average across the site does meet the required 2fc.**
12. Provide lighting fixture cut sheets for proposed fixtures. All fixtures shall be full cut-off.
 - a. **See attached fixture cut sheets.**
13. Note, an as-built lighting plan will be required prior to a final occupancy permit being issued.
 - a. **This will be provided at the end of construction.**

Landscape Plan

14. An irrigation plan/diagram for all landscaped areas is required.
 - a. **See attached irrigation plan.**
15. On the landscape plan, list the sf calculations for: lot size, proposed open space, perimeter landscape buffer area, and proposed impervious area.
 - a. **See attached revised plans dated September 4, 2020.**

Subcommittee Comments – August 27, 2020

1. The Subcommittee requested that Savoy provide additional pedestrian improvements to offset the modifications being requested. These improvements include extending the 6' wide sidewalk along the City's adjacent parking lot to the east as well as providing the infrastructure for a mid-block crosswalk that would connect from the City parking lot across to the police station.
 - a. **See attached revised plans dated September 4, 2020.**

If there are any further comments or questions regarding these responses, please contact Amanda Norris at 314.726.4858, anorris@core10architecture.com.

Thank you,



Amanda Partyka Norris, AIA
Lead Architect
Core10 Architecture

134 - 138 W. MADISON CONDOMINIUMS

KIRKWOOD, MISSOURI

SAVOY PROPERTIES
1750 S BRENTWOOD BLVD, SUITE 600
BRENTWOOD, MO 63144



9/4/2020
AMANDA PARTYKA NORRIS - ARCHITECT
MCP A 200900196
STATE OF MISSOURI
ARCHITECTURAL CORPORATION
ORIGINAL CERTIFICATE LICENSE NO. 200900196

PROJECT INDEX:

1. DESCRIPTION OF PROJECT

THE PROPOSED RESIDENTIAL DEVELOPMENT IS LOCATED ON MADISON AVE ADJACENT TO THE BARCLAY CONDOMINIUMS CURRENTLY UNDER CONSTRUCTION, THE CURRENT SITE OF 2 EXISTING OFFICE BUILDINGS. THE PROJECT CONSISTS OF A NEW 12 UNIT 4 STORY RESIDENTIAL STRUCTURE WITH A SECURE PARKING GARAGE BELOW, DEDICATED TO THE RESIDENTS, AND COMPOSED OF 24 PARKING SPACES. RESIDENTIAL UNITS RANGE IN SIZE FROM 1,930 NSF TO 3,515 NSF.

THE BUILDING STRUCTURE WILL CONSIST OF POURED-IN-PLACE CONCRETE FOUNDATIONS AND PAN DECK WITH WOOD FRAMING AND BRICK VENEER ON UPPER FLOORS. THE LOWER LEVEL SHALL SERVE AS THE PARKING GARAGE.

2. FLOOR AREA RATIO

TOTAL BUILDING (WITHOUT GARAGE)	34,749 GSF
TOTAL LOT AREA	13,532 GSF
TOTAL PROJECT F.A.R.	2.57

3. SITE DESCRIPTION

ZONING DISTRICT: B2 MIXED USED
SITE AREA: 13,532 GSF
DENSITY: 1,128 SF/UNIT
MIN. REQ'D: 1,200 SF/UNIT

4. SETBACK

FRONT YARD PROPOSED/REQUIRED: 0'-0"
REAR YARD PROPOSED/REQUIRED: 10'-0" (UTILITY EASEMENT)
HEIGHT: ALLOW - 4 STORIES (60' MIXED USE; 40' ALL OTHERS) /
ACTUAL - 4 STORIES (50'-10 1/2")

5. PARKING PROVIDED

RESIDENTIAL:
2 SPACES PER UNIT (12 UNITS) = 24 SPACES
2 SPACES DESIGNATED AS HANDICAP SPACE
STALL DIMENSION = 9'-0" x 18'-0"
MIN. STALL DIMENSION = 9'-0" x 19'-0"

6. BUILDING AREAS

LOWER LEVEL/ PARKING GARAGE:	10,640 GSF
RESIDENTIAL LEVELS/ FIRST FLOOR:	9,385 GSF
SECOND FLOOR:	9,385 GSF
THIRD FLOOR:	8,393 GSF
UPPER THIRD FLOOR:	7,586 GSF
TOTAL	34,749 GSF
TOTAL BUILDING AREA:	45,389 GSF



SHEET INDEX:

GENERAL

- G-000 COVER SHEET
- G-001 EXISTING CONDITIONS

CIVIL

- C1 OF 2 SITE PLAN EXISTING CONDITIONS
- C2 OF 2 SITE PLAN

ARCHITECTURAL

- A-001 SITE CONTEXT PLAN
- A-002 SITE PLAN
- A-101 GARAGE PLAN
- A-102 FIRST FLOOR PLAN
- A-103 SECOND FLOOR PLAN
- A-104 THIRD FLOOR PLAN
- A-105 FOURTH FLOOR PLAN
- A-301 EXTERIOR ELEVATIONS
- A-302 EXTERIOR ELEVATIONS
- L-101 LANDSCAPE PLAN
- L-102 LANDSCAPE SPECIFICATIONS
- IR - 1 IRRIGATION PLAN
- LT-101 LIGHTING PLAN

DRAWING TITLE
COVER SHEET
PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
KIRKWOOD, MO 63112

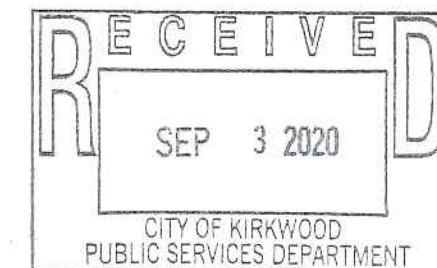


DATE REVISIONS

1	04 SEPT 2020
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DATE: 04 SEPT 2020
PROJECT NO. 20023

SHEET NO. G-000

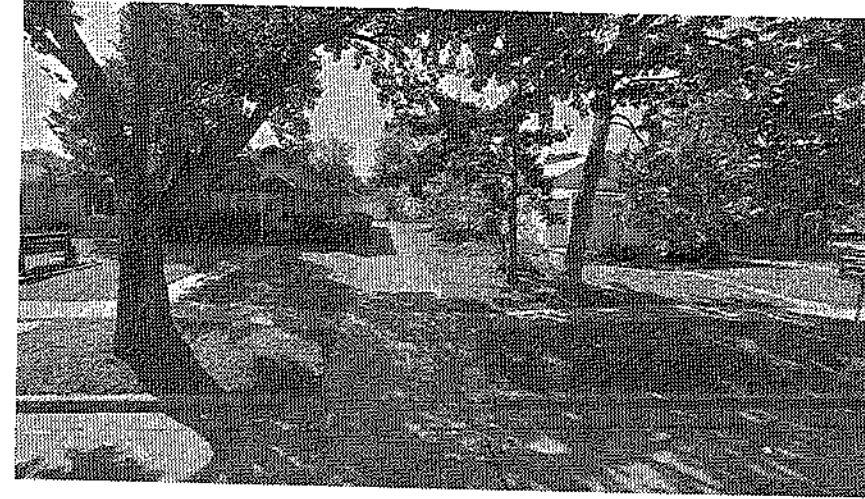


PRELIMINARY
NOT FOR CONSTRUCTION

ALL LOCAL CODES SHALL PREVAIL.
CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS AND EXISTING CONDITIONS
BEFORE CONSTRUCTION BEGINS.
DRAWN BY: JH CHECKED BY: JH



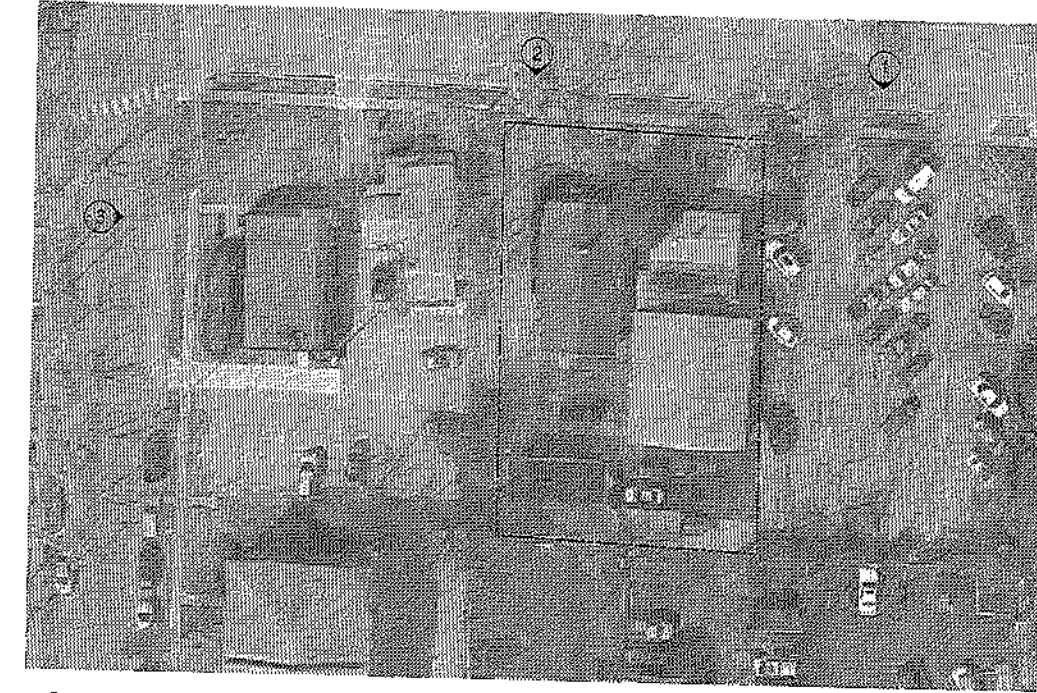
1
G-001 N.T.S. ADJACENT PROPERTY (EAST)



2
G-001 N.T.S. PROPOSED SITE



3
G-001 N.T.S. ADJACENT PROPERTY (WEST)



AERIAL SITE PLAN
N.T.S.

PRELIMINARY
NOT FOR CONSTRUCTION



DATE REVISIONS

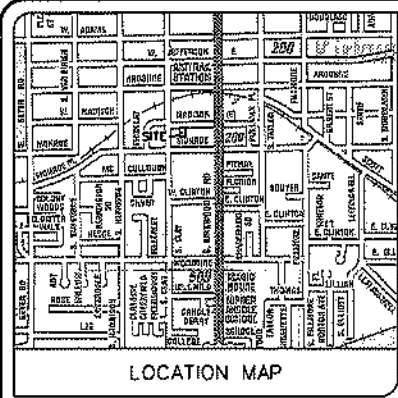
 DATE 04 SEPT 2020
 PROJECT NO. 20023
 SHEET NO. G-001
 ALL LOCAL CODES SHALL BE OBTAINED BY THE CONTRACTOR TO BE IN COMPLIANCE WITH ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS.
 DRAWN BY: JS CHECKED BY: JPH

DRAWING TITLE
EXISTING CONDITIONS

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
KIRKWOOD, MO 63112

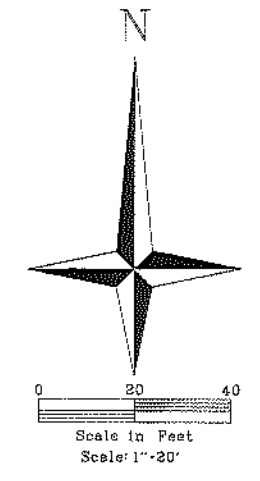
STATE OF MISSOURI
 Amanda Parryke Norris
 ARCHITECT
 9/4/2020
 AMANDA PARRYKE NORRIS - ARCHITECT
 MOA A-0226504786
 STATE OF MISSOURI
 ARCHITECTURAL CORPORATION
 ORIGINAL CERTIFICATE LICENSE NO. 00663

SAVOY PROPERTIES
1750 S BRENTWOOD BLVD, SUITE 600
BRENTWOOD, MO 63144



SITE BENCHMARK
 ST. LOUIS COUNTY BENCHMARK 19-348 - NAVD88(SLC2011A) ELEV = 658.48 FT US "L" ON THE SOUTHEAST CORNER OF 3.5'x4.5' CONCRETE BASE OF FLAGPOLE NORTH OF THE WEST ENTRANCE TO COMMERCE BANK ADDRESSED AS #300 NORTH KIRKWOOD ROAD; ROUGHLY 27 FEET EAST OF THE CENTERLINE OF KIRKWOOD ROAD, 45 FEET EAST OF THE EAST CURB OF KIRKWOOD ROAD, AND 160 FEET MORE OR LESS NORTH OF THE CENTERLINE OF EAST ADAMS AVENUE.
 SITE BENCHMARK - ELEVATION = 651.13
 TOP OF IRON PIPE FOUND NEAR THE NORTHEAST CORNER OF 134 W. MADISON AVENUE.

ALTA/NSPS LAND TITLE SURVEY A TRACT OF LAND BEING PART OF BLOCK 32 OF KIRKWOOD CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI



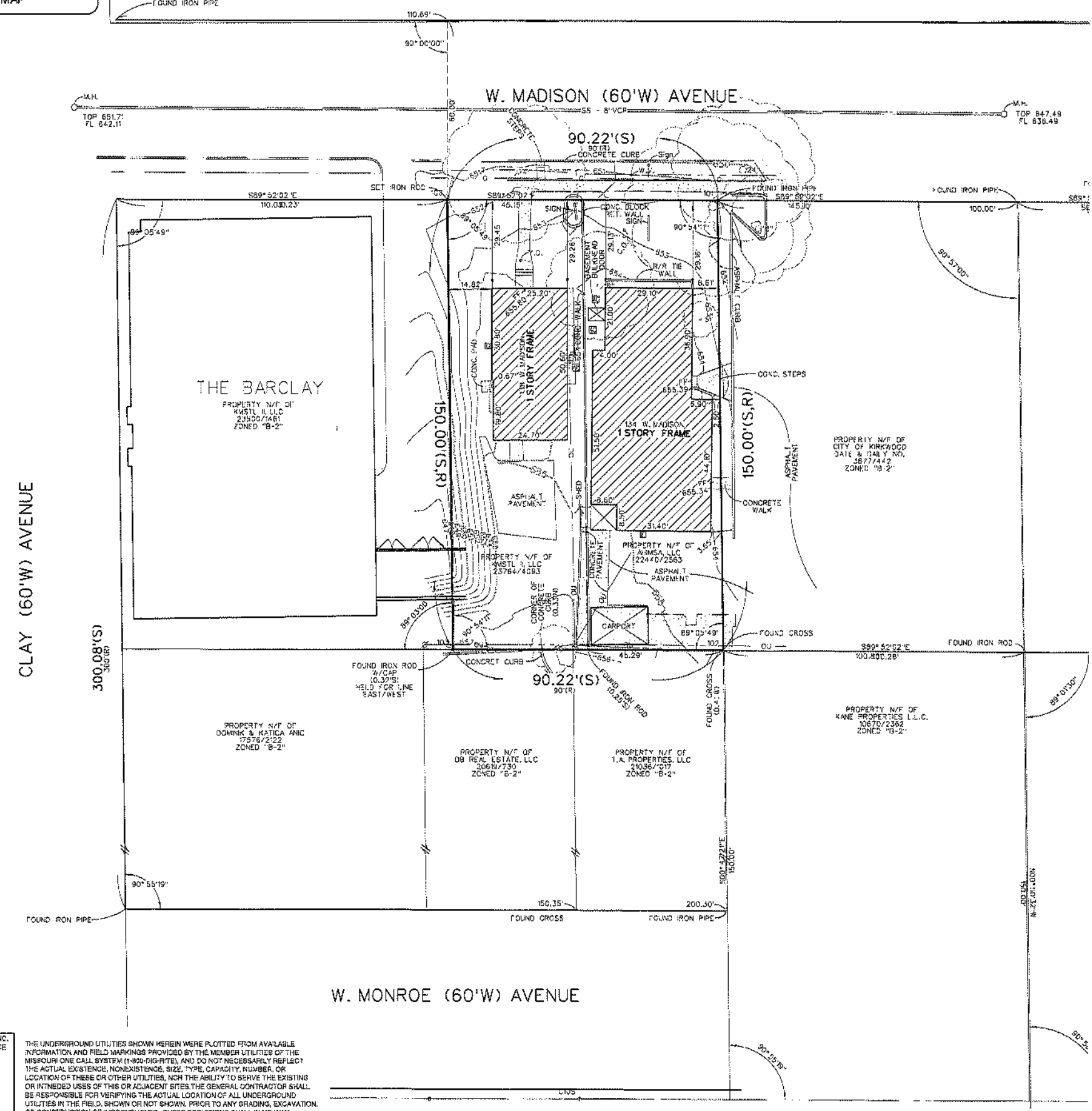
PROJECT NOTES:	
AREA OF SITE:	0.31 ACRES
LOCATOR NO.:	24M440574
SITE ADDRESS:	138 W. MADISON AVE. SAINT LOUIS, MO 63122
OWNER OF RECORD:	KMSTL U LLC 1034 S. BRENTWOOD BLVD. LN. SUITE 1200 SAINT LOUIS, MO 63117
PREPARED FOR:	SAVOY PROPERTIES DREW LESINSKI
PREPARED BY:	VOLZ Incorporated
EXISTING ZONING:	"B-2" GENERAL BUSINESS DISTRICT
FEMA MAP #:	29188C0308K, EFFECTIVE DATE FEBRUARY 4, 2015 SUBJECT PROPERTY NOT WITHIN FLOOD ZONES.
UNITS:	12
PARKING REQUIREMENTS:	1.5 SPACES PER X 12 UNIT
PROPOSED PARKING:	24 SPACES
DISTRICTS:	SEWER: MSD ELECTRIC: CITY OF KIRKWOOD GAS: SPIRE GAS PHONE: AT&T WATER: KIRKWOOD WATER SCHOOL: KIRKWOOD R-7 FIRE DISTRICT: KIRKWOOD FIRE PROTECTION A TRACT OF LAND BEING PART OF BLOCK 32 OF KIRKWOOD CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI
LEGAL DESCRIPTION:	

MR DREW LESINSKI
 SAVOY PROPERTIES
 1034 S BRENTWOOD
 BLVD, SUITE 1200
 ST. LOUIS, MO 63117

ENGINEERS
 LAND PLANNING
 LAND SURVEYING
 TRANSPORTATION
 CONST. MANAGEMENT

VOLZ
 Incorporated

10616 Indian Head Trct. Blvd.
 St. Louis, MO 63125
 314.890.1250 Fax
 314.890.1250 Main
 Authority #0001



- LEGEND**
- AIR CONDITIONER UNIT
 - AREA INLET
 - BOLLARD
 - CABLE PEDESTAL
 - CLEAN OUT
 - CURB INLET
 - DOUBLE CURB INLET
 - ELECTRIC METER
 - ELECTRIC PEDESTAL
 - FINISHED FLOOR
 - FIRE HYDRANT
 - GRATE INLET
 - GAS METER
 - GAS VALVE
 - GUY WIRE
 - HANDICAP PARKING SPACE
 - LIGHT STANDARD
 - MANHOLE
 - OUTFALL STRUCTURE
 - PARKING METER
 - P.M.
 - P.V.C.
 - R.O.P.
 - T.H.
 - T.S.
 - T.S.C.B.
 - U.M.H.
 - U.P.
 - V.C.P.
 - VITRIFIED CLAY PIPE
 - WATER METER
 - W.V.
 - YARD LIGHT
 - NO. OF PARKING SPACES
 - GAS LINE
 - OVERHEAD UTILITIES
 - SANITARY SEWER
 - STW
 - T
 - U-E
 - W
 - X
 - FENCE
 - RECORD DIMENSION
 - SURVEY DIMENSION

GENERAL NOTES:

THIS SITE IS IN THE FOLLOWING DISTRICTS:
 SEWER: METROPOLITAN ST. LOUIS SEWER DISTRICT
 ELECTRIC: CITY OF KIRKWOOD
 GAS: SPIRE GAS
 PHONE: AT&T
 WATER: MISSOURI AMERICAN WATER COMPANY
 SCHOOL DISTRICT: KIRKWOOD R-7
 FIRE DISTRICT: KIRKWOOD FIRE PROTECTION DISTRICT

- SANITARY SEWER CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
- STORMWATER MANAGEMENT SHALL BE DESIGNED PURSUANT TO THE CITY OF KIRKWOOD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL CONDITIONS AND SHALL BE INDICATED ON THE LOCATION SHALL BE DETERMINED BY FIELD IMPROVEMENT PLANS.
- GRADING SHALL BE PER CITY OF KIRKWOOD STANDARDS
- THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN AND SHALL BE LOCATED IN EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS IN THE FIELD PRIOR TO ANY GRADING. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.
- SINGLE FAMILY HOMES, DRIVEWAYS, TREES, SIGNS, WALKWAYS AND SIDEWALK TO BE REMOVED.
- ALL SIDEWALKS TO BE CONSTRUCTED TO CITY OF KIRKWOOD ADA STANDARDS
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF KIRKWOOD STANDARDS
- NO SLOPE SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF KIRKWOOD.
- A LAND DISTURBANCE PERMIT MAY BE REQUIRED. SITE PLAN APPROVAL IS NOT APPROVAL OF A LAND DISTURBANCE PERMIT.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1:20 SLOPES GREATER THAN 1:20 MUST BE DESIGNED AS A RAMP.
- TRAFFIC CONTROL SIGNAGE TO BE IN ACCORDANCE TO THE CITY OF KIRKWOOD.

PROPERTY DESCRIPTION FROM DEED BOOK 23764 PAGE 4093.

A PARCEL OF GROUND IN THE NORTH 1/2 OF BLOCK 32 OF TOWN (NOW CITY) OF KIRKWOOD, IN ST. LOUIS COUNTY, MISSOURI, AND MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT IN THE SOUTH LINE OF MADISON AVENUE, DISTANT 110 FEET EAST OF THE EAST LINE OF CLAY AVENUE, THENCE EAST ALONG THE SOUTH LINE OF MADISON AVENUE 45 FEET TO A POINT, THENCE SOUTH PARALLEL WITH THE EAST LINE OF CLAY AVENUE 150 FEET TO A POINT BEING THE CENTER OF DIVIDING LINE OF SAID BLOCK, THENCE WEST PARALLEL WITH THE SOUTH LINE OF MADISON AVENUE 45 FEET TO A POINT, THENCE NORTH PARALLEL WITH THE EAST LINE OF CLAY AVENUE 150 FEET TO THE PLACE OF BEGINNING.

PROPERTY DESCRIPTION FROM DEED BOOK 22440 PAGE 2563.

A PARCEL OF GROUND IN BLOCK 32 IN TOWN (NOW CITY) OF KIRKWOOD IN ST. LOUIS COUNTY, MISSOURI, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO-WIT: BEGINNING AT A POINT IN THE SOUTH LINE OF MADISON AVENUE, 155 FEET EAST OF THE EAST LINE OF CLAY AVENUE; THENCE EAST ALONG THE SOUTH LINE OF MADISON AVENUE, 45 FEET TO A POINT; THENCE SOUTH PARALLEL WITH THE EAST LINE OF CLAY AVENUE, 150 FEET TO A POINT, BEING THE CENTER OR DIVIDING LINE OF SAID BLOCK; THENCE WEST PARALLEL WITH THE SOUTH LINE OF MADISON AVENUE, 45 FEET TO A POINT; THENCE NORTH PARALLEL WITH THE EAST LINE OF CLAY AVENUE, 150 FEET TO THE POINT OF BEGINNING.

CALL MISSOURI ONE CALL SYSTEMS INC.
 TWO FULL WORKING DAYS IN ADVANCE
 OF STARTING WORK

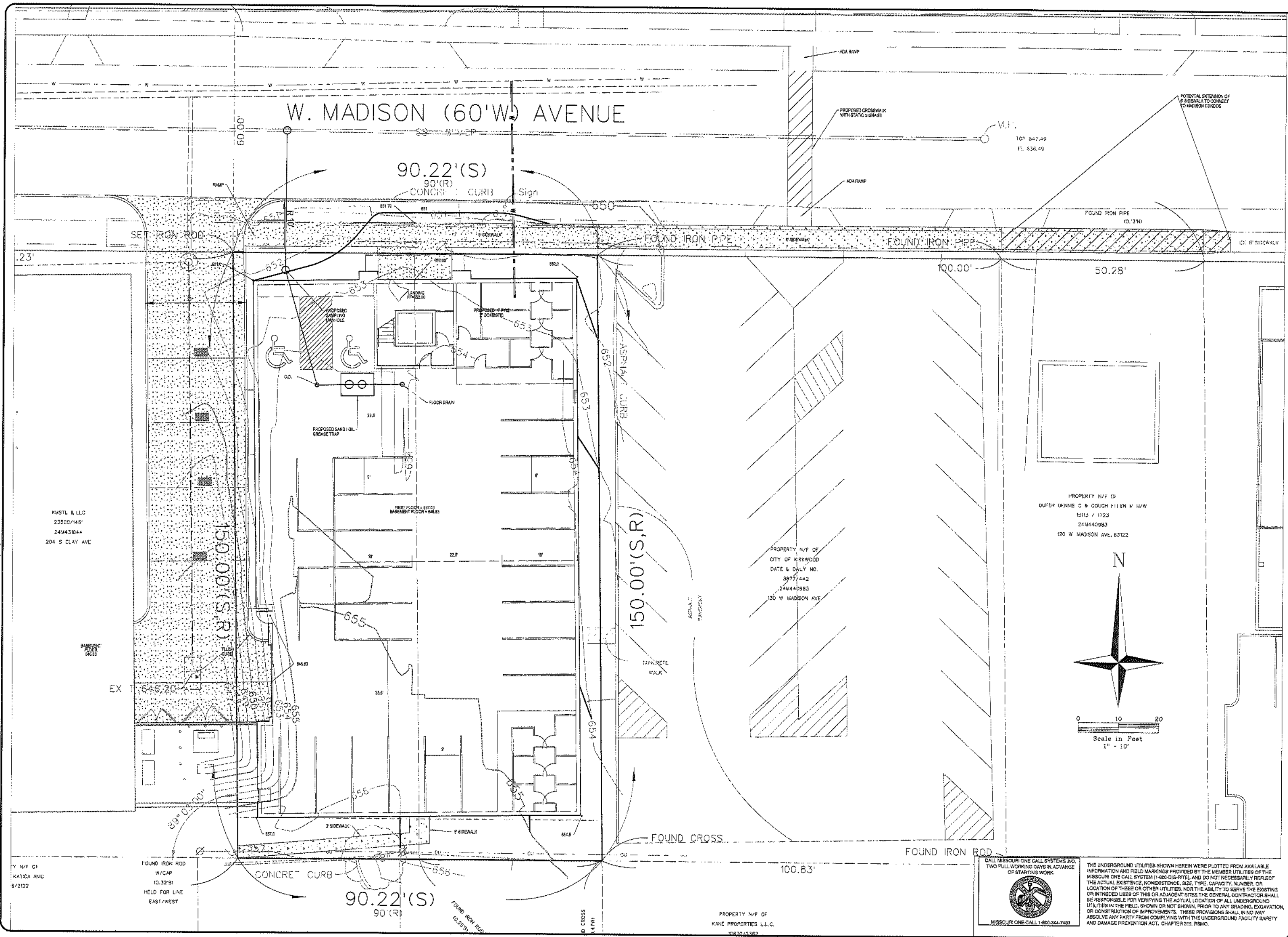
MISSOURI ONE CALL 1.800.344.7483

THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND FIELD MARKINGS PROVIDED BY THE MEMBER UTILITIES OF THE MISSOURI ONE CALL SYSTEM (1-800-DIG-FIT), AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, CAPACITY, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. NOR THE ABILITY TO SERVE THE EXISTING OR INTENDED USES OF THIS OR ADJACENT SITES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD, SHOWN OR NOT SHOWN, PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

WEST MADISON CONDOMINIUM
 134 W MADISON / 138 W MADISON

SITE PLAN EXISTING CONDITIONS

134 W MADISON AVE
 138 W MADISON AVE
 Project # 22214
 07/27/2020
 7



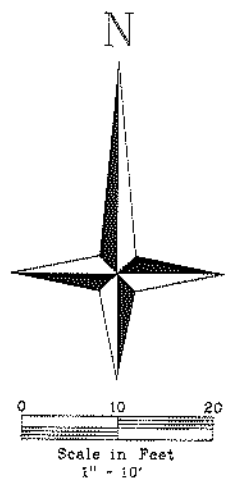
KMSTL II, LLC
 23500/146'
 244431044
 204 S CLAY AVE

PROPERTY N/F OF
 KATICA ANIC
 6/21/22

FOUND IRON ROD
 W/CAP
 (0.32'S)
 HELD FOR LINE
 EAST/WEST

PROPERTY N/F OF
 CITY OF KIRKWOOD
 DATE & DAILY NO.
 3877/442
 244440983
 130 W MADISON AVE

PROPERTY N/F OF
 DUFER UKINS & GOUGH FLEM W/H/W
 15115 / 1723
 244440983
 120 W MADISON AVE, 63122



CALL MISSOURI ONE CALL SYSTEMS INC.
 TWO FULL WORKING DAYS IN ADVANCE
 OF STARTING WORK.

MISSOURI ONE-CALL 1-800-344-7488

THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND FIELD MARKINGS PROVIDED BY THE MEMBER UTILITIES OF THE MISSOURI ONE CALL SYSTEM (1-800-DIG-RITE), AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, CAPACITY, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES, NOR THE ABILITY TO SERVE THE EXISTING OR INTENDED LINES OF THIS OR ADJACENT SITES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD, SHOWN OR NOT SHOWN, PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

MR. DREW LESINSKI
 SAVOY PROPERTIES
 1034 S BRENTWOOD
 BLVD, SUITE 1200
 ST. LOUIS, MO 63117

VOLZ
 INCORPORATED
 ENGINEERS
 LAND PLANNING
 LAND SURVEYING
 TRANSPORTATION
 CONSULTING
 1000 N. GARDNER AVE.
 ST. LOUIS, MISSOURI 63102
 314-426-8212 Main
 www.volzinc.com
 Authority #2003

TIMOTHY J. MEYER
 Professional Engineer
 MO 152-4665
 10/09

WEST MADISON CONDOMINIUM
 134 W MADISON / 138 W MADISON

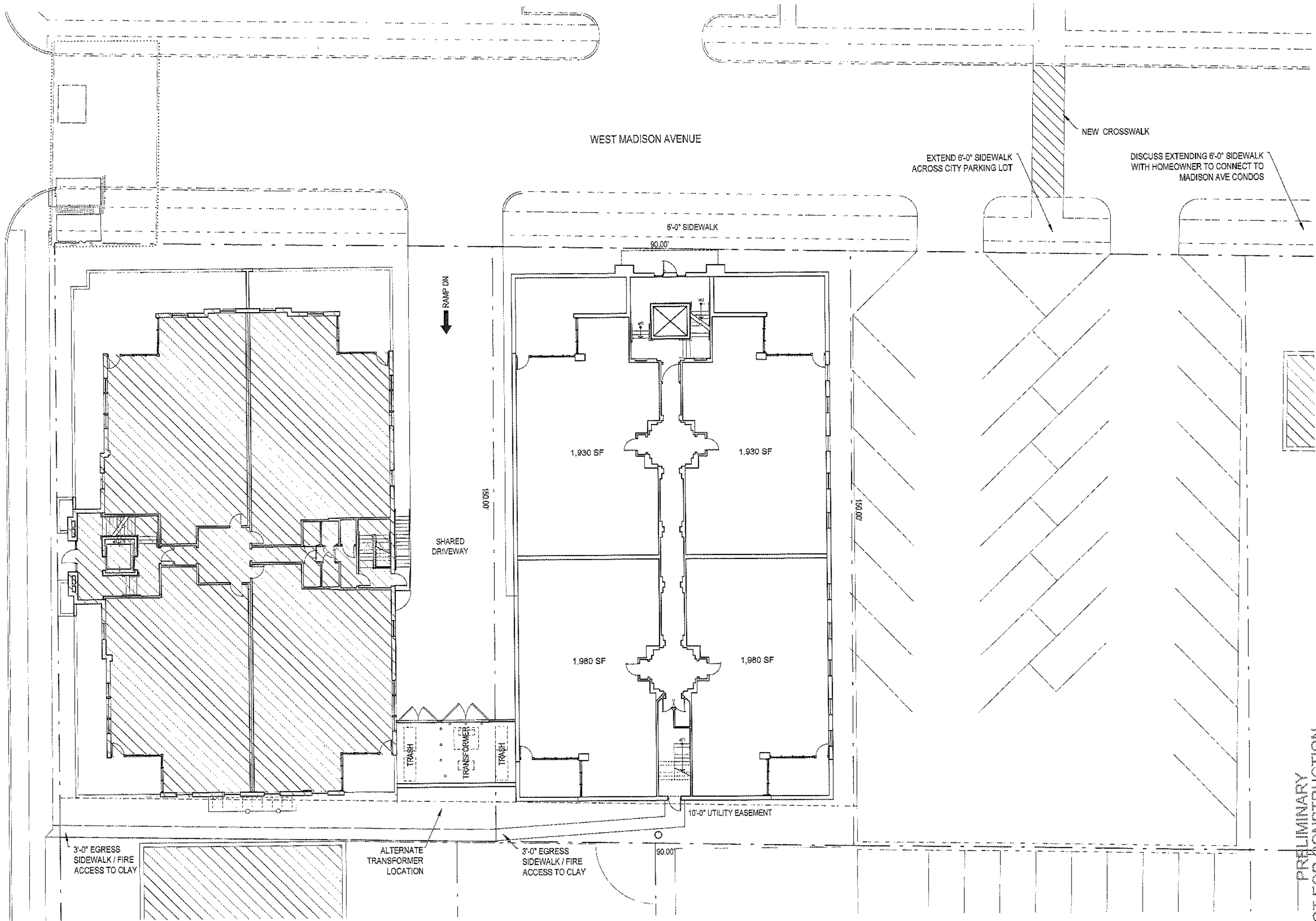
SITE PLAN

134 W MADISON AVE
 138 W MADISON AVE

Project # 22014

07/21/2020

2



SAVOY PROPERTIES
 1750 S BRENTWOOD BLVD, SUITE 600
 BRENTWOOD, MO 63144



9/4/2020
 AMANDA PARTYKA NORRIS - ARCHITECT
 MO-A-220808188
 STATE OF MISSOURI
 ARCHITECTURAL CORPORATION
 ORIGINAL CERTIFICATE NO. 630638

SAVOY PROPERTIES
 PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
 134 - 138 W. MADISON AVE
 KIRKWOOD, MO 63112



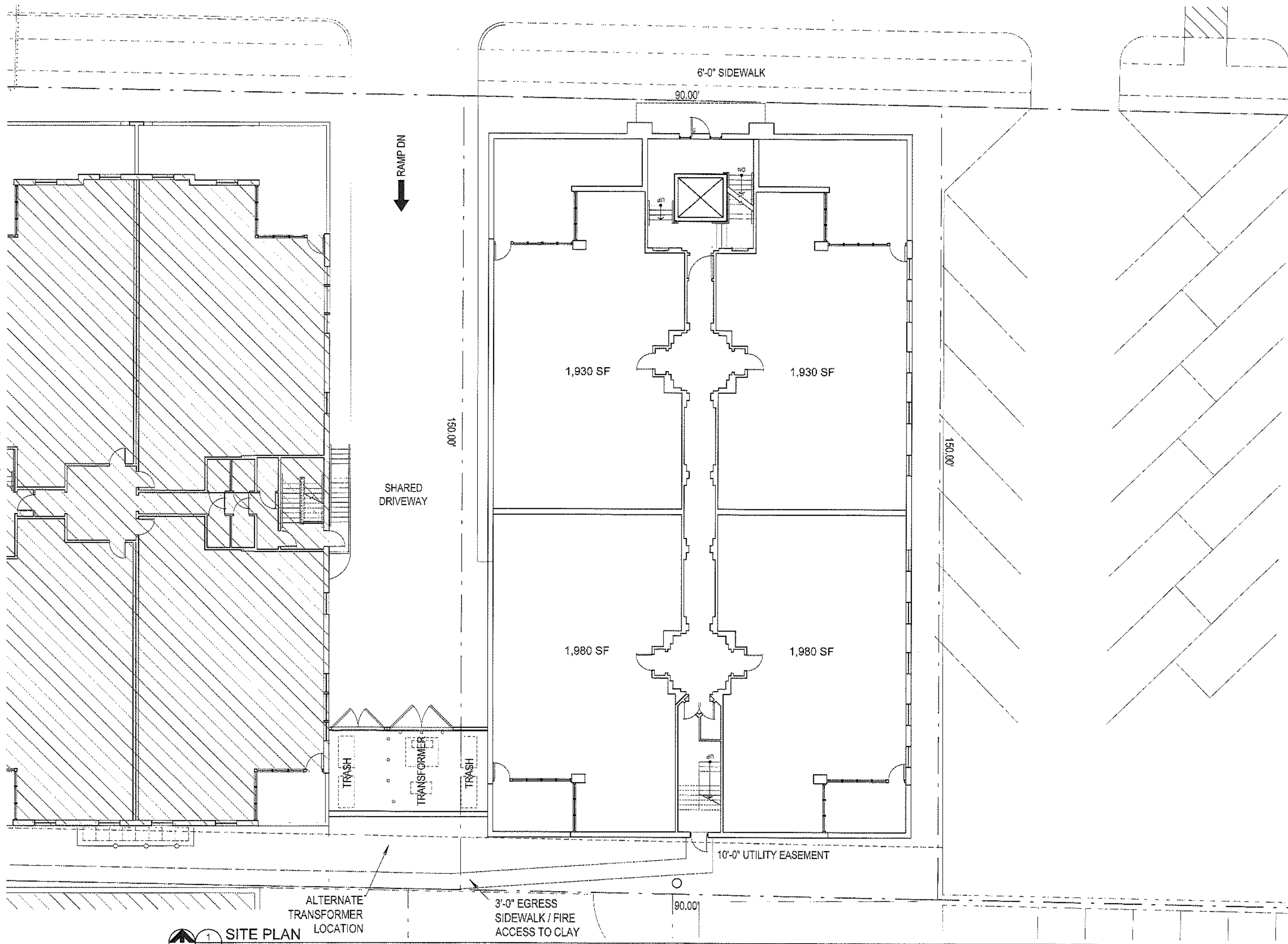
PRELIMINARY NOT FOR CONSTRUCTION

DATE REVISIONS

 DATE: 04 SEPT 2020
 PROJECT NO. 20023
 SHEET NO. **A-001**

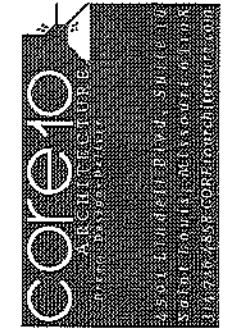
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS.
 DRAWN BY: JB CHECKED BY: JPN

1 SITE CONTEXT PLAN
 A-001 3/32"=1'-0"



1 SITE PLAN
A-002 1/8"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



DATE: REVISIONS

DATE: 04 SEPT 2020

PROJECT NO. 20023

SHEET NO. A-002

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. DRAWN BY: JB CHECKED BY: JRN

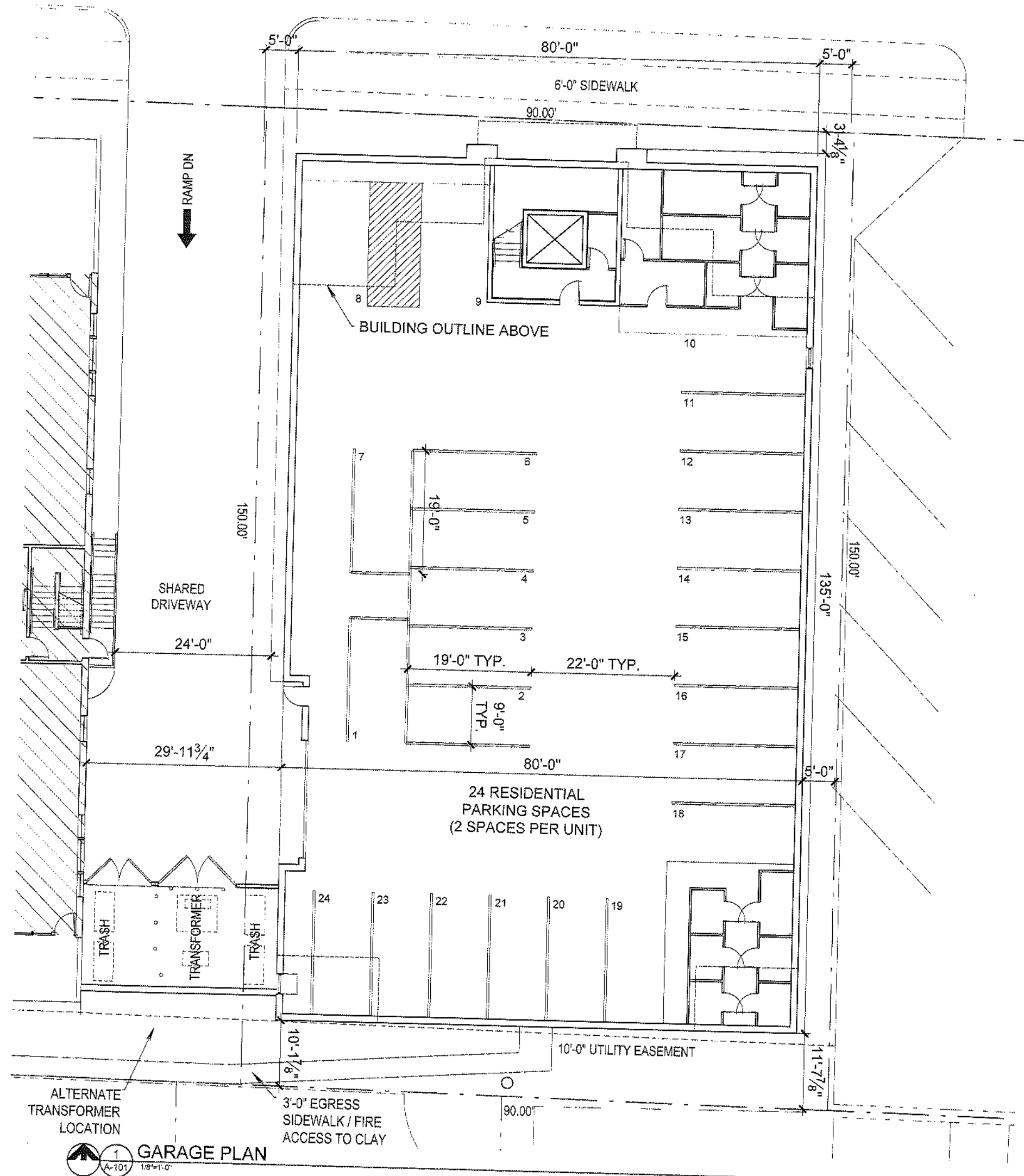
DRAWING TITLE
SITE PLAN

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
KIRKWOOD, MO 63112

9/4/2020
AMANDA PARTHYKA NORRIS - ARCHITECT
MOR A-00000818
STATE OF MISSOURI
ARCHITECTURAL CORPORATION
ORIGINAL CERTIFICATE LICENSE NO. 008829

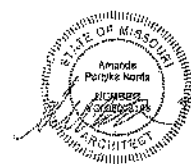


SAVOY PROPERTIES
1756 S BRENTWOOD BLVD, SUITE 800
BRENTWOOD, MO 63144



1 GARAGE PLAN
A-101 1/8"=1'-0"

SAVOY PROPERTIES
1730 S BRENTWOOD BLVD, SUITE 800
BRENTWOOD, MO 63144



9/4/2020
AMANDA PARTYKA NORRIS - ARCHITECT
MOP A 200809128
STATE OF MISSOURI
ARCHITECTURAL CORPORATION
ORIGINAL CERTIFICATE LICENSE NO. 0000

DRAWING TITLE
GARAGE PLAN

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
KIRKWOOD, MO 63112

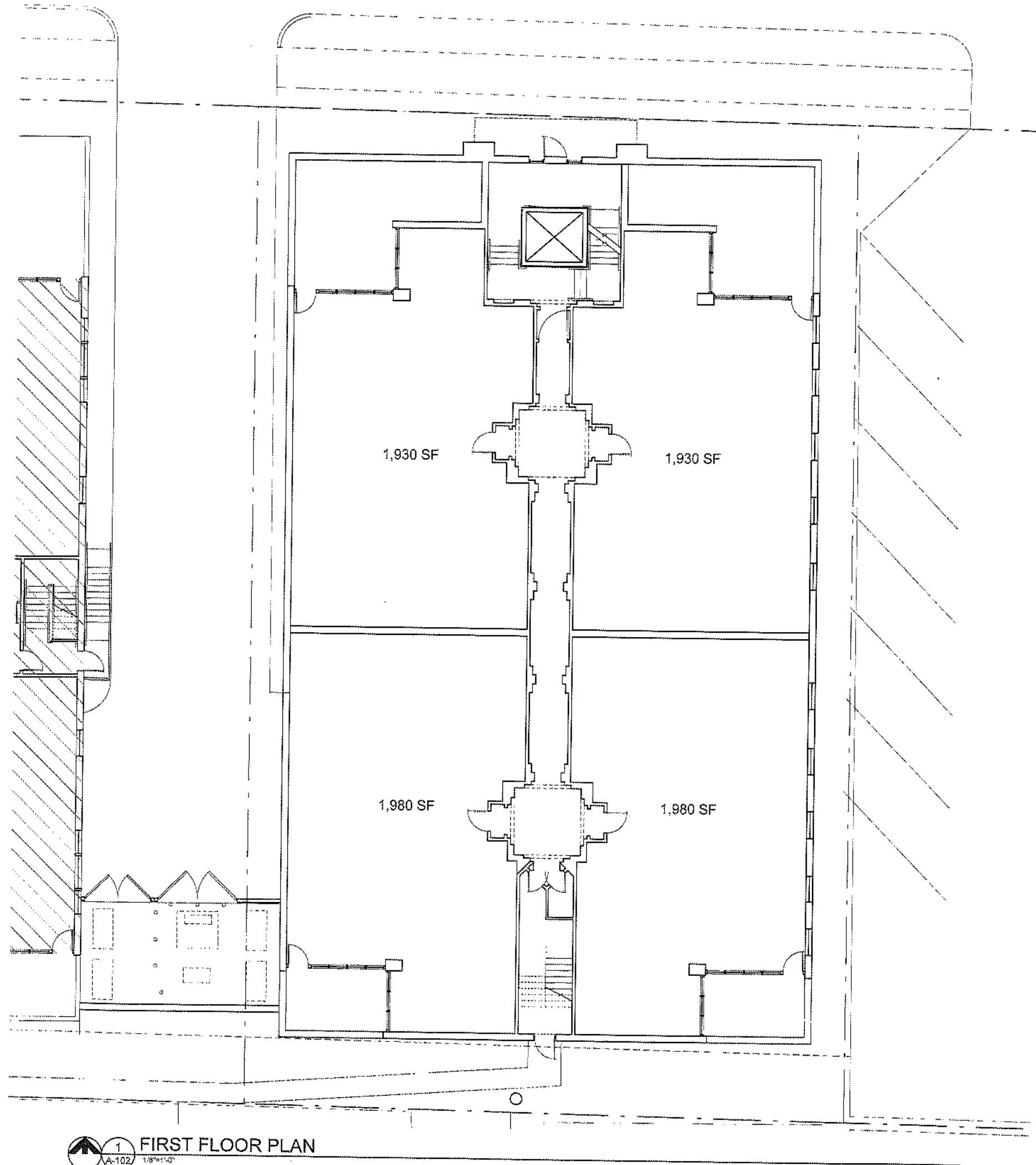


DATE	REVISIONS
04 SEPT 2020 <td></td>	
20023 <td></td>	

SHEET NO.
A-101

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. DRAWN BY: JB CHECKED BY: JAW

PRELIMINARY
NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN
A-102 1/8"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



DATE	REVISIONS
04 SEPT 2020 <td></td>	
20023 <td></td>	

SHEET NO. A-102

ALL LEGAL COPIES SHALL BE SENT TO THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS.
DRAWN BY: B CHECKED BY: J

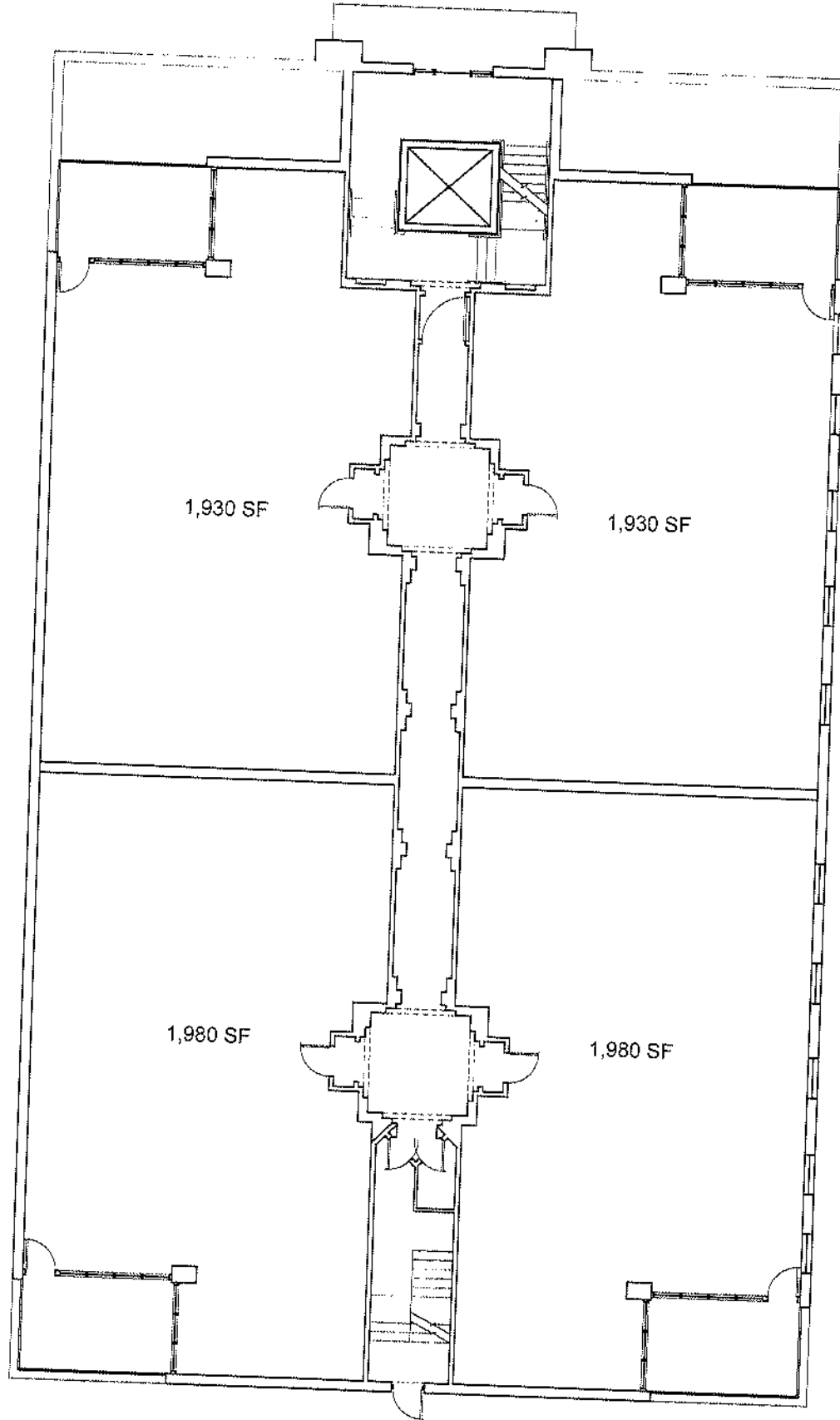
DRAWING TITLE
FIRST FLOOR PLAN

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
KIRKWOOD, MO 63112



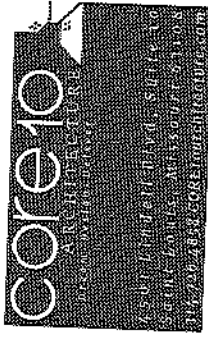
9/4/2020
AMANDA PARTYMA NORRIS - ARCHITECT
STATE OF MISSOURI
ARCHITECTURAL CORPORATION
ORIGINAL CERTIFICATE LICENSE NO. 0000000000

SAVOY PROPERTIES
1750 S BRENTWOOD BLVD, SUITE 800
BRENTWOOD, MO 63144



 1
A-103 1/8"=1'-0" **SECOND FLOOR PLAN**

PRELIMINARY
NOT FOR CONSTRUCTION



DATE	REVISIONS
04 SEPT 2020 <td>20023 </td>	20023

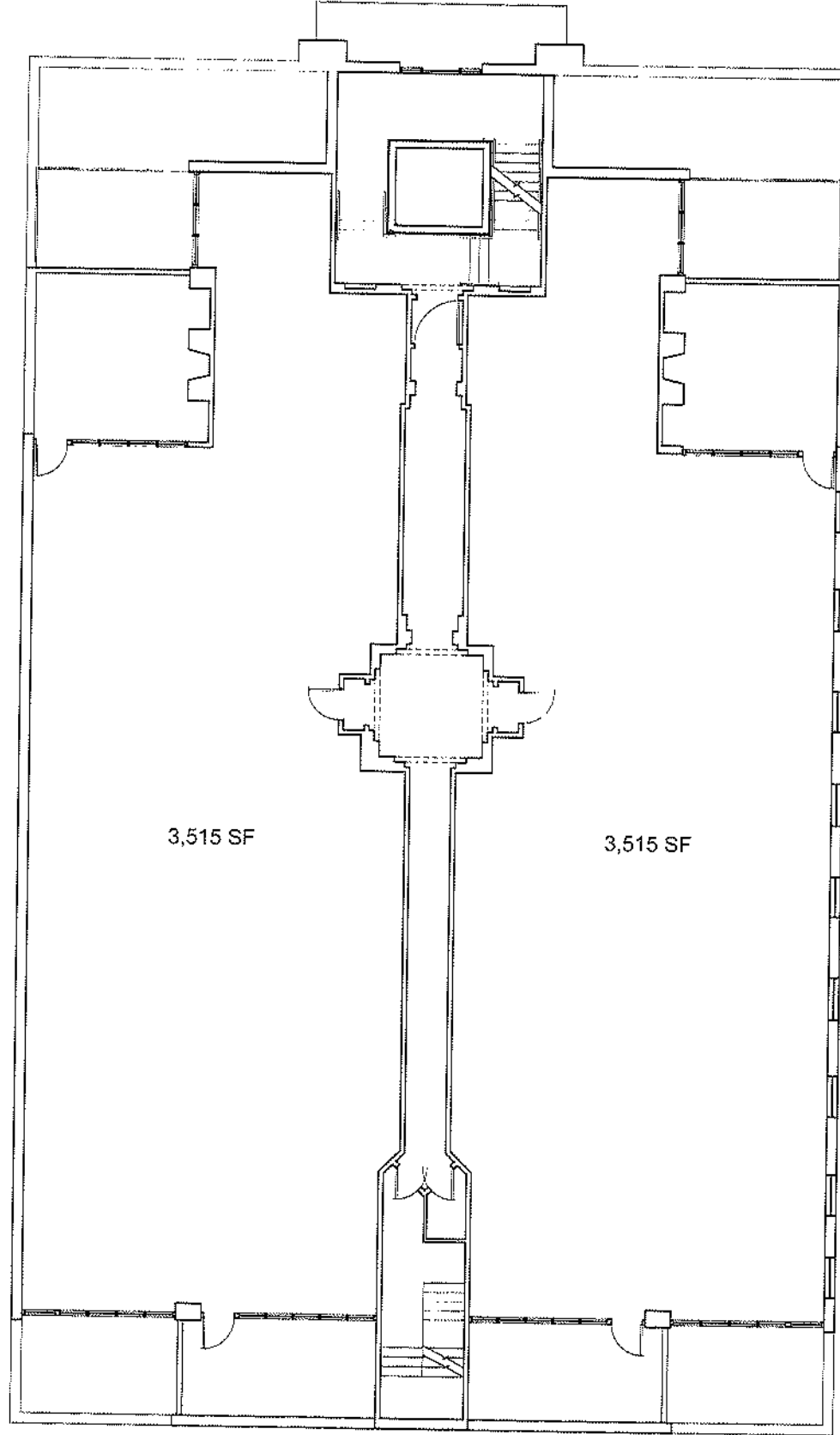
SHEET NO. **A-103**

DRAWING TITLE
SECOND FLOOR PLAN

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
BRENTWOOD, MD 21156

9/4/2020
AMANDA FARTYKA NOKRIS - ARCHITECT
NO. A-20000199
STATE OF MISSOURI
ARCHITECTURAL CORPORATION
ORIGINAL CERTIFICATE LICENSE NO. 00093

SAVOY PROPERTIES
1750 S BRENTWOOD BLVD, SUITE 500
BRENTWOOD, MD 21114




1
A-104
1/8"=1'-0"
THIRD FLOOR PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION



DATE	REVISIONS
04 SEPT 2020 <td></td>	

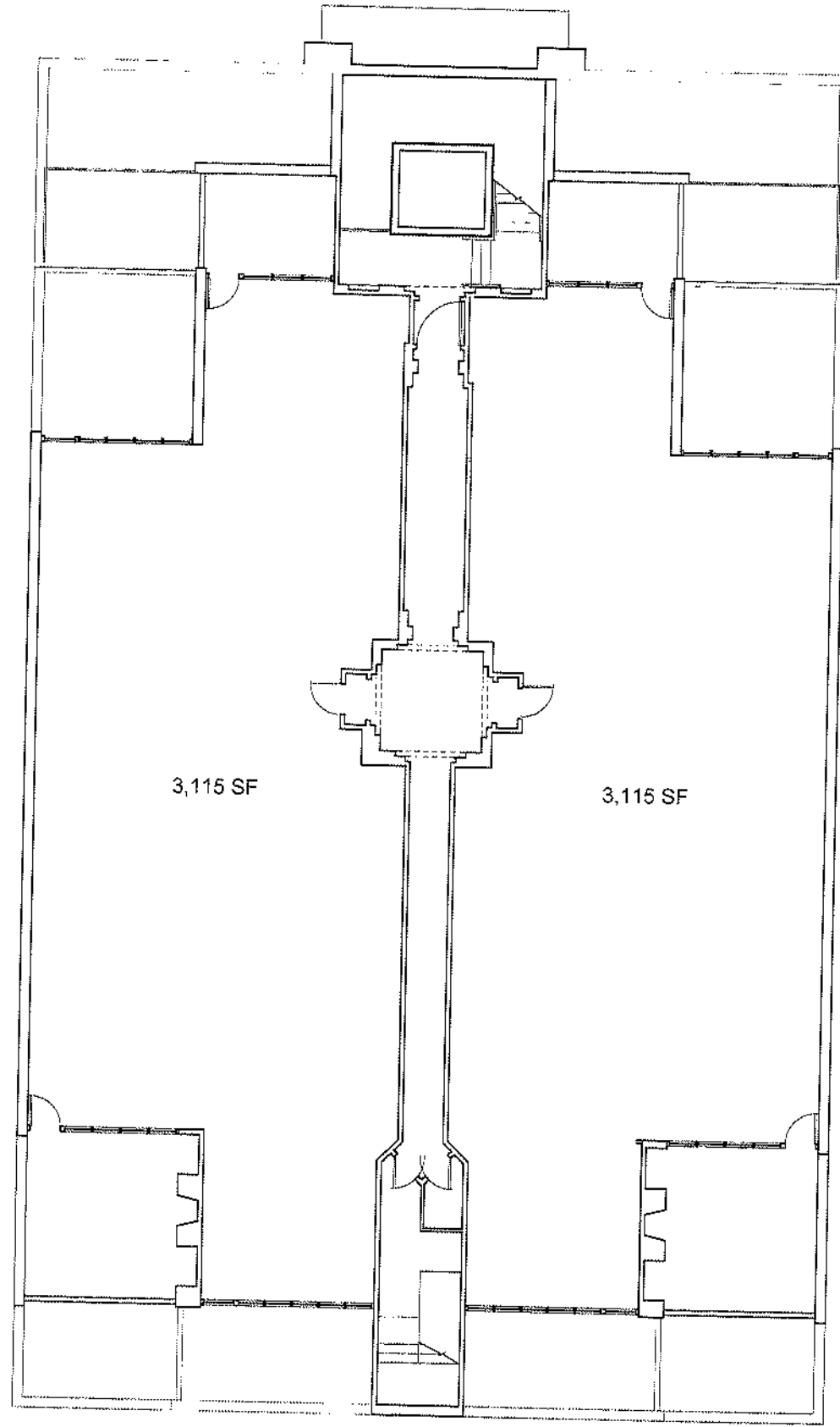
DATE: 04 SEPT 2020
 PROJECT NO: 20023
 SHEET NO: A-104

 CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS.
 DRAWN BY: JN CHECKED BY: JN

DRAWING TITLE
THIRD FLOOR PLAN
 PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
 134 - 138 W. MADISON AVE.
 KIRKWOOD, MO 63112

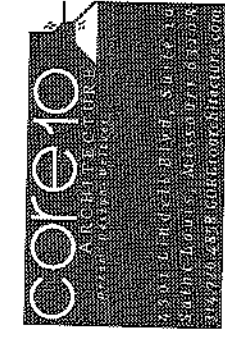
9/4/2020
 AMANDA PARTYKA-NORRIS - ARCHITECT
 NO. A-200005134
 STATE OF MISSOURI
 ARCHITECTURAL CORPORATION
 ORIGINAL CERTIFICATE LICENSE NO. 000000

SAVOY PROPERTIES
 1750 S BRENTWOOD BLVD. SUITE 600
 BRENTWOOD, MO 63144



1
A-105
1/8"=1'-0" **FOURTH FLOOR PLAN**

PRELIMINARY
NOT FOR CONSTRUCTION



DATE	REVISIONS
04 SEPT 2020 <td>20023 </td>	20023

DATE: 04 SEPT 2020
PROJECT NO. 20023
SHEET NO. **A-105**

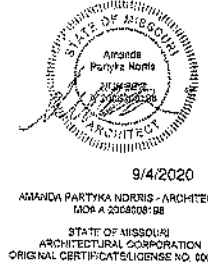
DRAWING TITLE
FOURTH FLOOR PLAN

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
KIRLWOOD, MO 63112



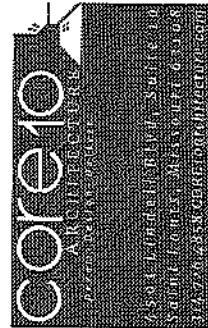
9/4/2020
AMANDA PARRYA NORRIS - ARCHITECT
MO A 20023 18
STATE OF MISSOURI
ARCHITECTURAL CORPORATION
ORIGINAL CERTIFICATE LICENSE NO. 20023

SAVOY PROPERTIES
1750 S BRENTWOOD BLVD, SUITE 600
BRENTWOOD, MO 63144



9/4/2020
 AMANDA PARTZKA NORRIS - ARCHITECT
 2004 N. 20500838
 STATE OF MISSOURI
 ARCHITECTURAL CORPORATION
 ORIGINAL CERTIFICATE LICENSE NO. 000023

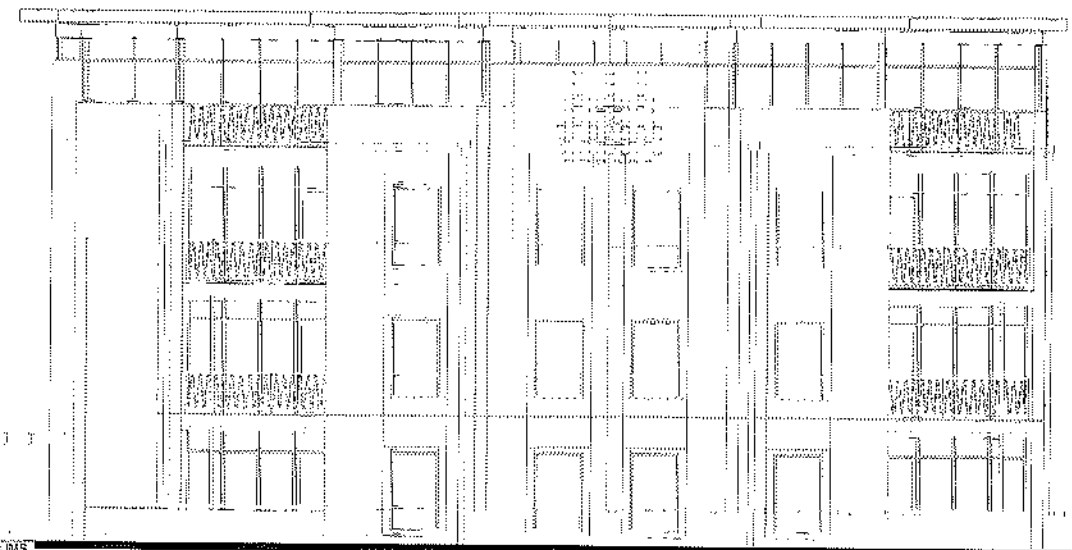
DRAWING TITLE
EXTERIOR ELEVATIONS
 PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
 134 - 138 W. MADISON AVE.
 KIRKWOOD, MO 63112



DATE REVISIONS

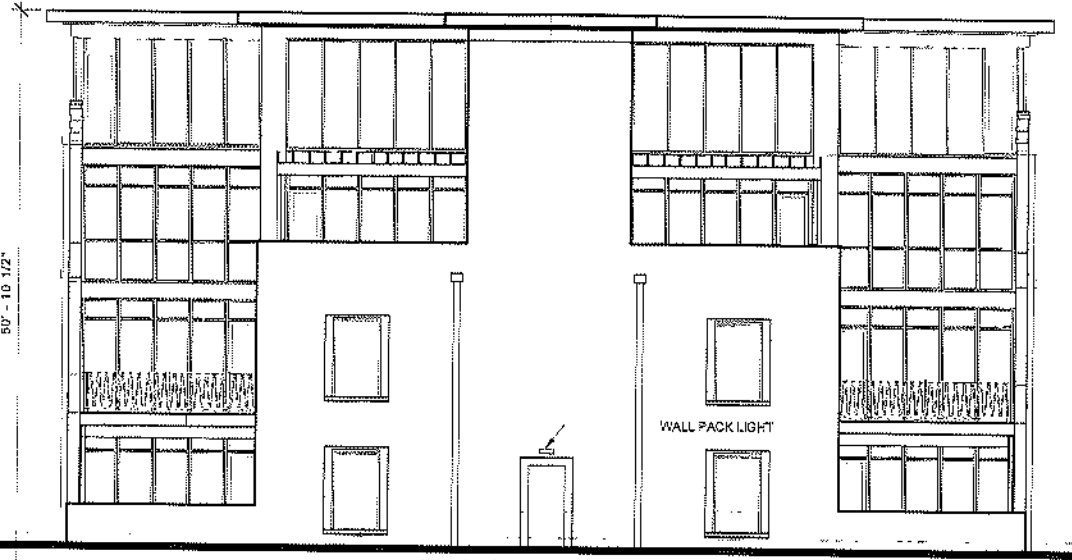
 DATE: 04 SEPT 2020
 PROJECT NO. 20023
 SHEET NO. **A-301**
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS.
 DRAWN BY: JE CHECKED BY: APT

**PRELIMINARY
 NOT FOR CONSTRUCTION**



BARCLAY CONDOMINIUMS
 AVE. GRADE PLANE = 655'-0"

BARCLAY CONDOMINIUMS



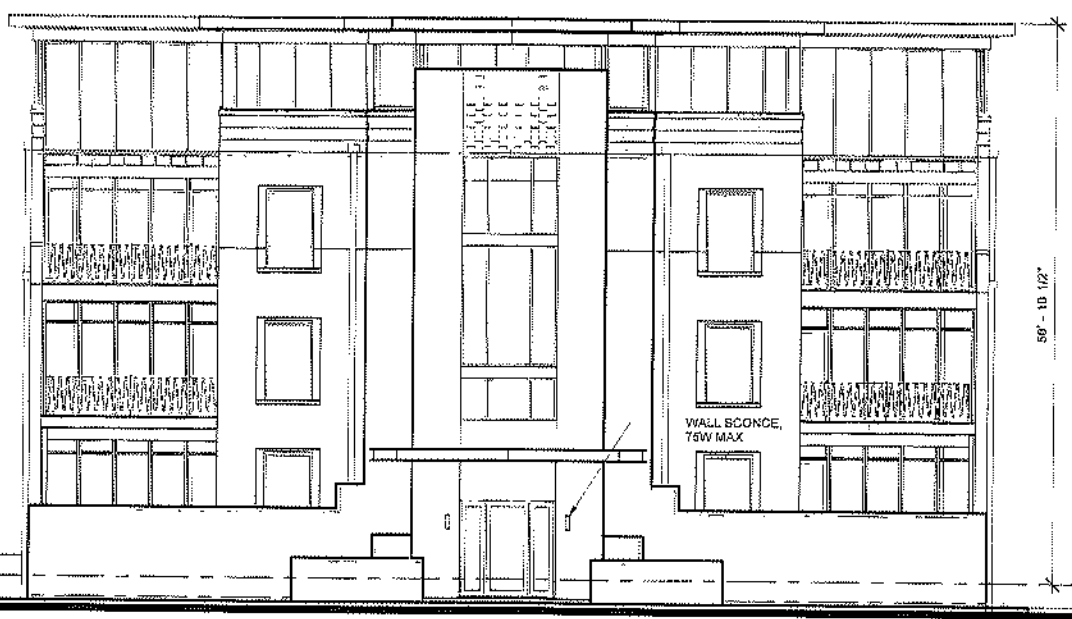
59'-10 1/2"

WALL PACK LIGHT

134 - 138 MADISON AVE CONDOMINIUMS

FIRST FLOOR
 657'-0"
 AVERAGE GRADE PLANE
 653'-7 1/2"

2 SOUTH ELEVATION
 A-301 1/8"=1'-0"



59'-10 1/2"

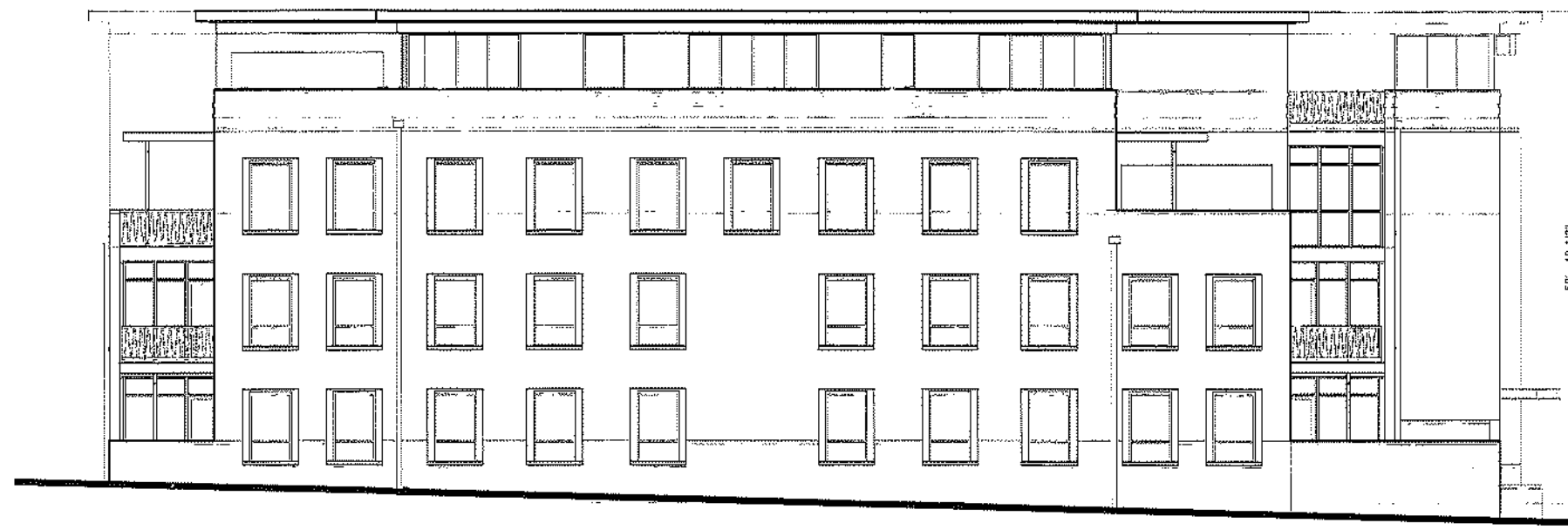
WALL SCONCE,
 75W MAX

134 - 138 MADISON AVE CONDOMINIUMS

FIRST FLOOR
 657'-0"
 AVERAGE GRADE PLANE
 653'-7 1/2"
 ENTRY
 652'-0"

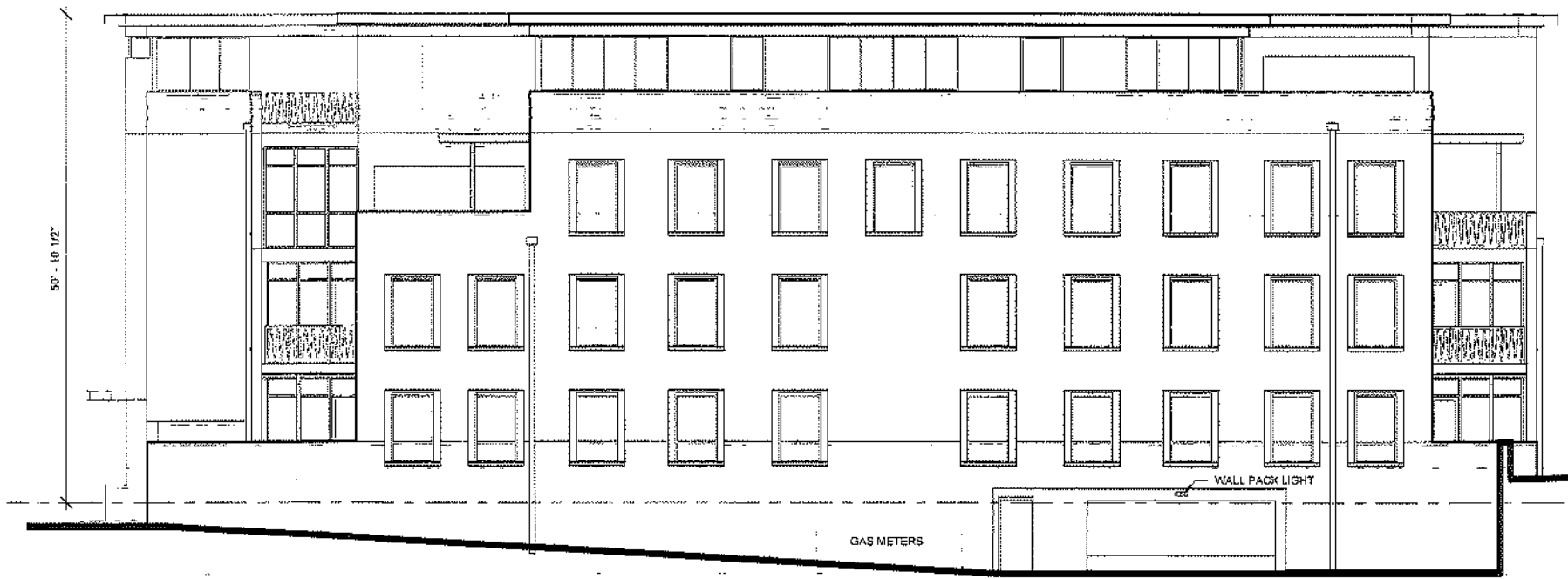
BARCLAY CONDOMINIUMS
 AVE. GRADE PLANE = 655'-0"

1 NORTH ELEVATION
 A-301 1/8"=1'-0"



FIRST FLOOR 657' - 0"
 AVERAGE GRADE PLANE 653' - 7 1/2"

2 EAST ELEVATION
 A-302 1/8"=1'-0"



FIRST FLOOR 657' - 0"
 AVERAGE GRADE PLANE 653' - 7 1/2"
 GARAGE 646' - 9 31/32"

1 WEST ELEVATION
 A-302 1/8"=1'-0"

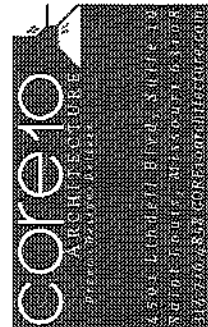
PRELIMINARY
NOT FOR CONSTRUCTION

SAVOY PROPERTIES
 1750 S BRENTWOOD BLVD, SUITE 600
 BRENTWOOD, MO 63114



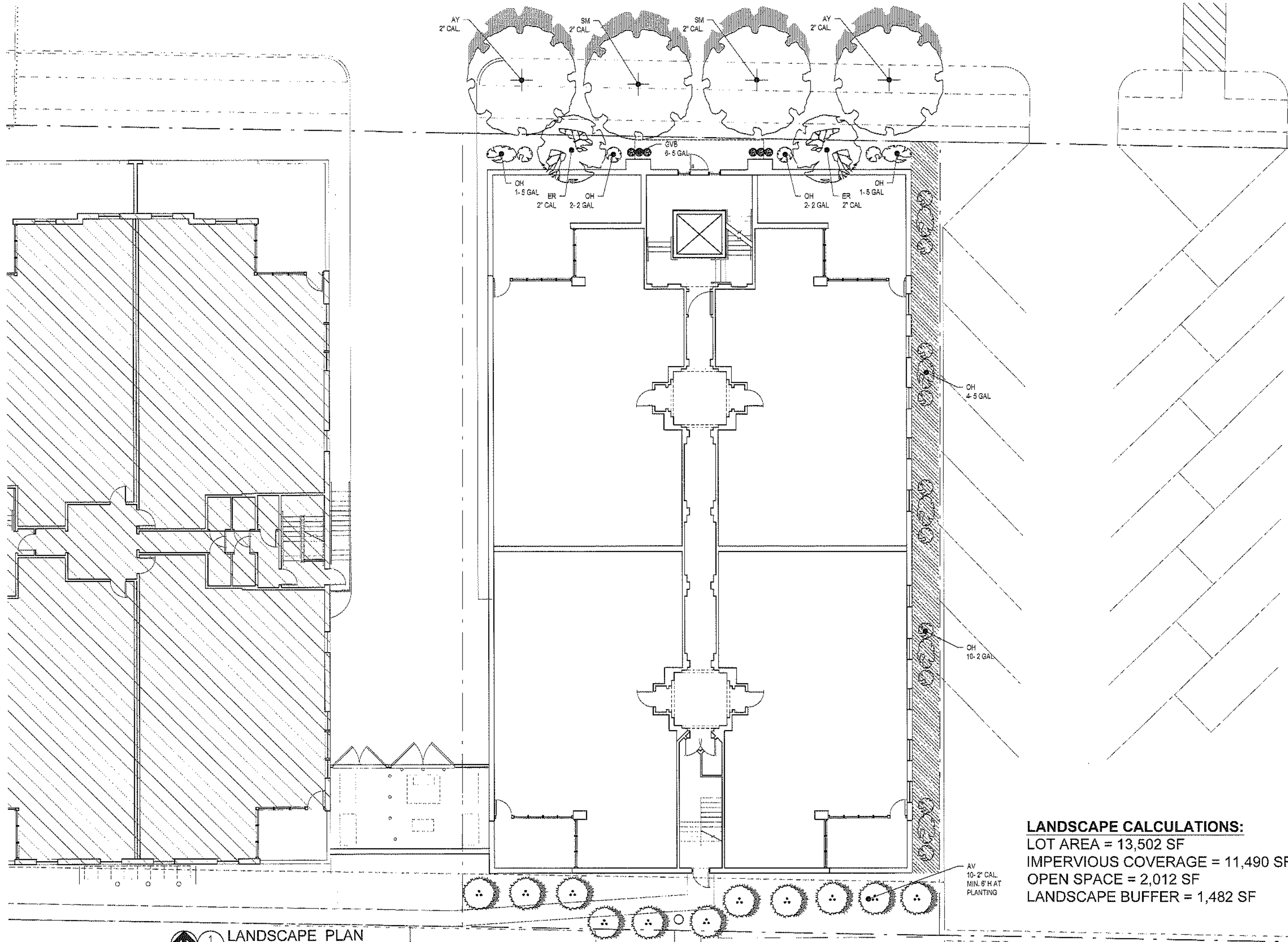
9/4/2020
 AMANDA PARTIYA NORRIS, ARCHITECT
 MISSOURI A-220800194
 STATE OF MISSOURI
 ARCHITECTURAL CORPORATION
 ORIGINAL CERTIFICATE LICENSE NO. 020400

DRAWING TITLE
EXTERIOR ELEVATIONS
 PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
 134 - 138 W. MADISON AVE.
 KIRKWOOD, MO 63112



DATE	REVISIONS
•••••	

SHEET NO. **A-302**
 DATE: 04 SEPT 2020
 PROJECT NO. 20023
 DRAWN BY: [] CHECKED BY: []



LANDSCAPE CALCULATIONS:
 LOT AREA = 13,502 SF
 IMPERVIOUS COVERAGE = 11,490 SF
 OPEN SPACE = 2,012 SF
 LANDSCAPE BUFFER = 1,482 SF

1 LANDSCAPE PLAN
 L-101 1/8"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

SAVOY PROPERTIES
 1750 S BRENTWOOD BLVD, SUITE 600
 BRENTWOOD, MD 63144

9/4/2020
 AMANDA PARTYKA NORRIS - ARCHITECT
 LIC# A-20080208198
 STATE OF MISSOURI
 ARCHITECTURAL CORPORATION
 ORIGINAL CERTIFICATE LICENSE NO. 020636

core10
 ARCHITECTURE
 2534 E. CHURCH BLVD, SUITE 100
 ST. LOUIS, MISSOURI 63103
 TEL: 314.241.3333 FAX: 314.241.3334 WWW.CORE10ARCHITECTURE.COM

DRAWING TITLE
LANDSCAPE PLAN

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
 134 - 138 W. MADISON AVE.
 KIRLWOOD, MO 63112

DATE	REVISIONS
04 SEPT 2020	
20023	

SHEET NO.
L-101

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS AND EXISTING CONDITIONS TO BE FIELD VERIFIED.
 BEFORE CONSTRUCTION BEGINS.
 DRAWN BY: JS CHECKED BY: AMN

LANDSCAPE GUIDELINE SPECS:

- GENERAL:**
1. ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OR THE PERMANENT PLAN OF OPERATION. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING STRUCTURES OR VEGETATION FROM DAMAGE DUE TO EQUIPMENT USAGE. CONTRACTOR SHALL AT ALL TIMES PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO PUBLIC.
 2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SITE RELATED WORK BEING PERFORMED BY OTHER CONTRACTORS. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER COORDINATION OF WORK TO BE DONE.
 3. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS NOT PRESENTLY KNOWN OR SHOWN. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE OF AND EXACT LOCATION OF THE ABOVE (CALL 1-800-DIG-IT).
 4. PLANT MATERIAL ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADES AS USUALLY GROWN IN NURSERY CONDITIONS. ALL PLANTINGS SHALL BE CULTIVATED TO 6" DEPTH (MINIMUM) AND CHASED SMOOTH (MINIMUM) SURFACE. PLANTING OF PLANTS PLAN: 6" DEPTH (MINIMUM) TO WITHIN 1" OF TRUNK OR BRANCH PLANTED WITHIN THE AREA.
 5. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO:
 - 5.1. VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
 - 5.2. REPORT ALL DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A DESIGNATION.
 - 5.3. OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - 5.4. IT IS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER THE MATERIAL LIST. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO INSTALLATION OF THIS PLAN AND SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIALS WILL BE ACCEPTED WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT.
 - 5.5. PROVIDE SINGLES ITEM LABELS UNLESS OTHERWISE NOTED ON PLANT SCHEDULE.
 - 5.6. ALL PLANT MATERIAL SHALL COMPLY WITH THE REQUIREMENTS AND REQUIREMENTS OF AND THE AMERICAN STANDARDS FOR NURSERY STOCK.
 - 5.7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE. PLANTS NOT CONFORMING EXACTLY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
 - 5.8. ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT.
 - 5.9. ALL PLANT MATERIAL TO BE TRANSPORTED SHALL BE TRANSPORTED ACCORDING TO GUIDELINES SET BY AAS STANDARDS. TRANSPORTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR.

INSURANCE:

1. THE LANDSCAPE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION AND GENERAL LIABILITY.

MULCH:

1. ALL MULCH TO BE SHREDDED HARDWOOD BARK MULCH AT 3" DEPTH (AFTER COMPACTION) UNLESS OTHERWISE NOTED. MULCH SHALL BE CLEAN AND 100% OF ALL FOREIGN MATERIALS, INCLUDING WEEDS, ROCK, DEBRIS, FOREIGN MATERIALS, ETC.
2. NO PLASTIC SHEETING OR FILTER FABRIC SHALL BE PLACED BENEATH SHREDDED BARK MULCH BEDS. FILTER FABRIC SHALL BE USED BENEATH ALL GRAVEL, MULCH BEDS.
3. EDGE ALL BEDS WITH SPREAD-OUT EDGE UNLESS OTHERWISE NOTED.

MAINTENANCE:

1. LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL PLANTS, SHRUBS, GROUND COVER, PERENNIALS AND ANNUALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
2. CONTRACTOR SHALL ASSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL SHALL PROVIDE SUCH SERVICES AND THAT SUCH SERVICES BE PROVIDED IN A TIMELY MANNER.

TOPSOIL:

1. TOPSOIL MIX FOR ALL PROPOSED LANDSCAPE PLANTINGS SHALL BE FIVE (5) PARTS WELL-DRAINED SIEVED ORGANIC TOPSOIL, ONE (1) PART COMPOST AS PER PLANTING DETAILS SECTION, TO A DEPTH OF 8" (MINIMUM) AND GRADE SMOOTH.
2. PROVIDE A SOIL ANALYSIS, AS REQUESTED, MADE BY AN INDEPENDENT SOIL TESTING AGENCY OUTLINED THE % OF ORGANIC MATTER, INORGANIC MATTER, PH, AND MINERAL CONTENT.
3. ANY FOREIGN TOPSOIL USED SHALL BE FREE OF ROOTS, STUMPS, WEEDS, BRUSH, STONES (LARGER THAN 1" LITERS OR ANY OTHER EXTRANEOUS OR TOXIC MATERIAL).
4. LANDSCAPE CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE APPLICATION OF SHREDDED BARK MULCH.

MISC. MATERIAL:

1. PROTECT STAKES AND DEBRIS FROM SOILING, NEW HYDROPHOBIC FIBER OF KIRKLANDS AND DEBRIS.
2. TREE WRAP TAPE SHALL BE 4" WIDE, DESIGNED TO PREVENT SCORCH DAMAGE AND WINTER FREEZING. ADDITIONALLY, ONLY 3 PLY TREE WRAP TAPE SHALL BE USED.

TURF:

1. ALL DISTURBED LAWN AREAS TO BE SOILED WITH A HIGH QUALITY TURF-TYPE LAWN AREAS SHALL BE UNCONDITIONALLY MAINTAINED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE. BARE AREAS MORE THAN ONE SQUARE FOOT PER ANY 50 SQUARE FEET SHALL BE REPLACED.
2. SOIL SHALL BE CUT AT A MINIMUM THICKNESS OF 3/4". NO BROKEN PIECES, IRREGULAR PIECES OR TORN PIECES WILL BE ACCEPTED.
3. ALL SOIL SHALL BE PLACED IN A MANDIRUM OF 24 HOURS AFTER HARVESTING.
4. RECONDITION EXISTING LAWN AREAS DAMAGED BY CONTRACTOR OPERATIONS INCLUDING EQUIPMENT MATERIAL STORAGE AND MOVEMENT OF VEHICLES.

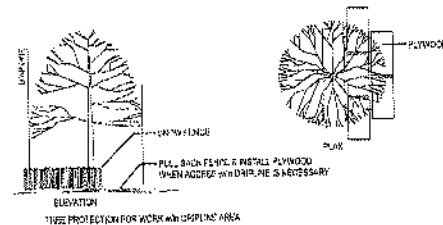
WARRANTY:

1. ALL PLANT MATERIAL, (EXCLUDING GROUND COVER, PERENNIALS AND ANNUALS) ARE TO BE MAINTAINED FOR A PERIOD OF 12 MONTHS AFTER INSTALLATION. 100% OF THE INSTALLED PRICE.
2. ANY PLANT MATERIAL FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITHIN 30 DAYS OF NOTIFICATION OR IN GROWTH SEASON, DETERMINED TO BE BEST FOR THAT PLANT.
3. ONLY ONE REPLACEMENT PER TREE OR SHRUB SHALL BE REQUIRED AT THE END OF THE WARRANTY PERIOD. UNLESS LOSS IS DUE TO FAILURE TO COVER WITH WARRANTY.
4. LAWN ESTABLISHMENT PERIOD WILL BE IN EFFECT ONCE THE LAWN HAS BEEN MOWN THREE TIMES. PLANT ESTABLISHMENT PERIOD SHALL COMMENCE ON THE DATE OF ACCEPTANCE AND 100% COMPLETION.

TREE PROTECTION PLAN NOTES:

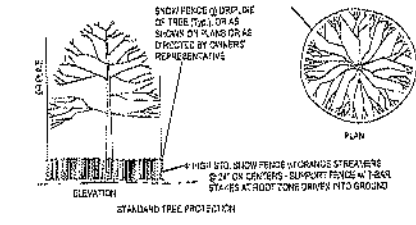
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE TO EXPLAIN PROTECTION MEASURES TO OPERATORS, CONSTRUCTION SUPERVISORS, THE CONTRACTOR'S REPRESENTATIVES AND THE CITY REPRESENTATIVE.
2. THE CONTRACTOR SHALL STAKE CLEARING LIMITS IN ORDER TO FACILITATE ALL LOCATIONS FOR FENCING AND FENCING INSTALLATIONS FOR TREE PROTECTION.
3. NO CLEARING OR GRADING SHALL OCCUR WITHIN TREE PROTECTION LIMITS. TREE PROTECTION MEASURES SHALL NOT BE IN COMPLIANCE.
4. THE SEQUENCE OF TREE PROTECTION MEASURES SHALL BE AS FOLLOWS:
 - 4.1. ROOT PRUNING PRECAUTIONS
 - 4.2. TREE PROTECTION FENCING
 - 4.3. TREE PRUNING AND CHEMICAL TREATMENTS
 - 4.4. AERATION SYSTEMS INSTALLED
5. THE PROTECTIVE MEASURES SHALL BE DIRECTED IN THE FIELD BY THE CONSTRUCTION SUPERVISOR.
6. TREE PROTECTION FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR. NO ALTERATION SHALL OCCUR WITHOUT PRIOR APPROVAL OF THE CITY INSPECTOR.
7. ACCESS TO EXISTING TREE PROTECTION AREAS BY CONSTRUCTION EQUIPMENT, MATERIALS OR INDIVIDUALS THAT MAY CAUSE HARM TO PROTECTED TREES WILL NOT BE ALLOWED. ONLY LIMITED ACCESS, IF NECESSARY, SHALL BE PERMITTED WITH THE PRIOR APPROVAL OF THE CITY INSPECTOR.
8. ALL DESIGNATED AERATION ZONES SHALL BE PROTECTED WITH TEMPORARY FENCING UNTIL FINAL GRADING HAS OCCURRED.
9. REMOVAL OF TREES, SHRUBS OR UNDERBRUSH FROM PROTECTED AREAS SHALL BE DETERMINED ONLY WHEN NECESSARY AND WITH HAND TOOLS ONLY.
10. ATTACHMENT OF ANY CONSTRUCTION SIGN, FENCING, ETC. TO ANY TREE TO BE BAVED IS STRICTLY PROHIBITED.
11. UPON CONSTRUCTION COMPLETION, ALL TEMPORARY BARRIERS, FENCING, DEBRIS, ETC. SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL MANNER.
12. ALL REQUIRED FENCING SHALL BE INSTALLED ALONG THE CLEARING DISTURBANCE LIMITS OF THE SITE.
13. PROTECTIVE FENCING SHALL BE INSTALLED ALONG THE LOGS OF ALL CRITICAL ROOT ZONES OF SAVED AND IMPACTED TREES WITHIN THE DISTURBANCE AREAS.

PLANT SCHEDULE			
TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
AY	2	American Yellow Birch / Castanea leucostriata	2" Cal.
SM	2	Shantung Maple / Acer x leucostriatum	2" Cal.
ER	2	Eastern Redbud / Cercis canadensis	2" Cal.
TOTAL	6		
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
AV	10	Green Star / Green Star Yew	3" Cal.
EVERGREEN SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
GV	5	Green Velvet / Buxus Blue Velvet	3 Gal.
FLOWERING PLANT	QTY	COMMON NAME / BOTANICAL NAME	SIZE
CH	21	Gallica Hydrangea / Hydrangea Quercifolia	2 Gal.
GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
	692 sq	Juncus Sp. var.	2.25" @ 12" sq



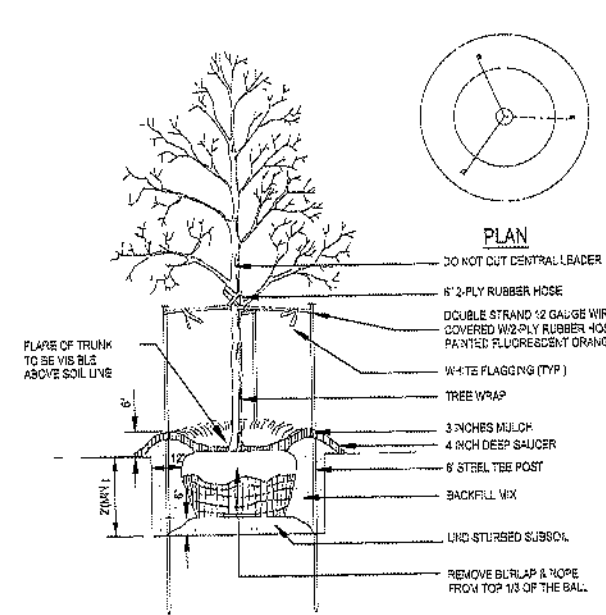
TREE PROTECTION DETAILS

N.T.S. NOTE: PROTECT ALL EXISTING TREES TO REMAIN, AS SHOWN IN DETAIL ABOVE. BELOW DIMENSIONS SHOW APPROXIMATE ON PLANTING PLAN.



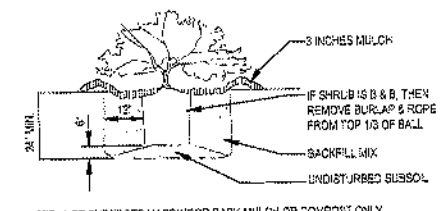
PERENNIAL PLANTING DETAIL

N.T.S. NOTE: USE SHREDDED BARK MULCH OR COMPOST ONLY.



DECIDUOUS TREE PLANTING

N.T.S. NOTE: USE SHREDDED BARK MULCH ONLY.



SHRUB PLANTING

N.T.S. NOTE: USE SHREDDED BARK MULCH OR COMPOST ONLY.



9/4/2020
AMANDA PARTHYA NORRIS - ARCHITECT
LIC# A-000001195
STATE OF MISSOURI
ARCHITECTURAL CORPORATION
ORIGINAL CERTIFICATE LICENSE NO. 00069

DRAWING TITLE
LANDSCAPE NOTES

PROJECT TITLE
134 - 138 W. MADISON CONDOMINIUMS
134 - 138 W. MADISON AVE.
KIRKWOOD, MO 63112



DATE	REVISIONS

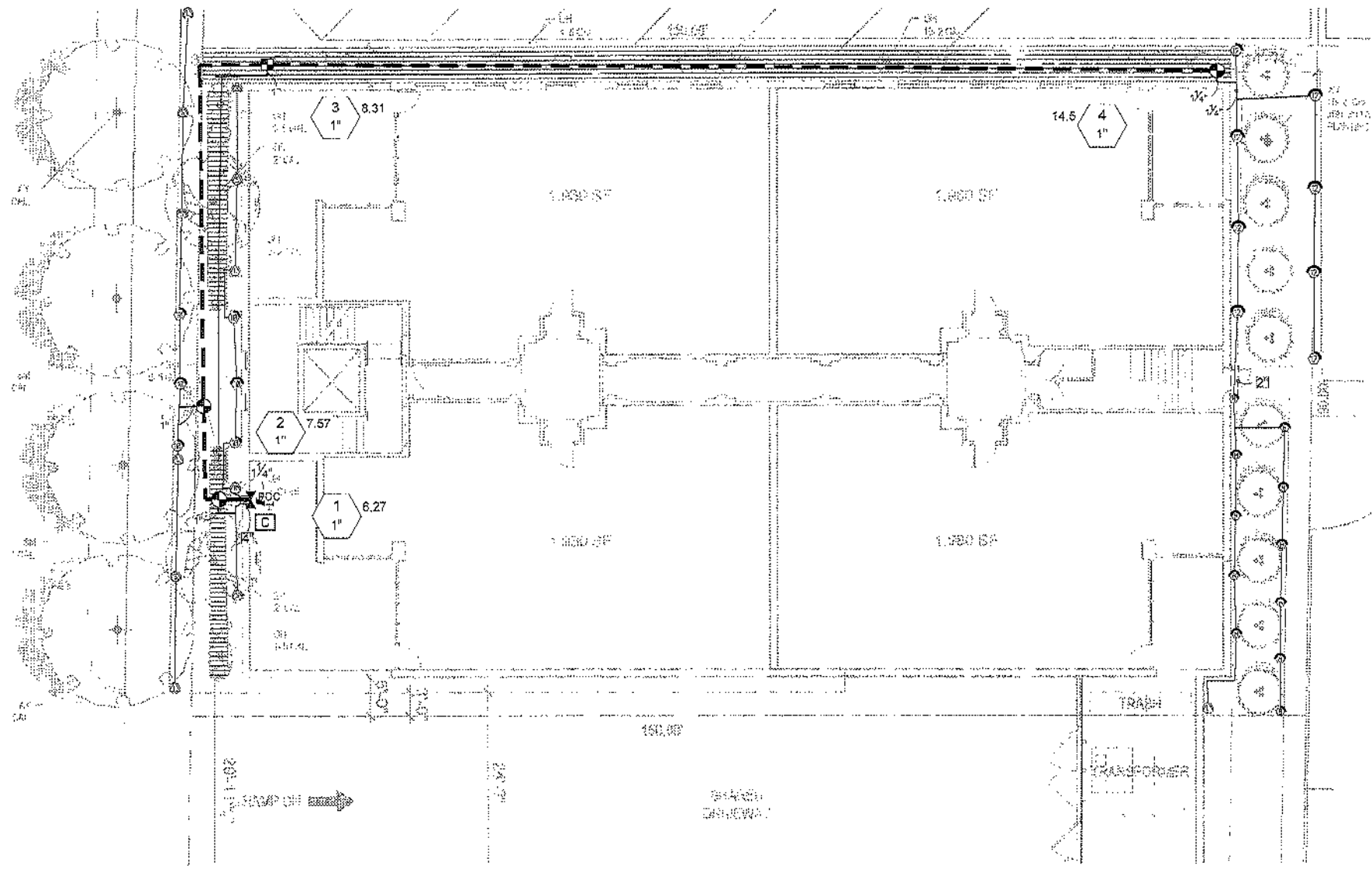
DATE: 04 SEPT 2020
PROJECT NO: 20023

SHEET NO:
L-102

ALL OTHER CONDITIONS, PREVIOUS CONTRACTS TO BE IN FULL FORCE AND EFFECT UNLESS OTHERWISE SPECIFIED. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. DRAWN BY: J.D. CHECKED BY: J.P.

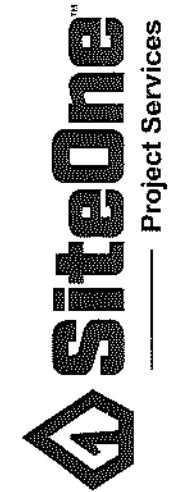
PRELIMINARY NOT FOR CONSTRUCTION

SCALE: 1" = 10' - 0"
 0' 5' 10' 20'



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL
	HUNTER PROS-04 5' STRIP SPRAY
	HUNTER PROS-04 6' RADIUS
	HUNTER PROS-04 10' RADIUS
	HUNTER PROS-04 12' RADIUS
SYMBOL	MANUFACTURER/MODEL
	HUNTER PCZ-101-40 1"
	AREA TO RECEIVE DRIPLINE NETAFIM T.L.D.L-08-12 (12)
SYMBOL	MANUFACTURER/MODEL
	HUNTER PGV-101G 1"
	ISOLATION GATE VALVE
	HUNTER PRO-C CONTROLLER
	POINT OF CONNECTION 1"
	IRRIGATION LATERAL LINE: POLY PIPE 80 PSI 1"
	IRRIGATION LATERAL LINE: POLY PIPE 80 PSI 1 1/4"
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 1 1/4"
	PIPE SLEEVE: PVC SCHEDULE 40 2"
	PIPE SLEEVE: PVC SCHEDULE 40 4"
	Valve Callout
	Valve Number
	Valve Flow
	Valve Size



5102 N Garfield Ave
 Loveland, CO 80538
 Phone 970.667.6605
 Fax 970.667.3825
<http://projectservices.siteone.com>
 800.347.4272

Project Name:
Madison III
 Kirkwood, MO, 63122

Customer Name:

Design Date: 08/14/20
 Drawn By: Ryan Blumenshine

REVISIONS	
Description	Date
	08/28/20

Drawing Title:
Irrigation Plan

Drawing Scale: 1" = 10'

PS Project Number: 227663

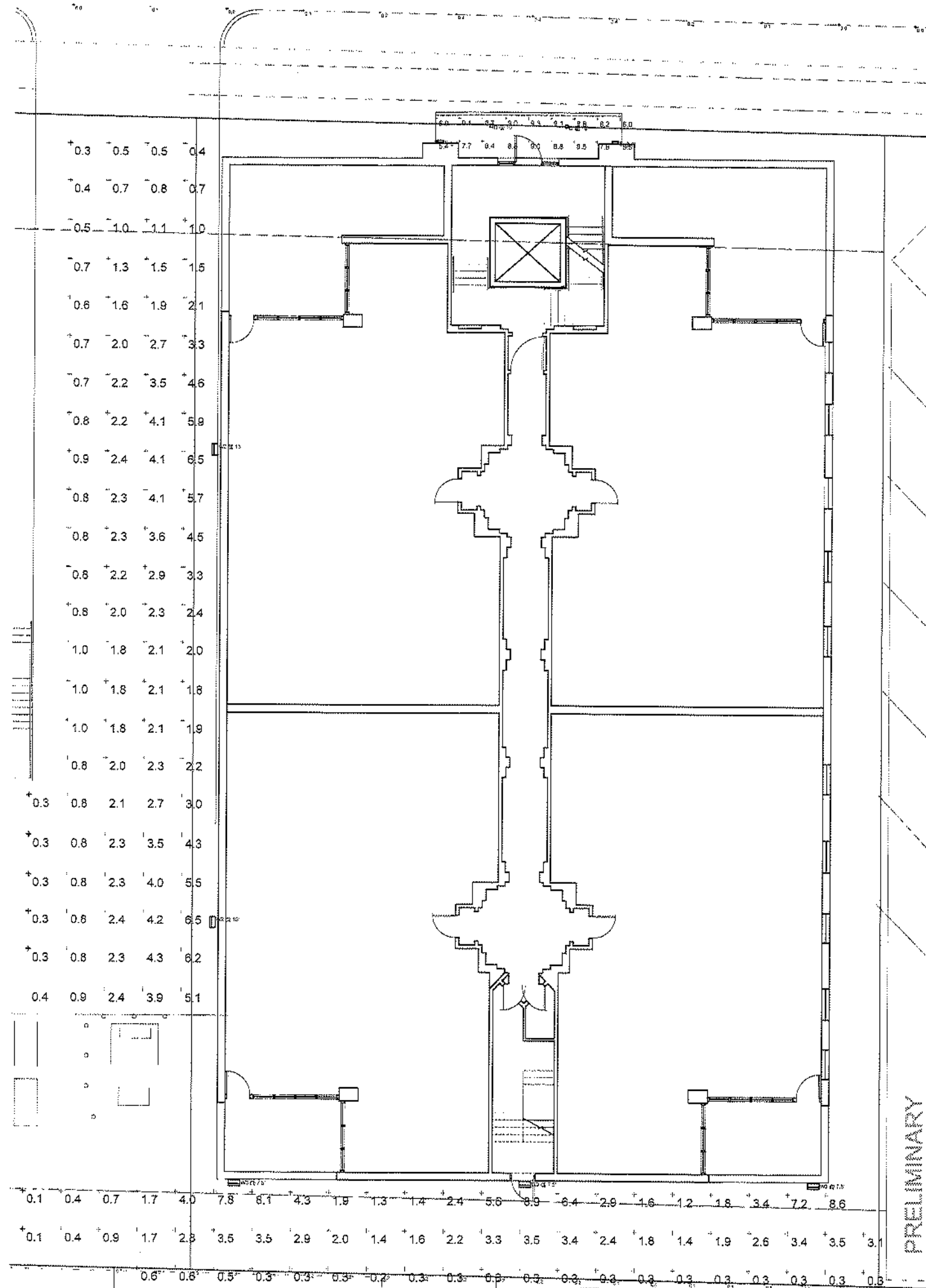
Sheet Number:
IR-1

PROFESSIONAL IRRIGATION SYSTEMS
 304 TCW Court - Lake St. Louis, MO 63367
 Phone (636) 695-7800 - Fax (636) 695-7801
www.proirrigation.com

Item	Description	Quantity	Manufacturer/Model	Notes	Area (sq ft)	Power (W)	Current (A)	Voltage (V)	Power Factor
D	Signify Lighting - Lightcove	1	MSD1-0835012-BU	1x100W LED 4x4 SQUARE	100	100	0.45	120	0.9
W	Performance III Lighting	1	079406	1x100W LED 27" x 27" 80 CRI Aluminum metallic	100	100	0.05	120	0.9
W2	Signify GARDCO	1	121-166-700-00-04-2	121 LED Recessed	121	121	0.99	120	0.9
W3	Signify GARDCO	1	121-166-700-00-04-2	121 LED Recessed	121	121	0.99	120	0.9

Area	Height	Area (sq ft)	Power (W)	Current (A)	Voltage (V)	Power Factor
BACK EGRESS LIGHTING/PRIVATE SIDEWALK	+	2.2 fc	8.9 fc	0.1 fc	89.0:1	22.0:1
FRONT SOFFIT AREA	+	8.0 fc	9.3 fc	5.4 fc	1.7:1	1.5:1
PRIVATE SIDEWALK TRESPASS LINE	+	0.2 fc	0.5 fc	0.1 fc	5.0:1	2.0:1
PROPERTY LINE	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
SHARED DRIVEWAY	+	2.1 fc	6.5 fc	0.3 fc	21.7:1	7.0:1

1. Reflectances 80/50/20 CEILING WALL FLOOR SURFACE REFLECTANCES
 2. Calculations Points Set at 0' AFF
 3. Fixture Mounting Height: SEE LAYOUT
 4. Calc Point Spacing: 10' x 10' IN MAIN LOT, 5' X 10' IN SIDE ROADS/ALLEYS
 THE LIGHTING CALCULATIONS PROVIDED IN THIS REPORT APPROXIMATE THE LIGHT LEVELS EXPECTED WITHIN THE SPACE BASED ON AN OPEN ENVIRONMENT AND BASED ON INFORMATION PROVIDED TO MEGLIO AND ASSOCIATES. ACTUAL PERFORMANCE MAY VARY IN PRACTICAL APPLICATION. PLEASE VERIFY THE DATA LISTED TO ENSURE ACCURACY. ANY MISSING FACTORS, INFO, OR VARIANCE IN COLOR/COMPOSITION OF WALLS, CCT, SPACING, AND ANY OTHER SUBSTANTIAL FACTORS OR CHANGES PROVIDED IN DRAWINGS WILL VOID THIS CALCULATION AND A NEW CALCULATION WILL NEED TO BE MADE. THIS LAYOUT IS MEANT TO SHOW FIXTURE QUANTITY AND LUMENS PERFORMANCE. NOT TO BE USED TO SCALE FOR INSTALLATION PURPOSES.



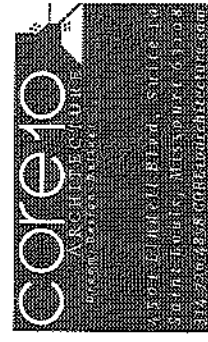
SAVOY PROPERTIES
 1750 S BRENTWOOD BLVD, SUITE 600
 BRENTWOOD, MO 63144



9/4/2020
 AMANDA PARTYSKA NORRIS - ARCHITECT
 MO# A-000000188
 STATE OF MISSOURI
 ARCHITECTURAL CORPORATION
 ORIGINAL CERTIFICATE LICENSE NO. 000000000

DRAWING TITLE
 LIGHTING PLAN

PROJECT TITLE
 134 - 138 W. MADISON CONDOMINIUMS
 134 - 138 W. MADISON AVE.
 KIRKWOOD, MO 63112



DATE	REVISIONS
04 SEPT 2020	
20023	

SHEET NO.
 LT-101

ALL LEGAL ORDERS SHALL BE PRESENTED TO THE FIELD TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS.
 DRAWN BY: JH CHECKED BY: JH

1 LIGHTING PLAN
 LT-101 1/8"=1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

CITY OF KIRKWOOD

APPLICATION FOR PLANNING AND ZONING COMMISSION ACTION

DATE: 9/28/2020

CASE NUMBER: PZ-3-21

PROJECT ADDRESS: 132 West Monroe Ave.

ZONING DISTRICT: B-2 LOT SIZE: .22 AC (97.00)

LOCATOR NUMBER: 24 M 44 1670 TELEPHONE OFFICE

ACTION REQUESTED

- | | |
|--|--|
| <input type="checkbox"/> Zoning Change From _____ to _____
<input type="checkbox"/> Community Unit Plan, Type: _____
<input checked="" type="checkbox"/> Special Use Permit, Category: <u>Restaurant/Corner</u>
<input type="checkbox"/> Subdivision Development, Number of Lots: _____
<input type="checkbox"/> B4 Development Plan
<input type="checkbox"/> B5 Development Plan | <input checked="" type="checkbox"/> Site Plan Review
<input type="checkbox"/> Right-of-Way/Easement Vacation
<input type="checkbox"/> Other: _____
Comments: _____
_____ |
|--|--|

PETITIONER INFORMATION

I (We) hereby certify that I (we) have legal interest in the hereinabove described property and that all information given herein is true and a statement of fact.

Name (Print): Embrace Properties LLC Signature: Chad White Phone No.: 314-966-5853
 Mailing Address: PO Box 29258 City: St. Louis State: MO Zip: 63126
 E-mail Address: chad@ccc-stl.org

Petitioner's Status: Corporation Partnership Individual
 Relationship of Petitioner to Property: Owner Tenant Option Holder (Attach Copy of Contract) Other

AGENT INFORMATION

Agent's Name: Brian WY Signature: Brian WY Phone No.: 314-369-0209
 Mailing Address: 130 W. Lockwood Ave. City: Webster Groves State: MO Zip: 63119
 E-mail Address: brian@Your Idea Architects.com

(NOTE: The petitioner's agent, if listed, shall receive the official notice of public hearing)

PROPERTY OWNERS

Signature required or submit proof petitioner has legal interest in property.
 Name: Embrace Properties LLC Name: _____
 Signature: Chad White Signature: _____
 Address: PO Box 29258 Address: _____
 City/State/Zip: St. Louis MO 63126 City/State/Zip: _____
 Phone: 314-966-5853 Phone: _____

FOR CITY USE ONLY

- Date Received: 8-28-2020 Total Received: \$ 2000⁰⁰ Agenda Date: 9-16-20
- B-4/B-5 Development Plan (Preliminary): \$1,000 + _____ Acres @ \$100/Acre or portion over one acre) = \$ _____
 - CUP, Preliminary (Multi Family): \$1,000 + _____ Dwelling units @ \$20/Each = \$ _____ = \$ _____
 - CUP, Preliminary (Detached Single Family): \$1,000 + _____ Lots @ \$500/Lot = \$ _____
 - Letter of Credit Extension: \$100
 - Rezoning: \$1,000
 - Site Plan Review: \$1,000
 - Site Plan Review Amendment \$800 or Extension: \$300
 - Site Plan Review, Mixed Use in B2 Zoning District (Preliminary): \$1,000 (Includes SPR fee) + \$25/acre or portion over one acre
 - Special Use Permit and Special Use Permit Amendments: \$1,000
 - Subdivision, Preliminary (Detached Single Family): _____ Lots @ \$500/Lot = \$ _____
 - Vacation, Easement: \$75
 - Vacation, Right-of-way: \$100
 - Zoning Code Amendment: \$1,000

Final Subdivision Plat/Community Unit Plan/B-4or B-5 Development Plan

- Date Received: _____ Total Received: \$ _____ Agenda Date: _____
- B-4 and B-5 Development Plan (Final) or B4 Development Plan Amendment (when public hearing is not required): \$1,000
 - B-5 Development Plan Amendment (when public hearing is not required): \$500
 - CUP Amendment, Type A or Type C: Without public hearing \$500; With public hearing \$800
 - CUP Type C (Final): \$500 + 1-1/4% of \$ _____ = \$ _____
 - CUP Type A or C Time Extension on Final: \$300
 - Sidewalk Waiver on _____ feet @ \$30/Foot = \$ _____ = \$ _____
 - Site Plan Review, Mixed use in B2 Zoning District (Final): \$500
 - Site Plan, Mixed use in B2 Zoning District Amendment: \$300
 - Subdivision Plat or CUP Type A (Final): _____ Lots @ \$100/Lot = \$ _____ + 1-1/4% of \$ _____ = \$ _____
 - Subdivision Plat Development Plan Amendment: \$200



130 E. Lockwood Ave. Webster Groves, MO 63119 314.801.8601 office www.YourIdeaArchitects.com

August 28, 2020

City of Kirkwood
Attn: Jonathan Raiche, AICP
Planning and Zoning Commission
139 S. Kirkwood Road
Kirkwood, MO 63122



Re: Proposed New coffee shop and outdoor patio
132 West Monroe Ave. Kirkwood, MO 63122

Mr. Raiche,
Please accept this letter as our narrative of the above referenced project.

The project address is 132 West Monroe Ave. Kirkwood, MO 63122 and we are requesting a new SUP – Attached for Teleo Coffee, an independently owned and operated coffee shop. The Existing building is roughly 1050 sf on the 1st floor and will seat approximately 22 people. The 2nd floor is approximately 778 sq. ft. and will seat 13 people. The basement will remain unoccupied and will be left for storage and utilities. The proposed new expanded and elevated framed deck expansion is approximately 580 sf. And will seat approximately 30 people.

The scope of the proposed work will consist of interior tenant improvements, removal of the existing entry vestibule and the addition of a new deck and trellis for ceiling fans, radiant heaters, and outdoor speakers. The trash enclosure will be adjacent to the existing accessible ramp from the rear parking lot. We are also requesting approval of outdoor dining and outdoor music. The Hours of operation are to be: 7 days per week 6 am-8 pm. The number of employees will fluctuate depending on time of day but is anticipated to range from 2-5 employees at various times throughout the day.

Mr. Raiche, again if you have any questions or comments, please do not hesitate to contact me.

Thank you,

Brian K. Ivy,
AIA, NCARB, LEED AP



WHERE COMMUNITY AND SPIRIT MEET®

September 10, 2020

Chad Wible
Embrace Properties
PO Box 29258
St. Louis, MO 63126

SENT VIA EMAIL: chad@ccc-stl.org

SUBJECT: PZ-03-21; 132 W. MONROE AVE. – TELEO COFFEE COMPANY
(SUP- RESTAURANT WITH OUTDOOR SEATING AND SITE PLAN REVIEW)

Mr. Wible:

The City of Kirkwood Public Services Department is in receipt of your petition for a Special Use Permit and Site Plan Review to open a coffee shop at 132 W. Monroe Avenue that would be classified under our Zoning Code as a Restaurant with Outdoor Seating. This item will be placed on the Planning and Zoning Commission agenda for its meeting **on Wednesday, September 16 at 7:00 p.m.** The meeting will be a virtual one held via the Zoom application. The agenda with the Zoom login is attached. City Staff will make an introduction presentation regarding the request at this meeting. You, or your representative, should attend this virtual meeting to present any additional information on this item to the Commission and answer any questions the Commission members may have.

The Planning and Zoning Commission will review the application in accordance with the Zoning Code. The Public Services Department has the following comments concerning the application:

1. Any proposed new lighting fixtures shall be full cut-off in accordance with the lighting code. Applicant must provide lighting fixture cut sheets for proposed fixtures and an as-built photometric plan signed and sealed by a registered design professional.
2. All work related to this petition must comply with all Kirkwood Ordinances including, but not limited to, building and fire codes.

This is a preliminary review of the application. The Planning and Zoning Commission and Public Services Department will review the application in detail and provide further comments as necessary. This preliminary review is not an approval or acceptance of any part of the application submitted.

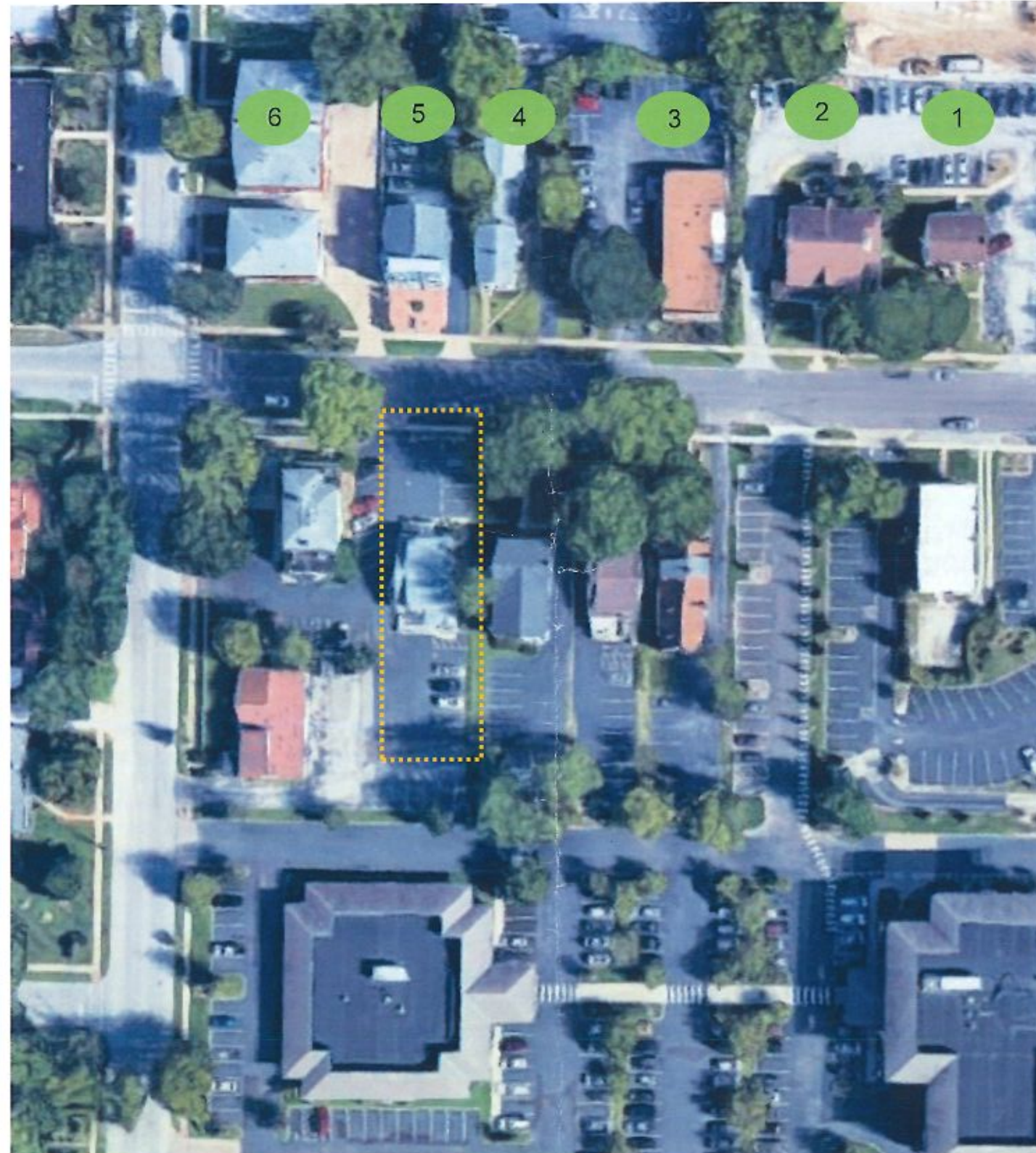
The applicant is further advised that it is the applicant's responsibility to follow the petition through the entire process and to satisfy all submittal requirements and deadlines. Also note, this application and review does not grant the applicant any special rights, privileges, or immunities, and that all provisions of the Kirkwood Code of Ordinances shall apply.

Sincerely,



Amy Lowry
City Planner II
314-822-5815
lowryag@kirkwoodmo.org

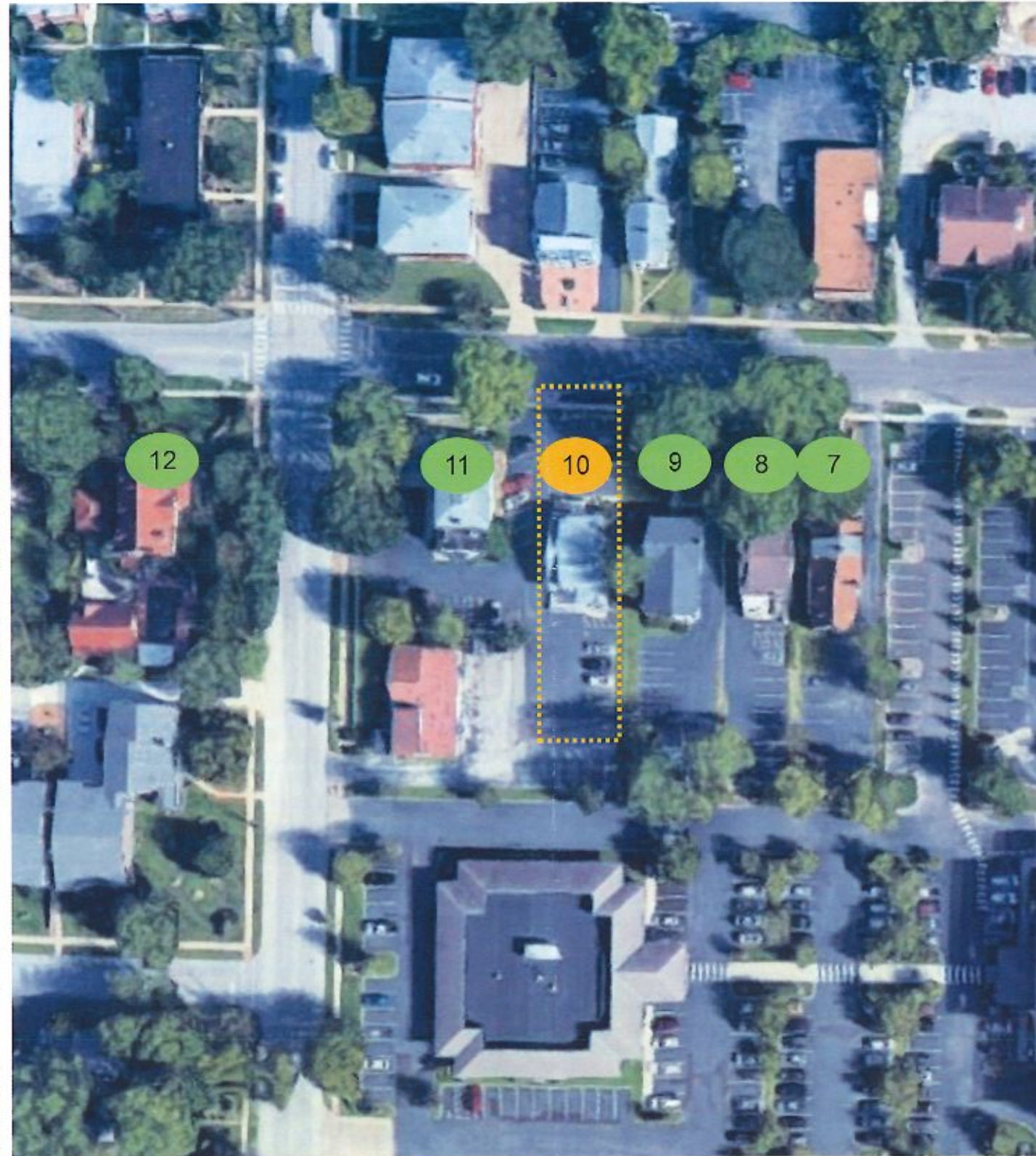
c: Brian Ivy



Google Maps Satellite image



Teleo Coffee Company - neighborhood context photographs
132 W. Monroe Avenue Kirkwood, MO 63122



Google Maps Satellite image



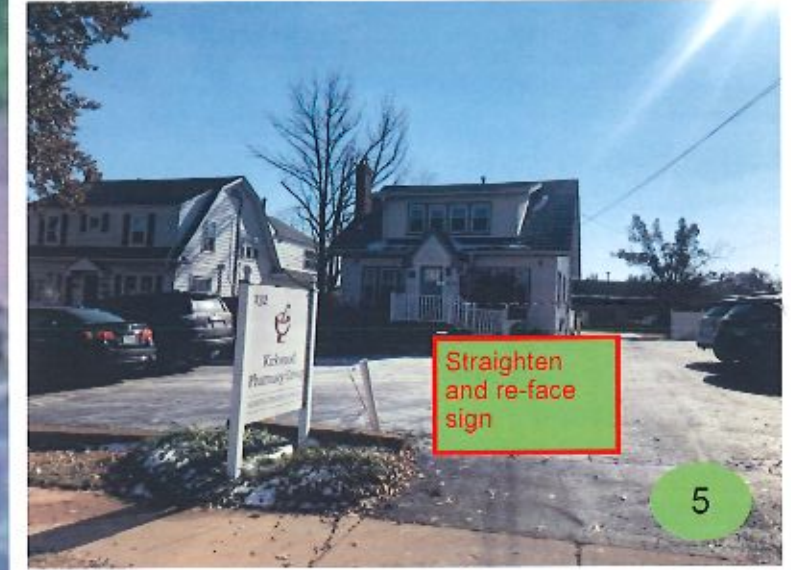
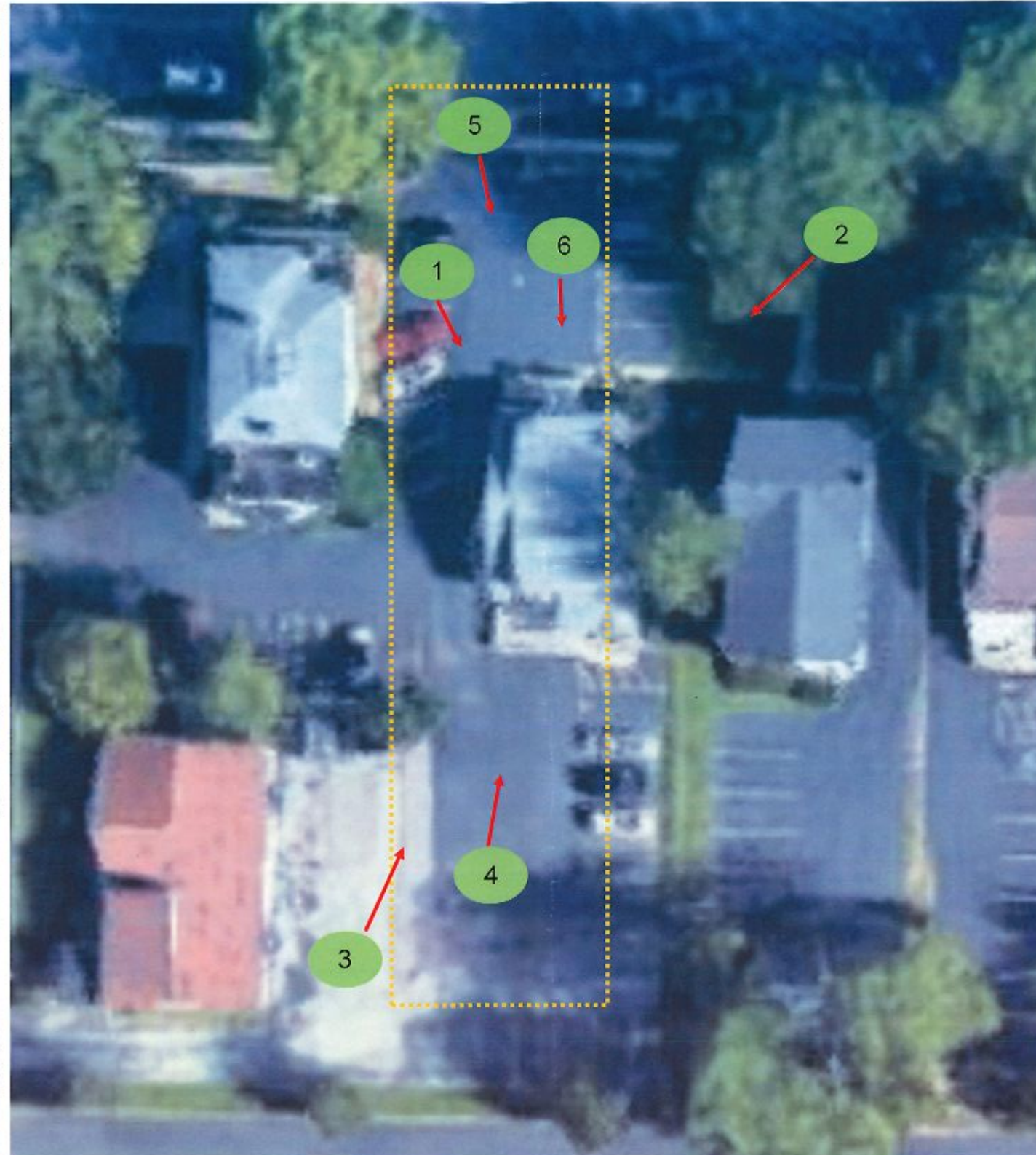
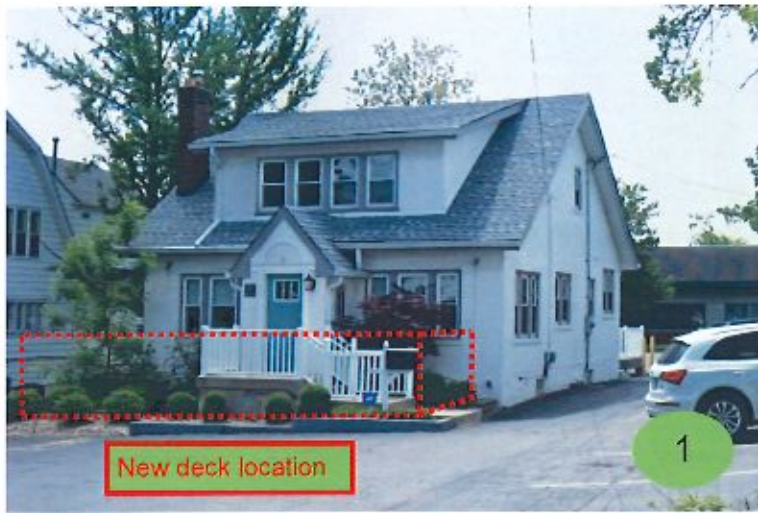
Teleo Coffee Company - neighborhood context photographs
132 W. Monroe Avenue Kirkwood, MO 63122



Google Maps Satellite image



Teleo Coffee Company - existing building photographs
132 W. Monroe Avenue Kirkwood, MO 63122

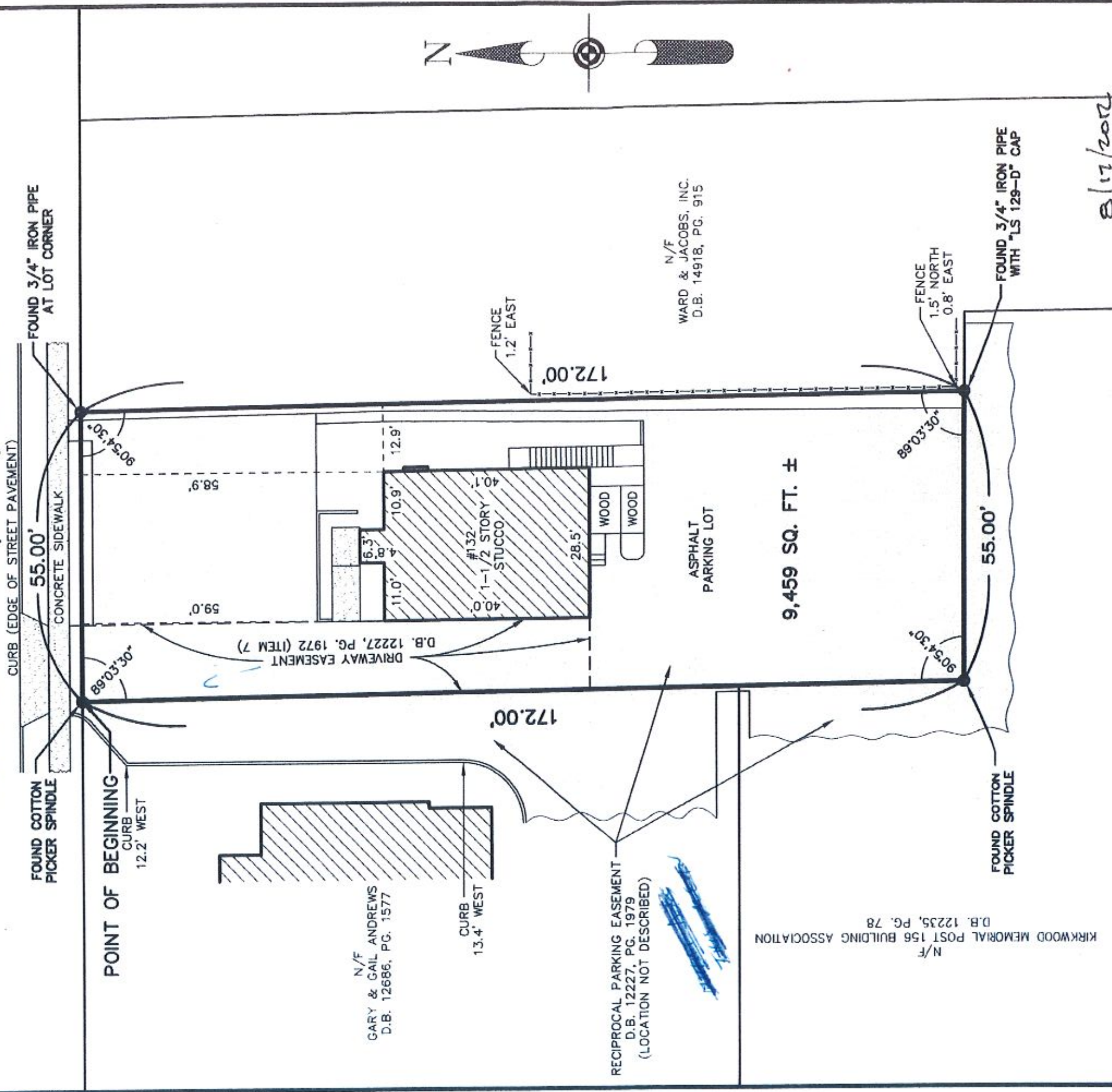


Google Maps Satellite image



Teleo Coffee Company - existing building photographs
132 W. Monroe Avenue Kirkwood, MO 63122

**"PROPERTY BOUNDARY SURVEY"
WEST MONROE (60' W.) AVENUE**



FOUND 3/4" IRON PIPE AT LOT CORNER

CURB (EDGE OF STREET PAVEMENT)

55.00' CONCRETE SIDEWALK

FOUND COTTON PICKER SPINDLE

POINT OF BEGINNING
CURB 12.2' WEST

N/F GARY & GAIL ANDREWS
D.B. 12686, PG. 1577

CURB 13.4' WEST

RECIPROCAL PARKING EASEMENT
D.B. 12227, PG. 1979
(LOCATION NOT DESCRIBED)

N/F WARD & JACOBS, INC.
D.B. 14918, PG. 915

N/F KIRKWOOD MEMORIAL POST 156 BUILDING ASSOCIATION
D.B. 12235, PG. 78

9,459 SQ. FT. ±

ASPHALT PARKING LOT

FENCE 1.2' EAST

FENCE 1.5' NORTH 0.8' EAST

FOUND COTTON PICKER SPINDLE

FOUND 3/4" IRON PIPE WITH "LS 129-D" CAP

8/17/2012



Old Republic National Title Insurance Company - File Number: MK-12-123666, Dated: July 10, 2012
This is to certify that we, James Engineering & Surveying Company, Inc., at the request of KA Monroe, LLC, we have, on the 16th day of August, 2012, to the best of our ability and judgment, executed a Property Boundary Survey in accordance with the "Minimum Standards for Property Boundary Surveys" as established by the Missouri Board for Architects Professional Engineers and Land Surveyors and the Missouri Department of Natural Resources Division of

CONSULTANTS

Brian Ivy, Architect
 MOJ A-200400895

Special Use Permit and Siteplan review for:

Teleo Coffee Company

132 West Monroe Ave. Kirkwood, (St. Louis Co.) MO 63122

ADOPTED CODES

BUILDING CODE 2015 INTERNATIONAL BUILDING CODE (MIR 117.1-2003 ACCESSIBILITY CODE)
 FUEL GAS CODE 2015 INTERNATIONAL FUEL GAS CODE
 FIRE CODE 2015 INTERNATIONAL FIRE PREVENTION CODE
 MECHANICAL CODE 2015 INTERNATIONAL MECHANICAL CODE
 ELECTRIC CODE 2008 NATIONAL ELECTRICAL CODE (NFPA 70-00NF)
 PLUMBING CODE 2015 UNIFORM PLUMBING CODE
 ENERGY CODE 2015 INTERNATIONAL ENERGY CODE

ZONING / CODE DATA BLOCK

ZONING DISTRICT B-2 GENERAL BUSINESS
 11 TOTAL PARKING SPACES ON SITE
 RECIPROCAL EASEMENT AGREEMENT FOR PARKING BETWEEN 132 AND 142 WEST MONROE AVE. RECORDED BOOK 12227 PAGE 1972

OUTDOOR SEATING:
 PROPOSED MAXIMUM:
 30 SEATS SEVEN

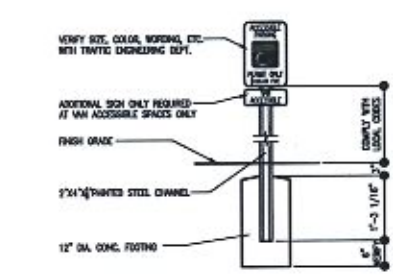
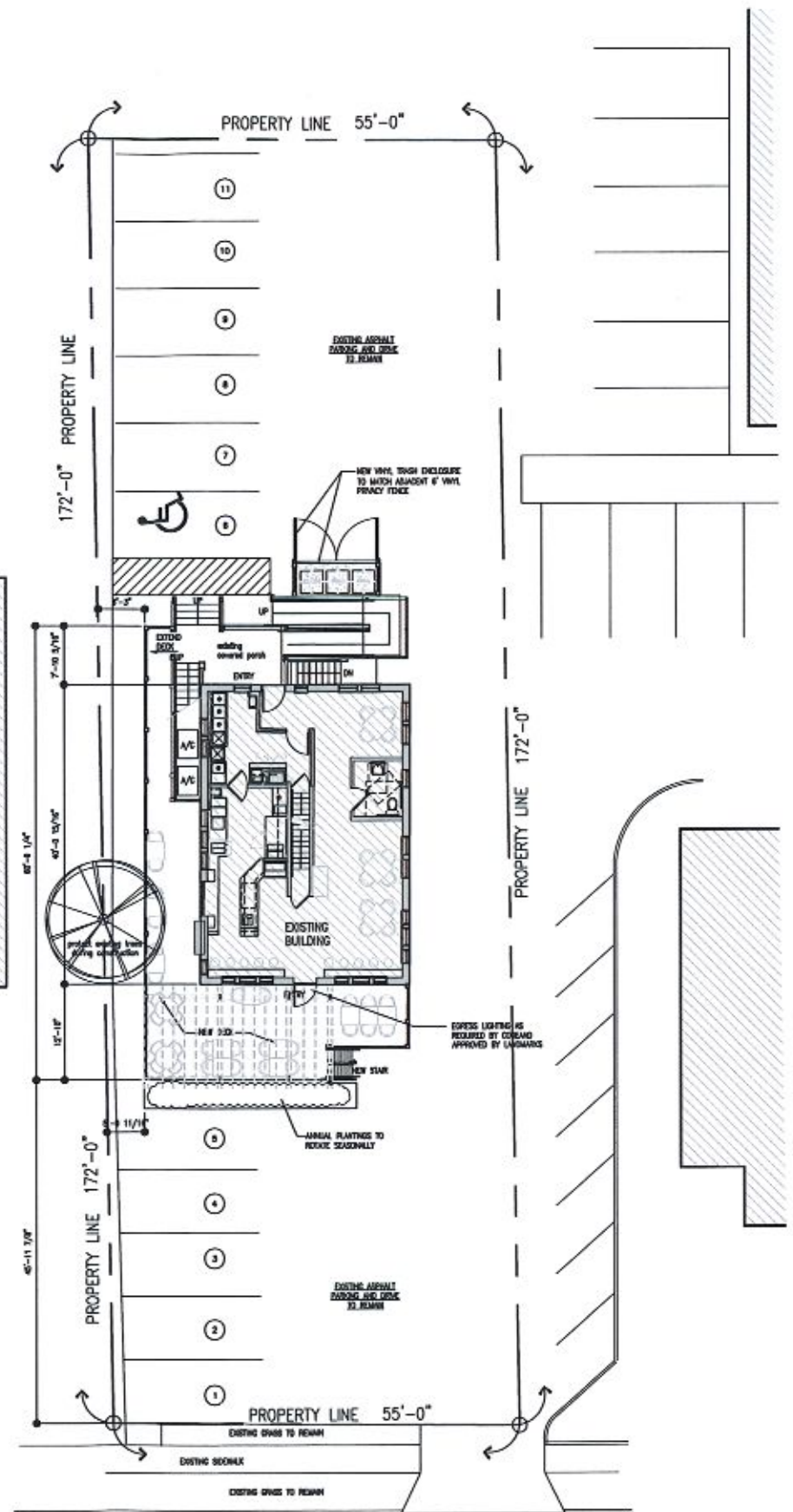
BUILDING SQUARE FOOTAGE
 2800 SF-TOTAL BUILDING SQUARE FOOTAGE:
 1000 SF-1ST FLOOR
 778 SF-2ND FLOOR
 1020 SF-RITAL, 1ST AND 2ND FLOOR
 500 SF-FRONT PORCH

TELEO COFFEE - USABLE INTERIOR SQUARE FOOTAGE 1,838 SF.

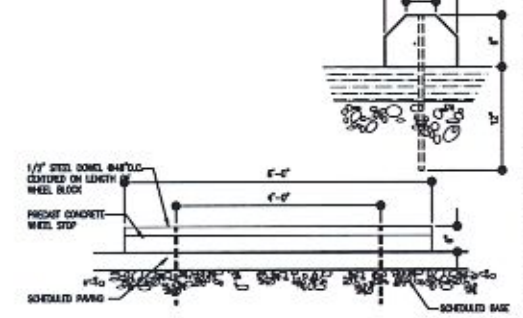


DATE	SEP APP. 08.28.20
REVISIONS	
DRAWN BY:	
PROJECT NO.:	2020-041
SHEET NUMBER:	

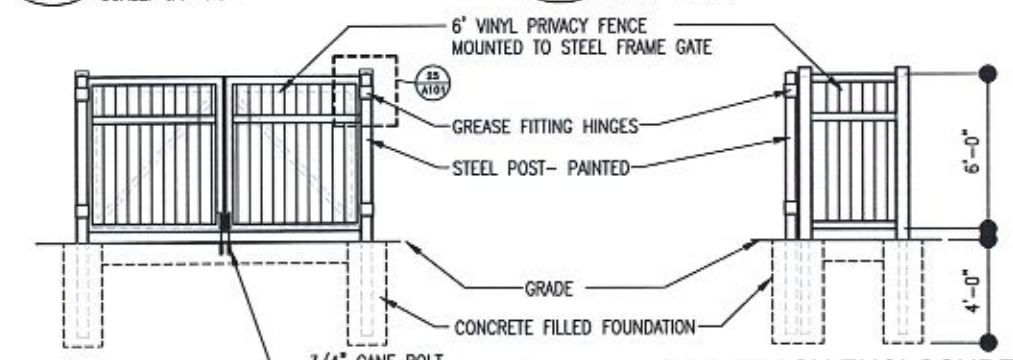
SD-00



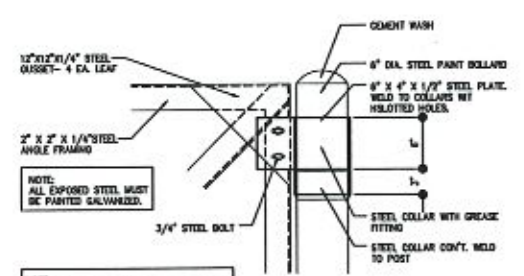
15 ACCESSIBLE PARKING SIGN
 SCALE: 3/4"=1'-0"



10 PARKING WHEEL STOP
 SCALE: 3/4"=1'-0"



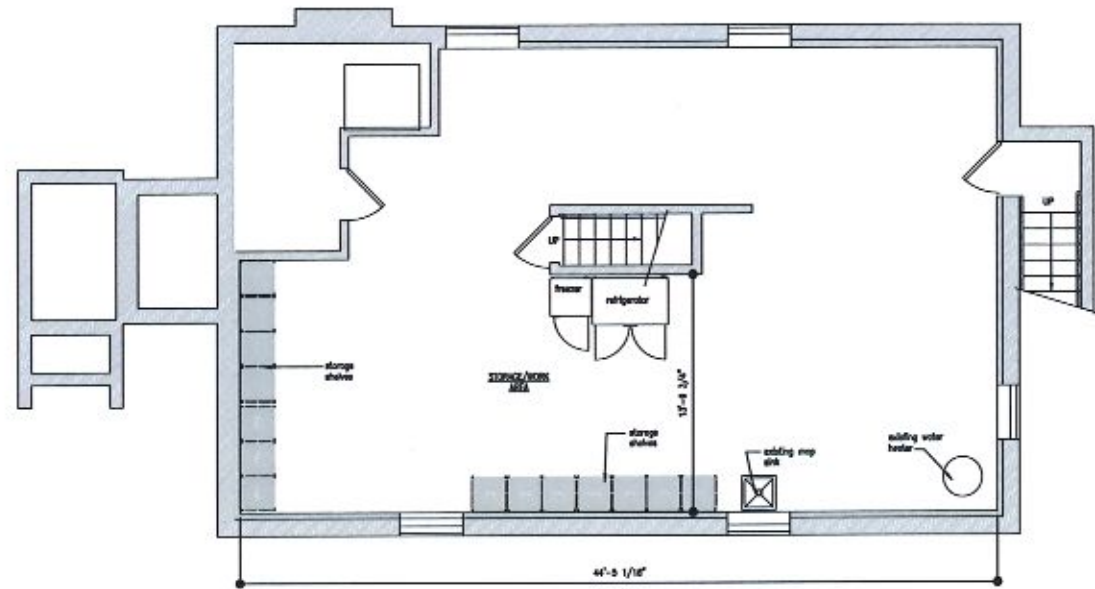
19 6" VINYL TRASH ENCLOSURE
 SCALE: 3/8"=1'-0"
 6" PRIVACY



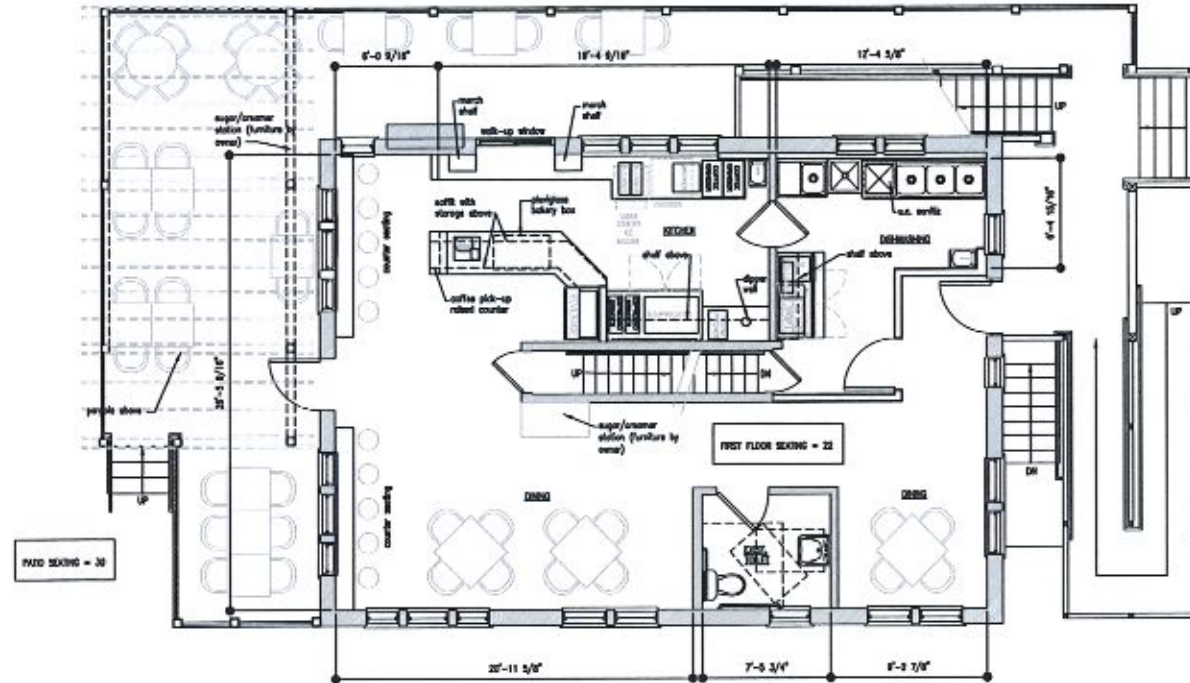
25 TRASH ENCL. HINGE DTL
 SCALE: 1 1/2"=1'-0"
 TYPICAL

10 SITE PLAN
 SCALE: 1/8"=1'-0"

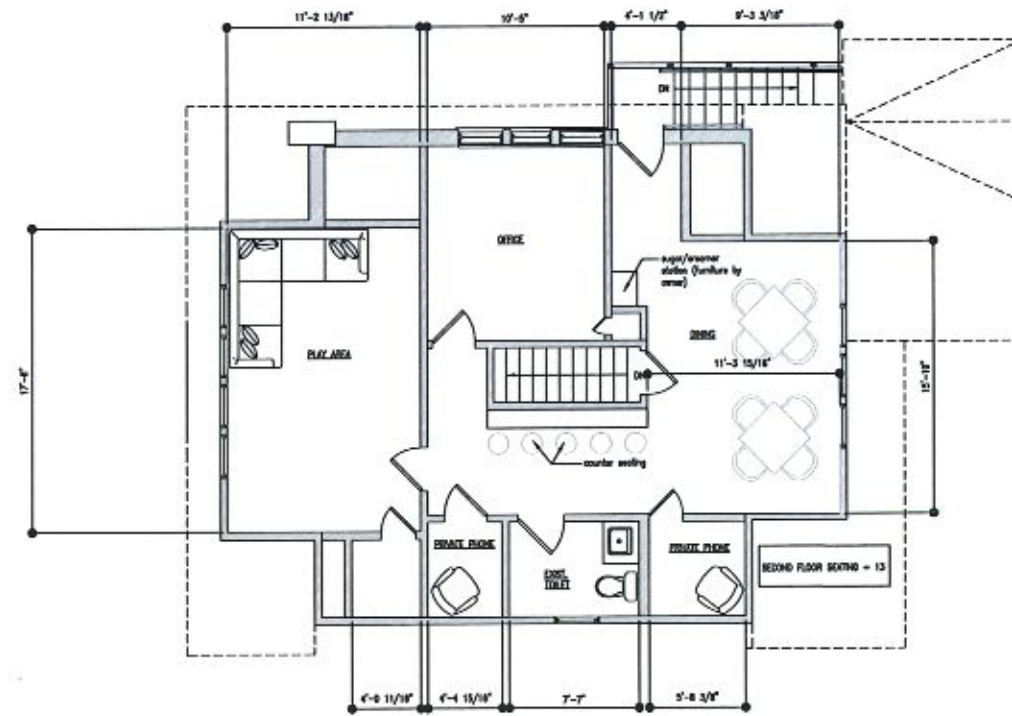
5 LOCATION MAP
 SCALE: NO SCALE



22 PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



7 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



10 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

PATIO SEATING=	28
FIRST FLOOR SEATING=	22
SECOND FLOOR SEATING=	13



CONSULTANTS

Brian Hy, Architect
MO# A-2004008595

Special Use Permit and Siteplan review for:
Teleo Coffee Company

132 West Monroe Ave. Kirkwood, (St. Louis Co.) MO 63122

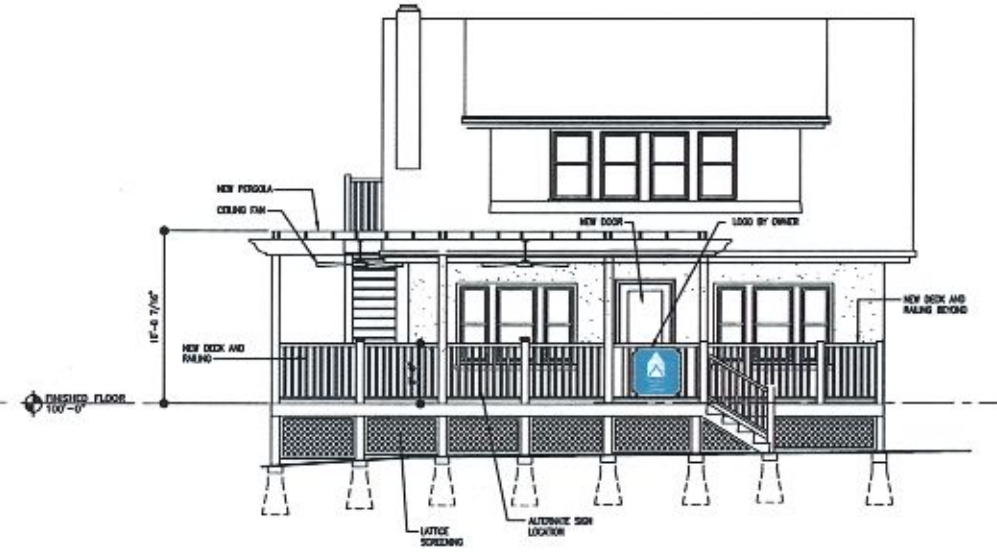
DATE	SUP APP.	08.28.20
REVISIONS		

DRAWN BY:
PROJECT NO.: 2020-041
SHEET NUMBER:

SD-01



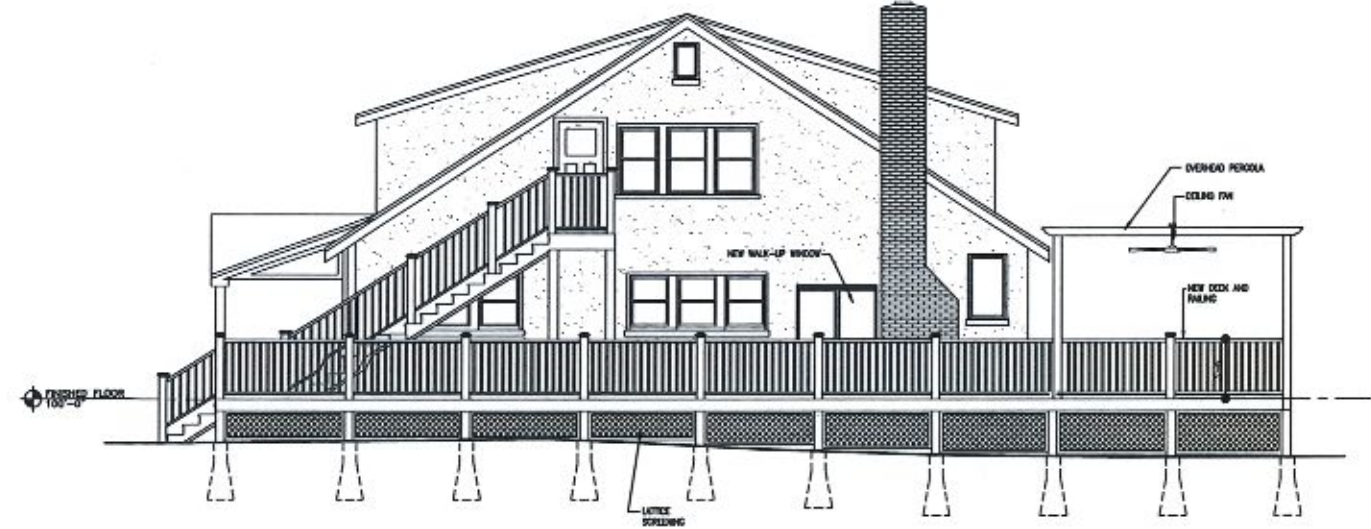
17 SIDE ELEVATION
 SCALE: 1/4"=1'-0"



7 FRONT ELEVATION
 SCALE: 1/4"=1'-0"



19 REAR ELEVATION
 SCALE: 1/4"=1'-0"



CONSULTANTS

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 MO# A-2004008995

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