



# Kirkwood Landmarks Commission

## Application for Certificate of Appropriateness

Please submit the application with supporting documentation by the first Wednesday of the month to the Building Department. Failure to supply sufficient information may result in the application being denied or postponed. It is recommended that you or your representative be present at the Landmarks Commission meeting on the second Wednesday of the month at 7:00 p.m. in City Hall.

1. Property Address 219 Orrick Ln.

2. Property Status
- Local Landmark Designation
  - National Register of Historic Places
  - Within a Historic District

3. Name of Applicant Ellie Cade Custom Homes

Mailing Address 12990 Manchester Rd.

City/State Des Peres, MO Zip Code 63131

Office Phone ( ) Cell Phone (314) 562-0012

Home Phone ( ) E-Mail mark@elliecade.com

4. Relationship of Applicant to Property \_\_\_\_\_

- Owner
- Contractor
- Architect
- Attorney
- Other - Please specify \_\_\_\_\_

5. Existing Building Use Single Family Residence

6. Proposed Building Use Single Family Residence

7. Proposed Change to  Primary Structure  Accessory Structure  Landscape Element

8. Nature of Proposed Change

- Demolition
- Addition
- Alteration to Exterior
- New Construction
- Other - Please Specify \_\_\_\_\_
- Window Configuration
- Sign Erection or Placement
- Fence
- Landscape or Hardscape Element



9. Description of Proposed Improvements Build new single family home.

10. **Accompanying Documentation (8 copies each)**

- Site Plan
- Elevations
- Floor/Building Plans
- Other – Please Specify \_\_\_\_\_
- Structural Report for Demolitions
- Landscape Plan
- Photos

11. **Existing Materials/Construction**       Wood Frame     Brick     Stone     Block  
 Stucco       Other Vinyl siding

12. **Proposed Materials/Construction**       Wood Frame     Brick     Stone     Block  
 Stucco       Other Hard siding

13. **If materials differ from existing, explain reasons**    Improve quality and neighborhood appeal.

14. **Material samples should be available for review at Commission meeting (preferable) or on site.**

Site Location of Materials    @ Meeting

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature Mark Potthast      Date 2/3/2020

Please print name Mark Potthast

**COMMISSION ACTION**     Approved     Approved with Conditions     Disapproved

Signature \_\_\_\_\_ Date \_\_\_\_\_

Conditions \_\_\_\_\_

Comments/Recommendations \_\_\_\_\_

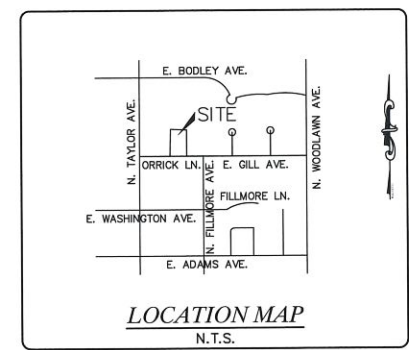


- Variegated Liriope
- Red Oak
- Japanese Holly
- Hydrangea
- Japanese Cherry

**Landscape Plan**  
219 Orrick Ln.

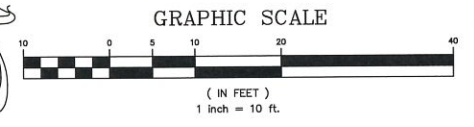


# A TRACT OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 44 NORTH, RANGE 5 EAST, CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI



**SITE INFO:**  
N/F  
THE LAURA ROHRER REAL ESTATE TRUST  
D.B. 19814 PG. 1184  
LOC # 23M230628  
219 ORRICK LANE  
10,041 SQ. FT. / 0.230 Ac. ±

**ZONING INFO:**  
R-3 SINGLE FAMILY RESIDENTIAL  
FRONT: AVERAGE OF ADJACENT HOMES OF 215 & 223 ORRICK LN.  
(31.24'+29.82')/2=30.53' - MINIMUM 20'  
REAR: 35' SETBACK  
SIDE: 12' SETBACK  
HEIGHT: 35' / 2 1/2 STORIES



- ABBREVIATIONS:**  
CONC. - CONCRETE  
N/F - NOW OR FORMERLY  
P.B. - PLAT BOOK  
D.B. - DEED BOOK  
PG. - PAGE  
SQ. FT. - SQUARE FEET  
FF - FINISH FLOOR  
UP - USE IN PLACE  
TBR - TO BE REMOVED

- LEGEND:**
- TREE LINE
  - FENCE LINE
  - UNDERGROUND WATER LINE
  - UNDERGROUND GAS LINE
  - OVERHEAD WIRE
  - UNDERGROUND SEWER LINE
  - BUILDING
  - UTILITY POLE
  - UTILITY POLE W/ TRANSFORMER
  - ELECTRIC METER
  - WATER METER
  - GAS METER
  - WATER VALVE
  - A/C UNIT
  - SANITARY MANHOLE
  - BUSH/SHRUB
  - TREE
  - DENOTES SEMI-PERMANENT MONUMENT.
  - FOUND IRON PIPE

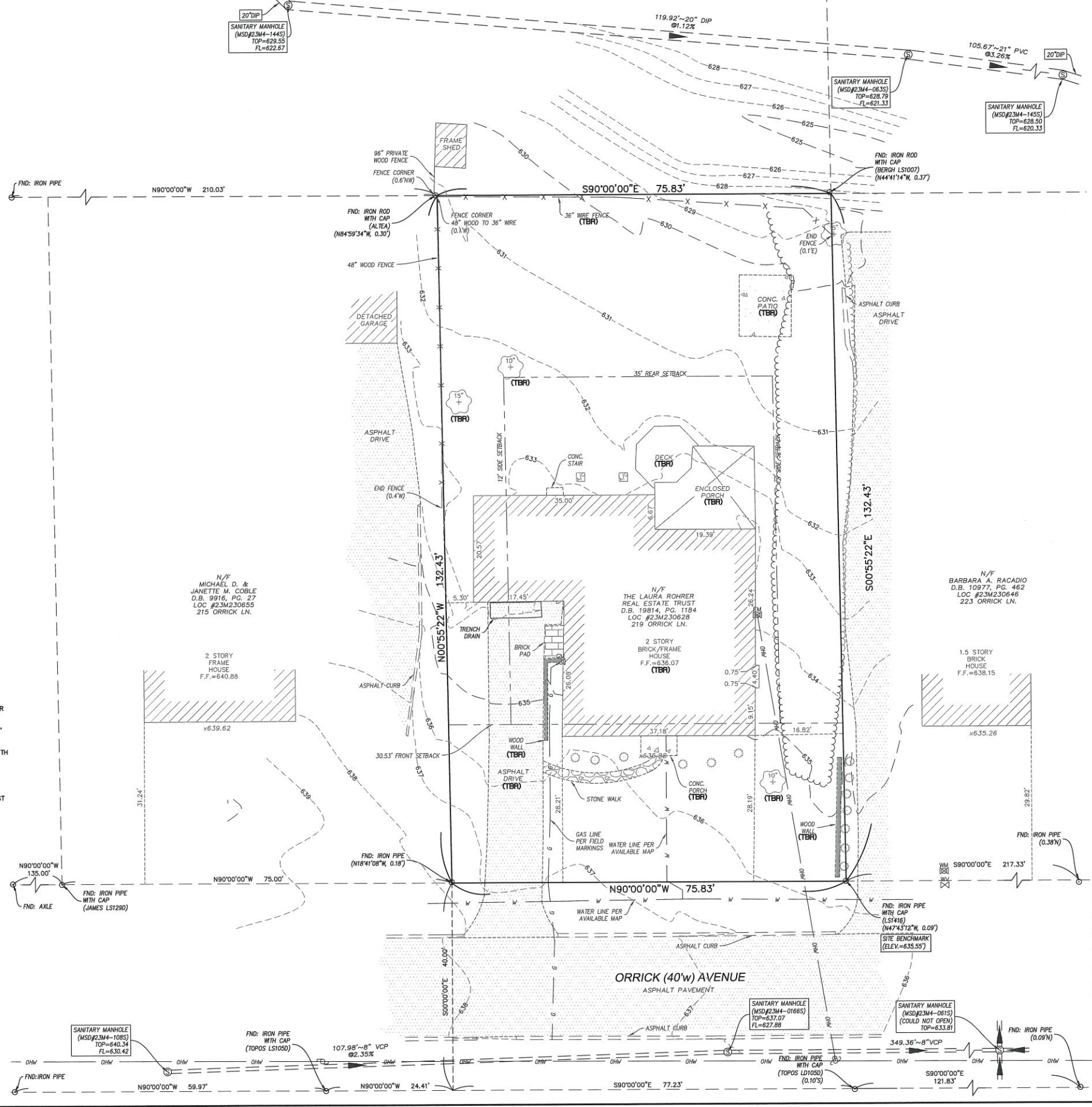
**BENCHMARK:**  
ST. LOUIS COUNTY BENCHMARK  
BENCH MARK 18-4072 - ELEVATION 658.82 (NAVD 88)  
CUT SQUARE ON SOUTHEAST QUADRANT OF 30" DIAMETER CIRCULAR CONCRETE BASE FOR TRAFFIC SIGNAL SOUTHEAST OF NORTH KIRKWOOD ROAD (A.K.A. LINDBERGH BLVD) AND ESSEX AVENUE, ROUGHLY 5.3' EAST OF WALK ALONG KIRKWOOD ROAD, 19' SOUTH OF CENTERLINE ESSEX AVENUE, 11' NORTH OF CURVED END STONE RETAINING WALL, AND NORTHWEST OF THE LOWER INSIDE CORNER OF A SMALL TREATED LANDSCAPE TIMBER KNEE WALL SOUTH AND EAST OF THE TRAFFIC SIGNAL BASE.

**SITE BENCHMARK:**  
IRON PIPE WITH CAP - ELEVATION 635.55' (NAVD 88)  
IRON PIPE WITH CAP MARKED "LS1416" LOCATED AT THE SOUTHEAST CORNER OF SUBJECT TRACT AS SHOWN HEREON.

**EXISTING UTILITIES NOTES**

- ALL DESTRUCTION OF EXISTING UTILITY TAPS SHALL BE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S SPECIFICATIONS, INCLUDING FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE TO CONTACT AND IDENTIFY ALL UTILITIES AND PERFORM WORK IN A SAFE AND RESPONSIBLE MANNER.
- THE SERVICEABILITY OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR / HOMEOWNER, ANY AND ALL REQUIREMENTS FOR EXISTING OR PROPOSED FLOW RATES, FIRE PROTECTION, CONNECTION FEES OR REQUIRED STUDIES ARE NOT THE RESPONSIBILITY OF THE STERLING COMPANY.
- THE STERLING COMPANY ASSUMES NO RESPONSIBILITY FOR CONTRACTOR'S WORK OR FOR ANY WORK NOT SPECIFICALLY MENTIONED.

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo



**SURVEYOR'S NOTES**

- THIS TRACT CONTAINS 10,041 SQUARE FEET OR 0.230 ACRES, MORE OR LESS.
- BASIS OF BEARINGS: THE ASSUMED BEARINGS ARE BASED ON THE ASSESSOR PLAT OF THE ST. LOUIS COUNTY RECORDS.
- SOURCE OF RECORD TITLE: THE LAURA ROHRER REAL ESTATE TRUST IS DESCRIBED AS THE OWNERS AS RECORDED IN DEED BOOK 19814, PAGE 1184 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMO) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.

**TITLE NOTES**

FOR EASEMENTS, THE STERLING COMPANY HAS USED, EXCLUSIVELY, A TITLE COMMITMENT BY INVESTOR'S TITLE COMPANY, WITH FILE NUMBER 604835 WITH AN EFFECTIVE DATE OF DECEMBER 29, 2017 AT 8:00 AM. THE NOTES REGARDING SCHEDULE B, SECTION II OF ABOVE COMMITMENT ARE AS FOLLOWS:

ITEMS 1-6: GENERAL EXCEPTIONS NOT PERTAINING TO SURVEY - NO COMMENT BY SURVEYOR.

ITEM 7: OFFICIAL HISTORIC DISTRICT DESIGNATION AS RECORDED IN BOOK 19435 PAGE 138. ACCORDING TO THE AFFIDAVIT AS RECORDED IN BOOK 19435 PAGE 138, THE SUBJECT PROPERTY IS DESIGNATED AND LISTED IN THE KIRKWOOD LOCAL HISTORIC DISTRICT, SO ANY PROPOSED NEW CONSTRUCTION TO THE SUBJECT PROPERTY REQUIRING A BUILDING PERMIT MUST FIRST BE SENT TO THE CITY OF KIRKWOOD'S LANDMARKS COMMISSION FOR REVIEW AND COMMENT AND THE COMMISSION MAY STAY DEMOLITION OF ANY STRUCTURE FOR A PERIOD OF 60 TO 270 DAYS.

ITEMS 8-12: GENERAL EXCEPTIONS NOT PERTAINING TO SURVEY - NO COMMENT BY SURVEYOR.

Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440

**Notes:**

- Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for brick veneer.
- All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.
- Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
- Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
- This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
- Elevation Examples: 714.0(E)=Existing Elevation, 714.0(F)=Proposed Elevation.

THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

THE STERLING COMPANY  
MO. REG. 307-D

JAMEY A. HENSON, P.L.S.  
MO. REG. L.S. #200717983

DATE

| ISSUE | REMARKS/DATE |
|-------|--------------|
| 1     |              |

PREPARED FOR:  
**ELLIE CADE CUSTOM HOMES**  
12990 MANCHESTER ROAD, SUITE 002  
DES PERES, MO 63131  
314-562-0012

PREPARED BY:  
**THE STERLING CO.**  
ENGINEERS & SURVEYORS  
5065 NEW BALMARTIN ROAD  
ST. LOUIS, MISSOURI 63129  
(314)-467-0440 FAX 487-8944  
E-Mail: Sterling@sterling-eng-sur.com

|                                       |        |           |  |          |        |
|---------------------------------------|--------|-----------|--|----------|--------|
| DRAWN:                                | M.T.G. | DESIGNED: |  | CHECKED: | J.A.H. |
| <b>219 ORRICK LANE</b>                |        |           |  |          |        |
| EXISTING CONDITIONS / DEMOLITION PLAN |        |           |  |          |        |

|                       |    |    |       |
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**ABBREVIATIONS:**  
 CONC. - CONCRETE  
 N/F - NOW OR FORMERLY  
 P.B. - PLAT BOOK  
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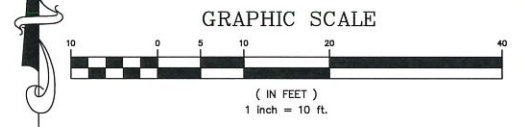
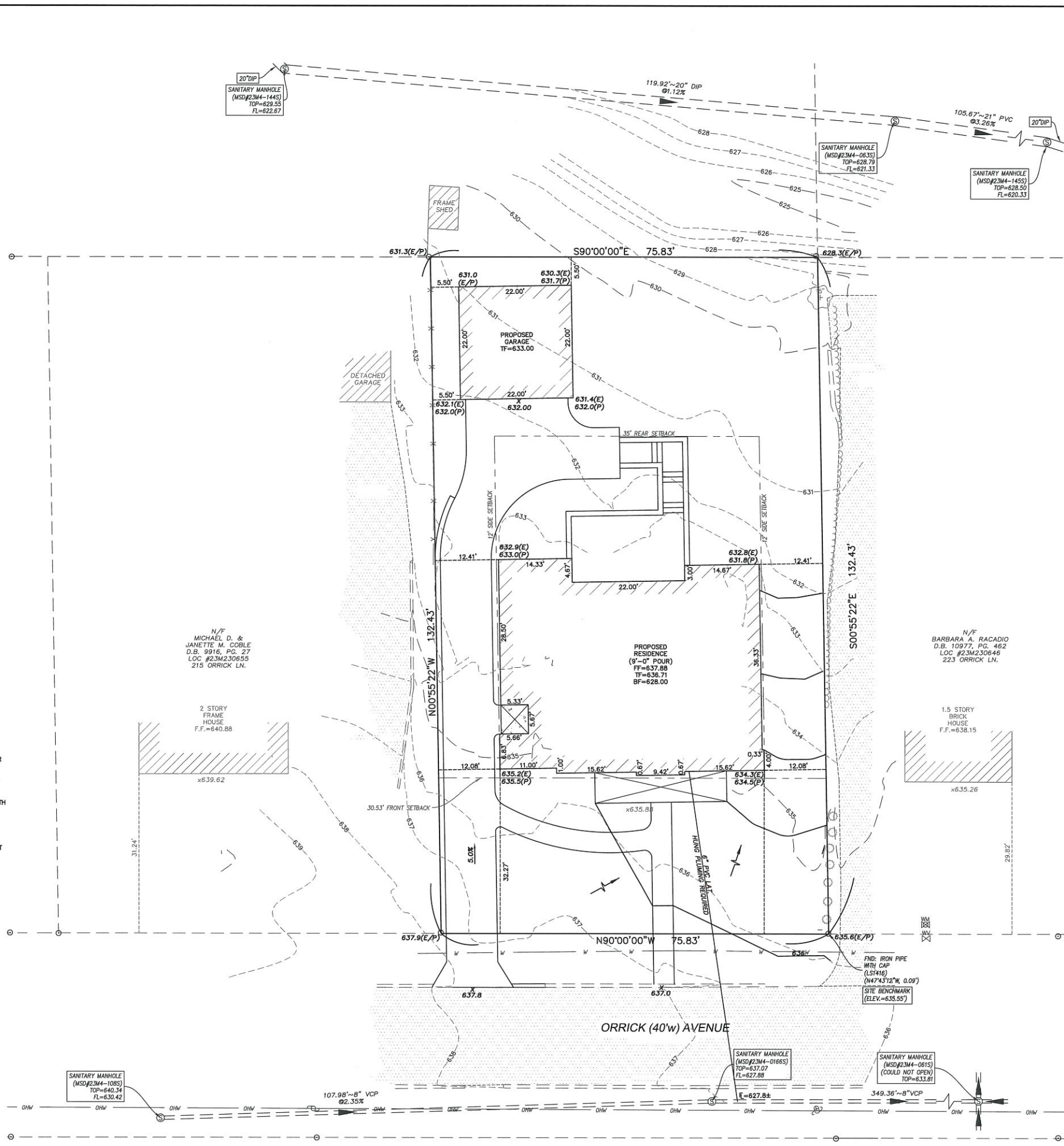
**LEGEND:**

- TREE LINE
- FENCE LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- OVERHEAD WIRE
- UNDERGROUND SEWER LINE
- BUILDING
- UTILITY POLE
- UTILITY POLE W/ TRANSFORMER
- ELECTRIC METER
- WATER METER
- GAS METER
- WATER VALVE
- A/C UNIT
- SANITARY MANHOLE
- BUSH/SHRUB
- TREE
- DENOTES SEMI-PERMANENT MONUMENT.
- FOUND IRON PIPE

**BENCHMARK:**  
 ST. LOUIS COUNTY BENCHMARK  
 BENCH MARK: 18-407; ELEVATION 658.82 (NAVD 88)  
 CUT SQUARE ON SOUTHEAST QUADRANT OF 30" DIAMETER CIRCULAR CONCRETE BASE FOR TRAFFIC SIGNAL SOUTHEAST OF NORTH KIRKWOOD ROAD (A.K.A. LINDBERGH BLVD) AND ESSEX AVENUE, ROUGHLY 5.3' EAST OF BACK OF WALK ALONG KIRKWOOD ROAD, 19' SOUTH OF CENTERLINE ESSEX AVENUE, 11' NORTH OF CURVED END STONE RETAINING WALL, AND NORTHWEST OF THE LOWER INSIDE CORNER OF A SMALL TREATED LANDSCAPE TIMBER KNEE WALL SOUTH AND EAST OF THE TRAFFIC SIGNAL BASE.

**SITE BENCHMARK:**  
 IRON PIPE WITH CAP; ELEVATION 635.55' (NAVD 88)  
 IRON PIPE WITH CAP MARKED "LS1418" LOCATED AT THE SOUTHEAST CORNER OF SUBJECT TRACT AS SHOWN HEREON.

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo



**SITE NOTES:**

- PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP TO BE POSITIVE FLOW TO THE MAIN.
- THE UTILITY CONNECTION LOCATION AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXISTING SANITARY CONNECTION LOCATION IS ASSUMED AND SHALL BE VERIFIED BY THE CONTRACTOR FOR THE USABILITY OF THE CONNECTION.

| FINISH FLOOR CALCULATIONS  |  |
|--|--|
| FF @ 215 = 640.88  | SPOT GRADE AT CENTER OF HOUSE = 635.88 |
| FF @ 223 = 638.15  |  |
| AVERAGE = 639.52   |  |
| 640.88 - 639.62 = 1.26, 638.15 - 635.26 = 2.89   |  |
| 1.26 + 2.89 = 4.15 / 2 = 2.08  |  |
| THE FINISH FLOOR IS SET USING THE EXISTING SPOT GRADE AND ADDING 24" TO THE ELEVATION. |  |
| MAXIMUM FF IS 637.88 (EX SPOT GRADE + 24")   |  |

Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440

Notes:

- Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for brick veneer.
- All wood framing members that rest on top of the foundation located less than 6 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.
- Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
- Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
- This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
- Elevation Examples: 714.0(E)=Existing Elevation, 714.0(P)=Proposed Elevation.

THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

THE STERLING COMPANY  
 MO. REG. 907-D

JAMEY A. HENSON, P.L.S.  
 MO. REG. L.S. #2007017983

DATE

| ISSUE | REMARKS/DATE |
|-------|--------------|
| 1     |              |

PREPARED FOR:  
**ELLIE CADE CUSTOM HOMES**  
 12990 MANCHESTER ROAD, SUITE 002  
 DES PERES, MO 63131  
 314-562-0012

PREPARED BY:  
**THE STERLING CO.**  
 ENGINEERS & SURVEYORS  
 5065 NEW BAUMGARTNER ROAD  
 ST. LOUIS, MISSOURI 63129  
 (314) 487-0440 FAX 487-8944  
 E-Mail: Sterling@sterling-eng-sur.com

PROJECT: **219 ORRICK LANE**

SHEET TITLE: **SITE PLAN**

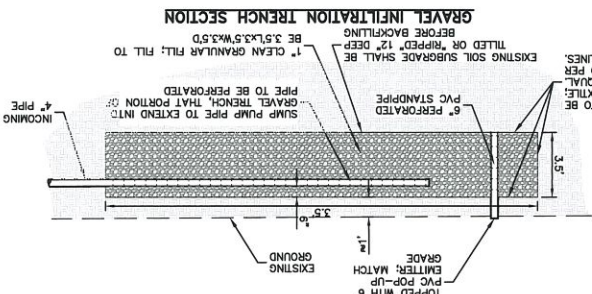
DRAWN: M.T.G.  
 DESIGNED:  
 CHECKED: J.A.H.

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| FILE NAME                                |    | OF    |



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLIANCE WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

- NOTES**
1. THE UTILITY SHALL DISCHARGE TO SPLASH BLOCKS UNLESS NOTED OTHERWISE.
  2. THE PLACEMENT OF THE POP-UP EMITTERS TO BE DETERMINED IN THE FIELD. PLACEMENT SHALL ALLOW FOR STORM WATER TO BE ABSORBED PRIOR TO CONCENTRATING RUNOFF ONTO ADJACENT PROPERTIES.
  3. THE CONTRACTOR IS TO MAINTAIN THE SHEET FLOW FOR THE STORM WATER AND SHALL NOT RUNOFF ONTO ADJACENT PROPERTY.
  4. CONTRACTOR TO DETERMINE THE LOCATION OF THE GRAVEL TRENCH IN THE FIELD FOR THE SUMP PUMP DISCHARGE. THE DIMENSIONS AS SHOWN ARE THE MINIMUM REQUIREMENT AND THE DISTANCE FROM ANY PROPERTY LINE SHALL BE A MINIMUM OF TEN FEET.



Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440

1. Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for brick veneer.

2. All wood framing members that rest on top of the foundation located less than 6 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.

3. Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a walk.

4. Foundation footings shall be constructed so as to maintain a 2" depth of earth cover or as required by local building codes.

5. This plot plan conforms to 2005 ST. LOUIS COUNTY CODE.

6. Elevation Examples: 714.0(2)=Existing Elevation, 714.0(7)=Proposed Elevation.

BOUNDARY SURVEYS IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

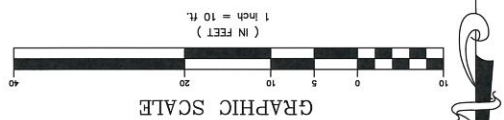
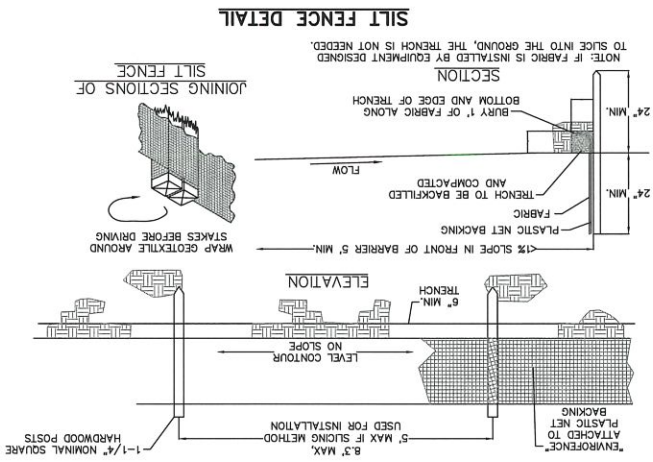
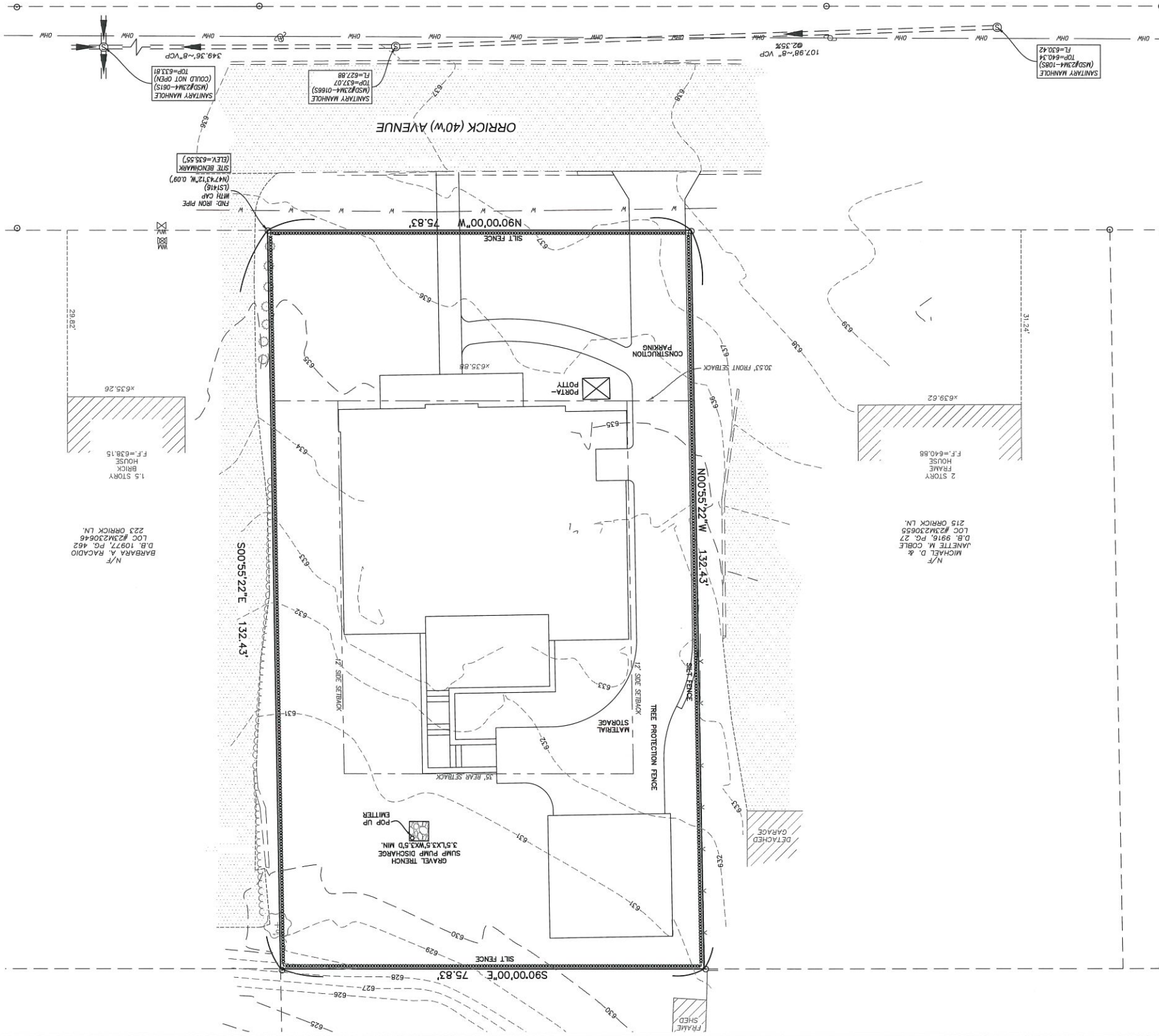
THIS IS NOT A SURVEY AND DOES NOT MEET THE MISSOURI STANDARDS FOR PROPERTY SURVEYS.

THE STERLING COMPANY

MO. REG. 307-D

JAMES A. HENSON, P.L.S.  
MO. REG. L.S. #2007017893

DATE \_\_\_\_\_



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| M.S.D. | P# N/A |    |     |
| SHEET  | 3      |    |     |
| OF     | 3      |    |     |

PROJECT: **219 ORRICK LANE**

SHEET TITLE: **ROOF DRAIN / STORM PLAN**

DRAWN: M.T.G.

DESIGNED: J.A.H.

CHECKED: J.A.H.

PREPARED BY: **THE STERLING CO.**

ENGINEERS & SURVEYORS

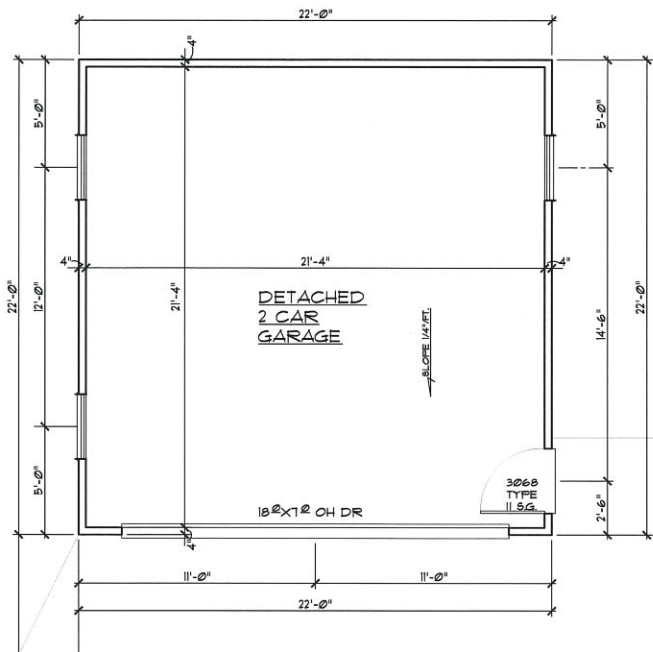
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PREPARED FOR: **ELLIE CADE CUSTOM HOMES**

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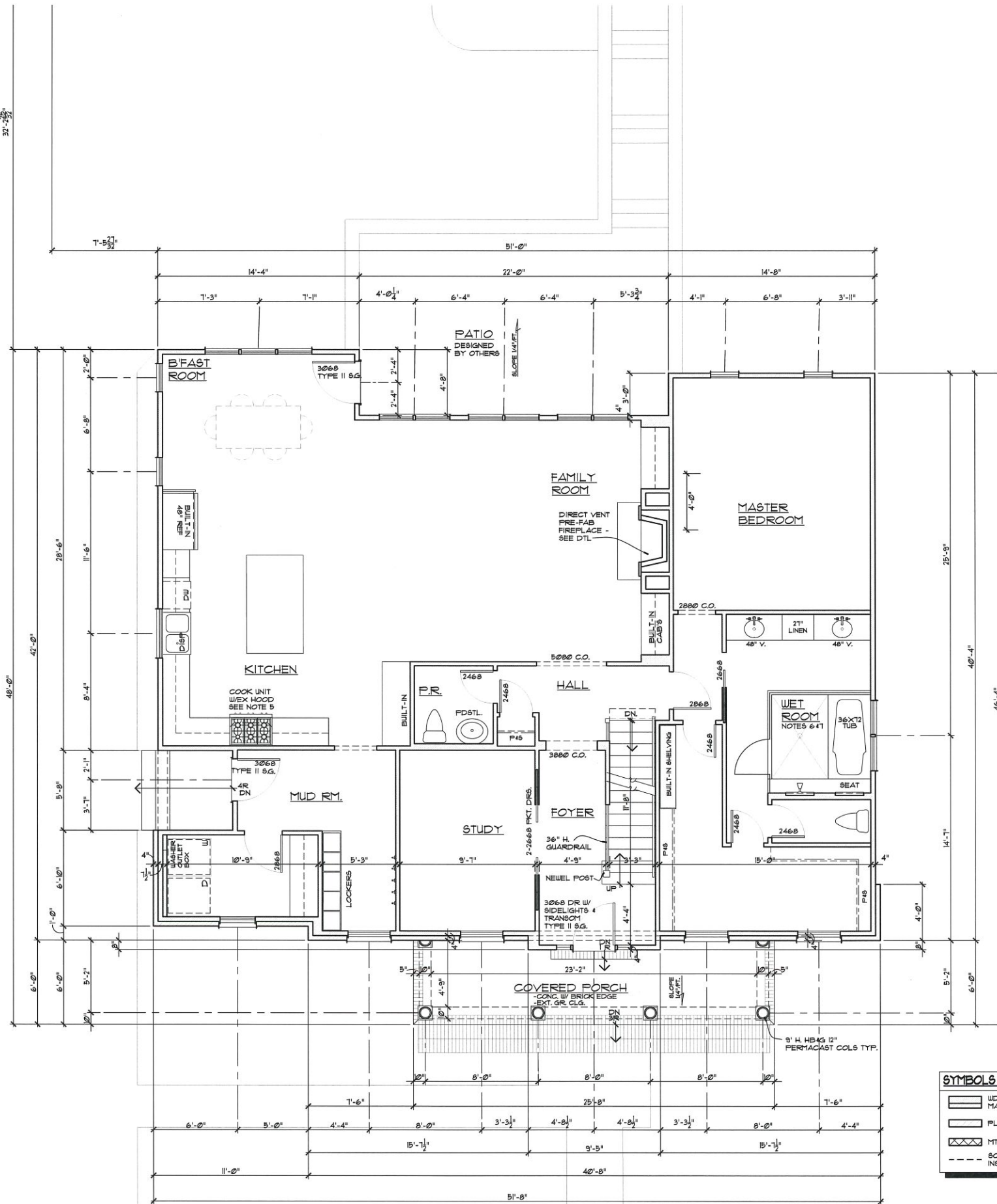




**GARAGE PLAN**  
1/4" = 1'-0"  
484 SQUARE FEET

**FIRST FLOOR DRAWING NOTES**

1. ALL INTERIOR WALLS TO BE 3/4" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
2. SEE OTHER PLANS/ELEVATIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
3. PREFAB ZERO CLEARANCE FIREPLACE: MODEL: CD4236. MANUF.: HEATILATOR OR APPROVED EQUAL. PROVIDE OUTSIDE AIR KIT.
4. PROVIDE 2" MINIMUM CLEARANCE TO COMBUSTIBLES AT ALL GAS FLUES, TYPICAL.
5. 30" RANGE W/ OVEN & EXHAUST HOOD, MECH. CONTRACTOR TO VERIFY CFM FOR ADEQUATE AIR INTAKE. ALSO SEE GENERAL NOTES.
6. WET ROOM WALLS: TILE OVER THINSET OVER WATERPROOF MEMBRANE - OVERLAP & SEAL ALL JOINTS.
7. WET ROOM FLOOR: TILE OVER THICKSET (SLOPED TO DRAIN) OVER WATERPROOF MEMBRANE - OVERLAP & SEAL ALL JOINTS.



**SYMBOLS LEGEND**

|  |                       |
|--|-----------------------|
|  | UD. STUDS/MASONRY     |
|  | PLANT LEDGE           |
|  | MTL. STUDS            |
|  | SOUND BATT INSULATION |

**FIRST FLOOR PLAN**

1/4" = 1'-0"  
1984 S.F. • F.F.  
3344 TOTAL S.F.

**THOMAS ALAN GROUP**

THIS DRAWING AND DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS PROJECT ONLY. NO PART OF THIS DRAWING OR ANY OTHER PART THEREOF IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

CHRISTOPHER THOMAS PIKE  
MO# 2011033866  
EXPIRATION DATE: 12/31/19

THE PROFESSIONAL ARCHITECT'S SEAL APPLIED TO THIS DRAWING IS VALID FOR THE ARCHITECT AND HIS OR HER FIRM ONLY. THE SEAL OF ANY OTHER ARCHITECT OR ENGINEER IS NOT VALID. THE ARCHITECT'S SEAL SHALL NOT BE CONSIDERED VALID UNLESS IT IS ACCOMPANIED BY THE ARCHITECT'S EXPRESSED OR IMPLIED AND ALL RESPONSIBILITY FOR SUCH PLANS, SPECIFICATIONS OR DOCUMENTS NOT EXHAUSTING THIS SEAL.

| No. | Description | Date   |
|-----|-------------|--------|
| 1   | Permit Set  | 4/8/19 |

A New Residence for  
**ELLIE CADE  
CUSTOM HOMES**  
219 ORRICK LANE  
KIRKWOOD, MO

**THOMAS ALAN GROUP**  
ARCHITECTURE | DESIGN | INTERIORS  
23 North Gore Ave., Suite 303  
Webster Groves, MO 63119  
(314) 301-9975  
ThomasAlanGroup.com

**FIRST FLOOR  
PLAN**

Sheet Number:

**A4**  
of 16

THIS DRAWING AND DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS PROJECT ONLY. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THIS DRAWING FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

CHRISTOPHER THOMAS PIKE  
MO# 2011033866  
EXPIRATION DATE: 12/31/19

THE PROFESSIONAL ARCHITECT'S SEAL APPLIED TO THIS SHEET APPLIES ONLY TO THE DESIGN AND CONSTRUCTION OF THIS PROJECT. ALL OTHERS, INCLUDING ANY OTHER ARCHITECTS, ENGINEERS, OR OTHER PROFESSIONALS, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS PREPARED BY THIS ARCHITECT, AND THE ARCHITECT EXPRESSLY DISCLAIMS ANY AND ALL LIABILITY FOR SUCH PLANS, DRAWINGS OR DOCUMENTS NOT EXEMPTING HIS SEAL.

| No. | Description | Date   |
|-----|-------------|--------|
| 1   | Permit Set  | 4/8/19 |

A New Residence for:  
**ELLIE CADE  
CUSTOM HOMES**  
219 ORRICK LANE  
KIRKWOOD, MO

**THOMAS ALAN GROUP**  
ARCHITECTURE | DESIGN | INTERIORS  
23 North Gore Ave., Suite 303  
Webster Groves, MO 63119  
(314) 301-9975  
ThomasAlanGroup.com

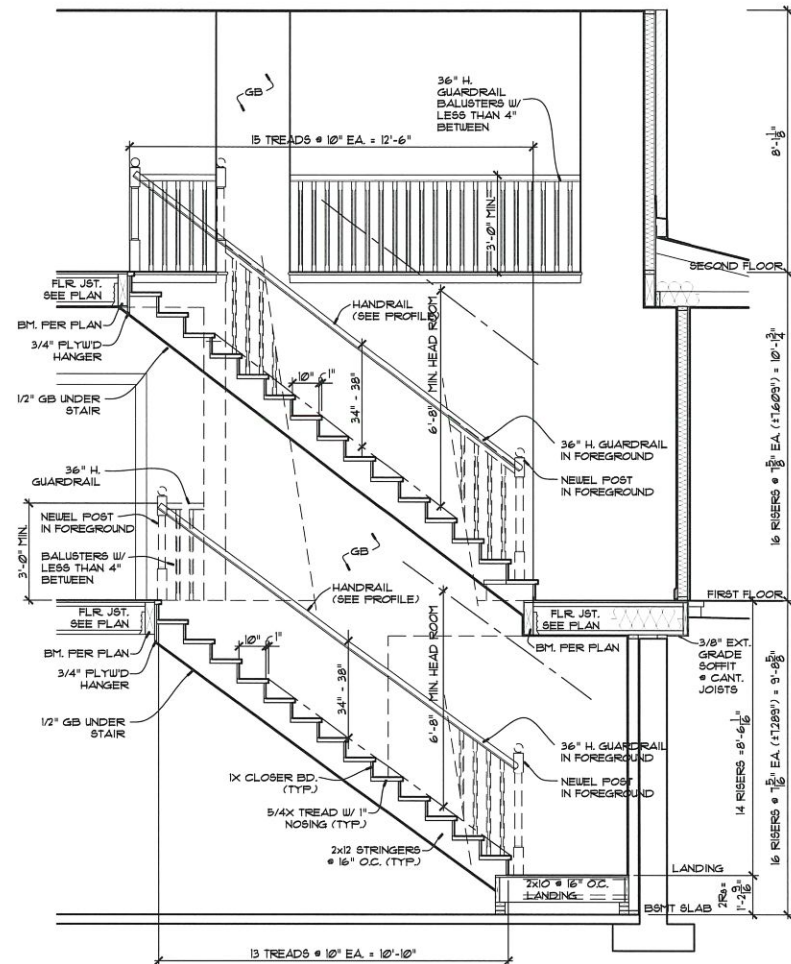
**SECOND FLOOR  
PLAN &  
STAIR SECTION**

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**SECOND FLOOR DRAWING NOTES**

1. ALL INTERIOR WALLS TO BE 3/4" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
2. SEE OTHER PLANS/ELEVATIONS, DETAIL SHEET, AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
3. SECOND FLR. FURNACE SHALL BE SET IN OVERFLOW DRAIN PAN. PROVIDE SOUND BATT'S AROUND MECH. RM. INSTALL 1/2" HOMISOTE SOUND BRD. UNDER DW AND WEATHER STRIP DR FOR SOUND CONTROL. MECH. CONTR TO SUPPLY COMBUSTION AIR. (NO LOUVER)
4. PROVIDE 2" MINIMUM CLEARANCE TO COMBUSTIBLES AT ALL GAS FLUES, TYPICAL.



**1 STAIR SECTION**  
3/8" = 1'-0"

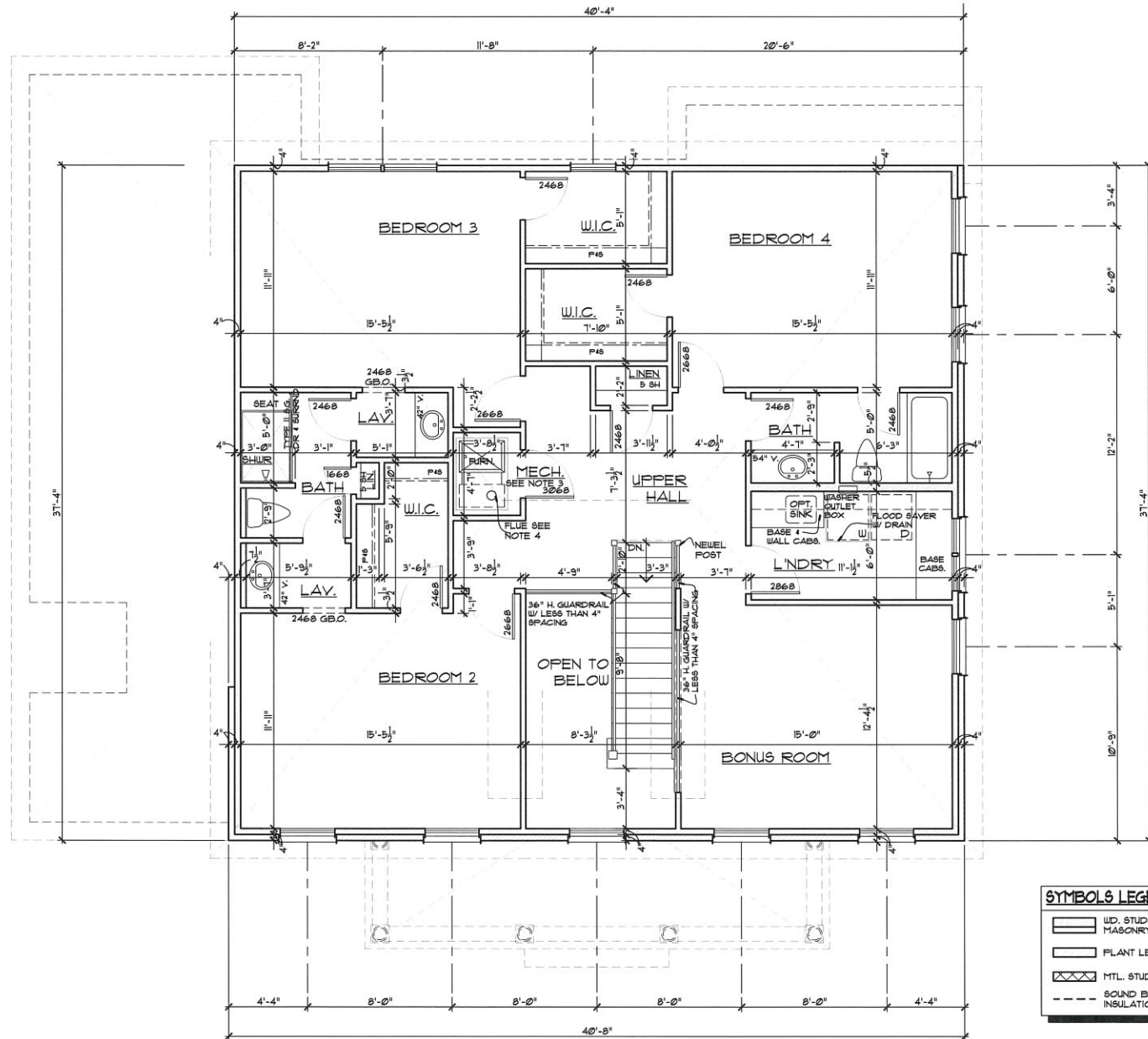
**STAIR SECTION NOTES**

1. RISERS MUST BE SOLID OR HAVE A TOE BOARD OR OTHER APPROVED GUARD METHOD WHICH LIMITS THE RISER OPENING TO LESS THAN 4". OPEN RISERS WITHOUT A TOE BOARD OR OTHER APPROVED GUARD ARE PROHIBITED. EXCEPTION: THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30" OR LESS.
2. OPEN GUARDS SHALL HAVE INTERMEDIATE VERTICAL BALUSTERS SPACED LESS THAN 4" APART. EXCEPTION: OPENINGS ON THE SIDE(S) OF A STAIR SHALL HAVE BALUSTERS SPACED LESS THAN 4 3/8" APART.
3. MAXIMUM VERTICAL RISE BETWEEN LANDINGS SHALL BE NO LARGER THAN 141".



**HANDRAIL PROFILE**

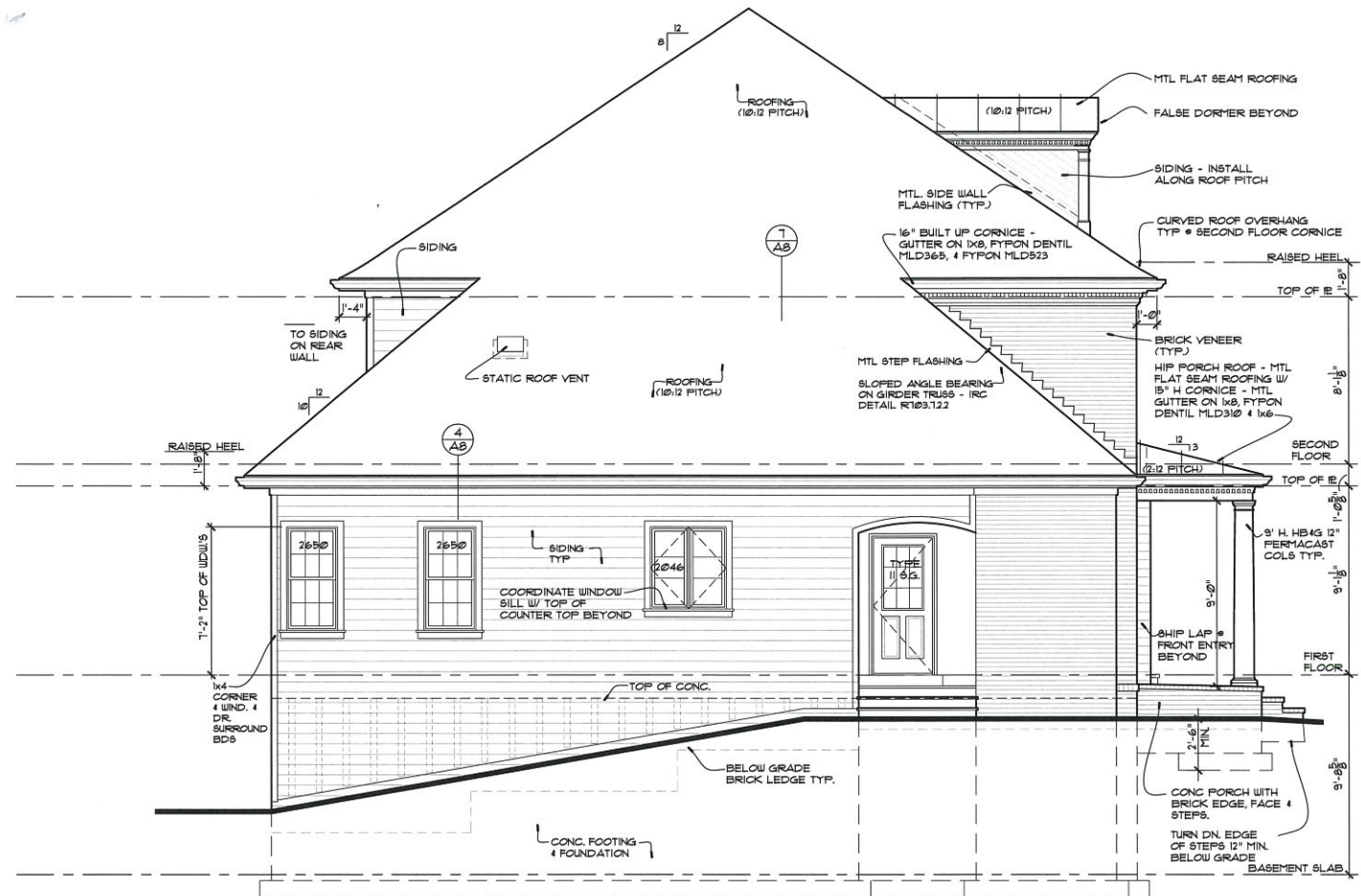
NOTE: THIS SHAPE OR OTHER APPROVED SHAPES TO HAVE 2 1/4" MAX. HORIZ. WIDTH 4" MIN. 4 # 1/4" MAX. GRASPABLE PERIMETER DIMENSION. A GRASPABLE PERIMETER EXCEEDING 6 1/4" SHALL COMPLY WITH SECTION R301.1.3



**SECOND FLOOR PLAN**

1/4" = 1'-0"



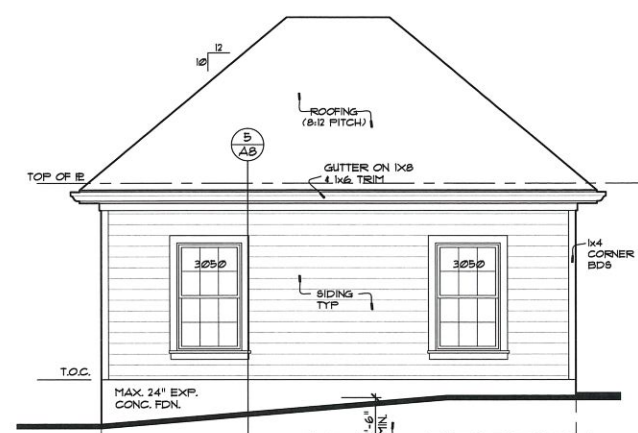


**LEFT SIDE ELEVATION**  
1/4" = 1'-0"

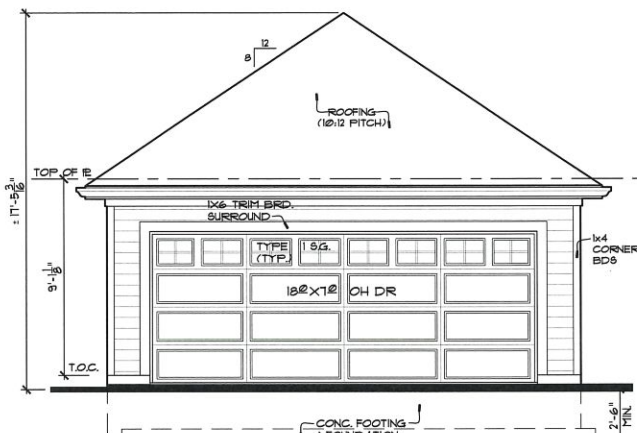
**ELEVATION DRAWING NOTES**

1. GRADE: SLOPE AWAY FROM FOUNDATION A MINIMUM OF 6" DROP WITHIN THE FIRST 10' OR TO A SWALE.
2. FOOTINGS & PIERS: SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL OR PREPARED FILL.
3. MASONRY VENEER: ALL SOLDIER AND ROLLOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
4. CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN. 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
5. DECK DOORS: PROVIDE GUARDRAIL ASSEMBLY OUTSIDE (2X4 TOP & BOTTOM RAIL W/ 2X2 BALUSTERS SPACED LESS THAN 4" APART; 36" MIN. HEIGHT ABV. FINISH FLJ) UNTIL DECK IS BUILT AND APPROVED.
6. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. OPEN VALLEYS: LINING TO BE CORROSION RESISTANT METAL FLASHING A MIN. OF 24" WIDE. CLOSED VALLEYS: MIN. ONE PLY OF SMOOTH ROLL ROOFING (TYPE II OR III) A MINIMUM OF 36" WIDE.

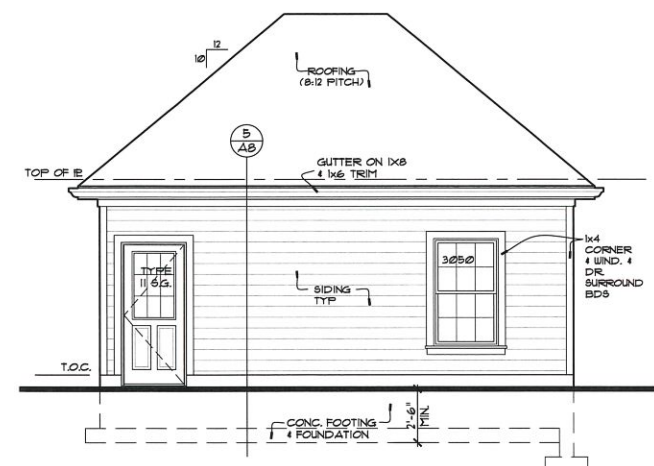
7. CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
8. BASEMENT HAVING CONC. FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
9. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
10. WINDOW SILLS, WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND WHERE THE WINDOW IS LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE OR OUTSIDE SURFACE BELOW. THE WINDOW SHOULD BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE PER SECTION R612.4.2 OF THE 2020 IRC.
11. ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION R319.



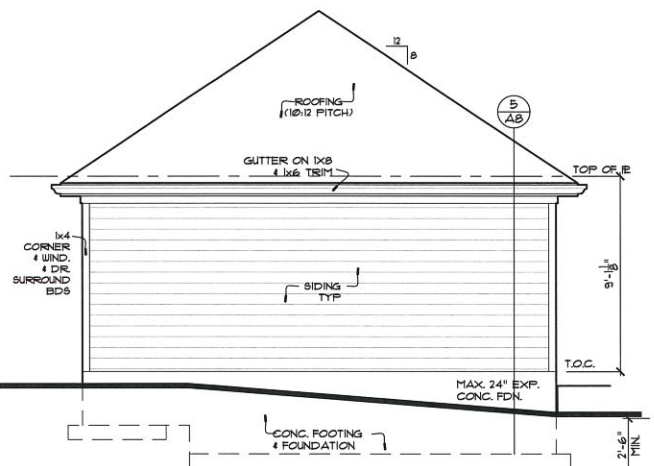
**GARAGE LEFT ELEVATION**  
1/4" = 1'-0"



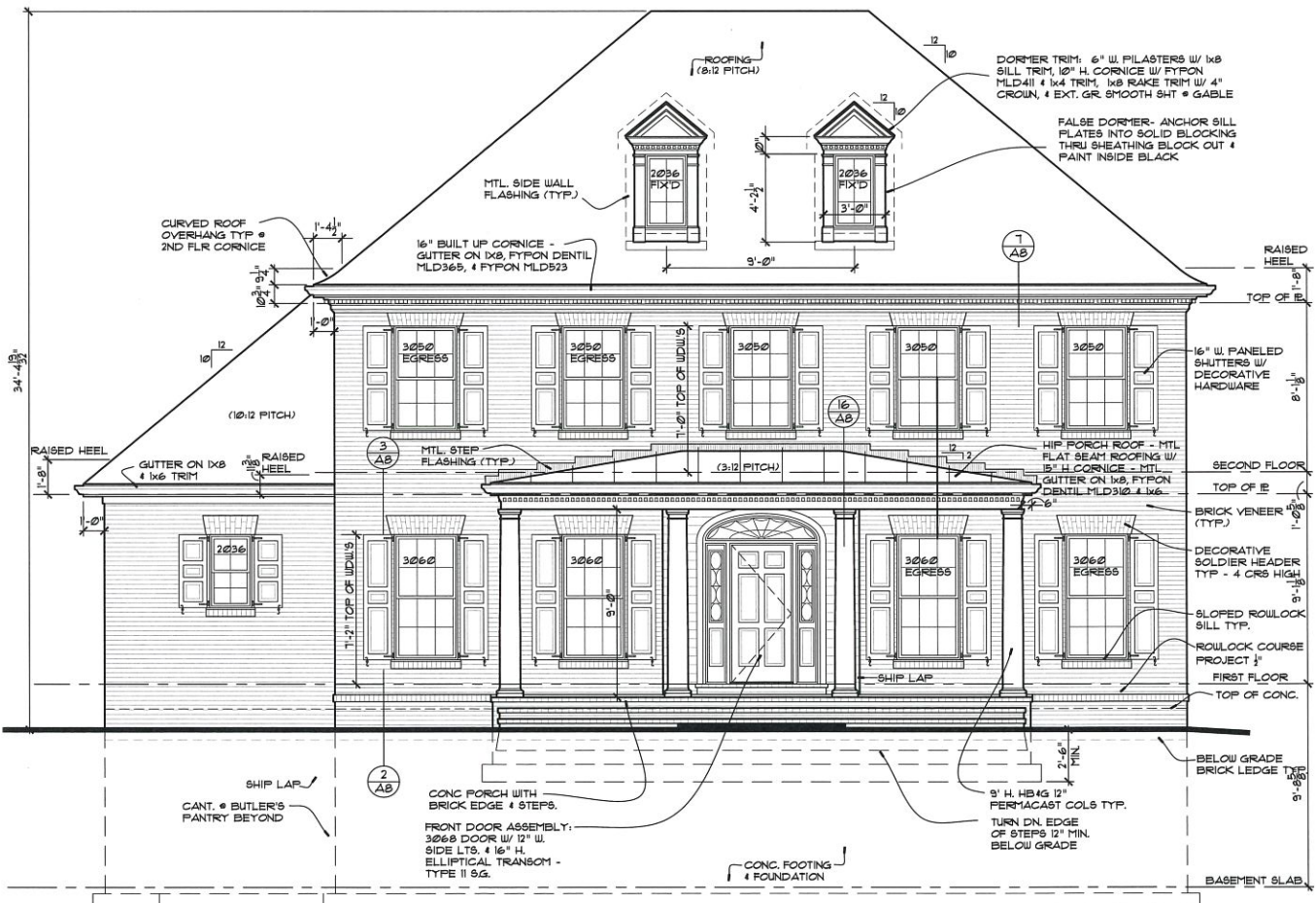
**GARAGE FRONT ELEVATION**  
1/4" = 1'-0"



**GARAGE RIGHT ELEVATION**  
1/4" = 1'-0"



**GARAGE REAR ELEVATION**  
1/4" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"

**THOMAS ALAN GROUP**

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| No. | Date   | Description |
|-----|--------|-------------|
| 1   | 4/8/19 | Permit Set  |

A New Residence for:

**ELLIE CADE CUSTOM HOMES**  
219 ORRICK LANE  
KIRKWOOD, MO

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ARCHITECTURE | DESIGN | INTERIORS  
23 North Gore Ave., Suite 303  
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**FRONT & LEFT-SIDE & GARAGE ELEVATIONS**

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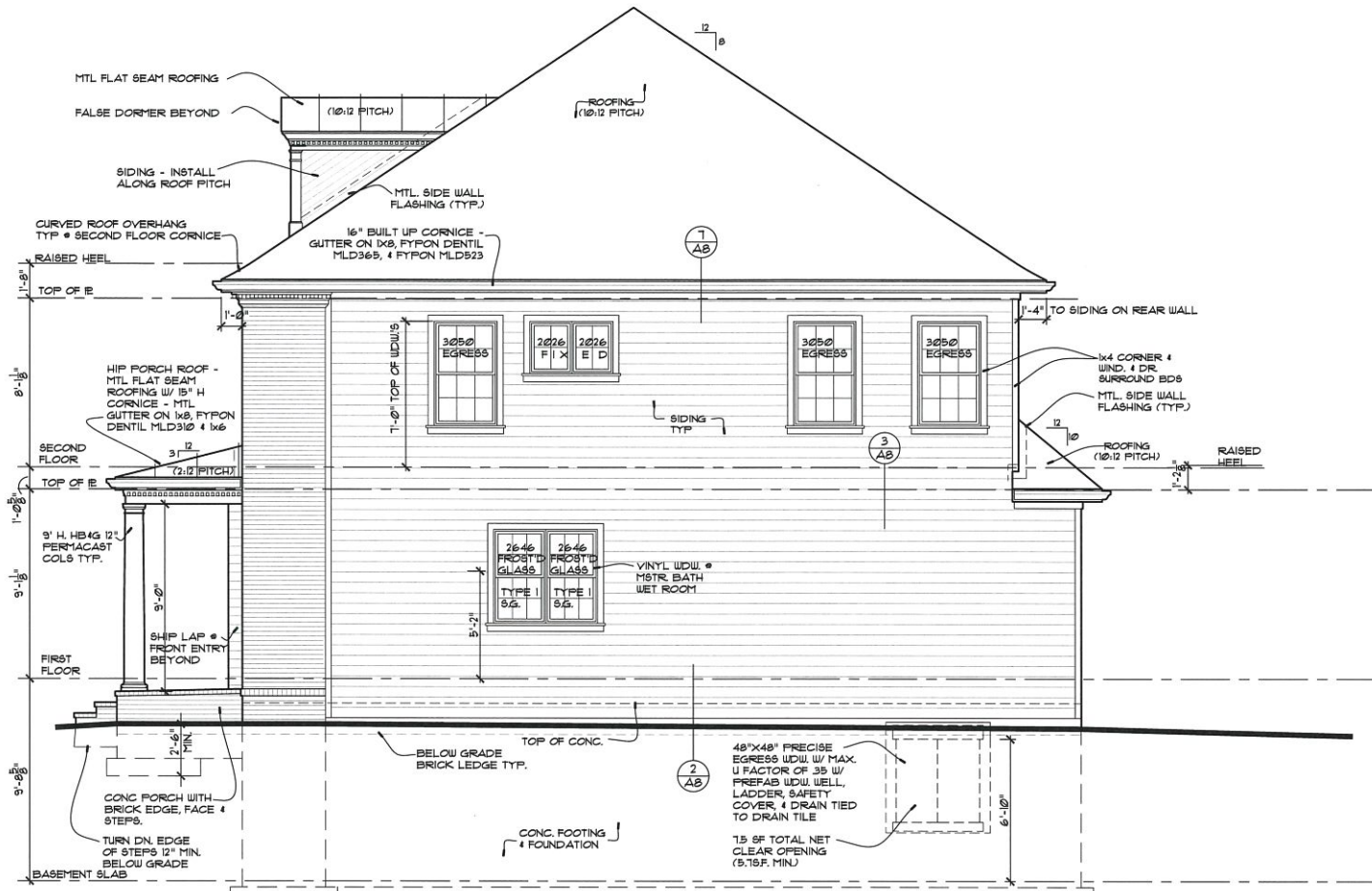
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REAR & RT. SIDE ELEVATIONS

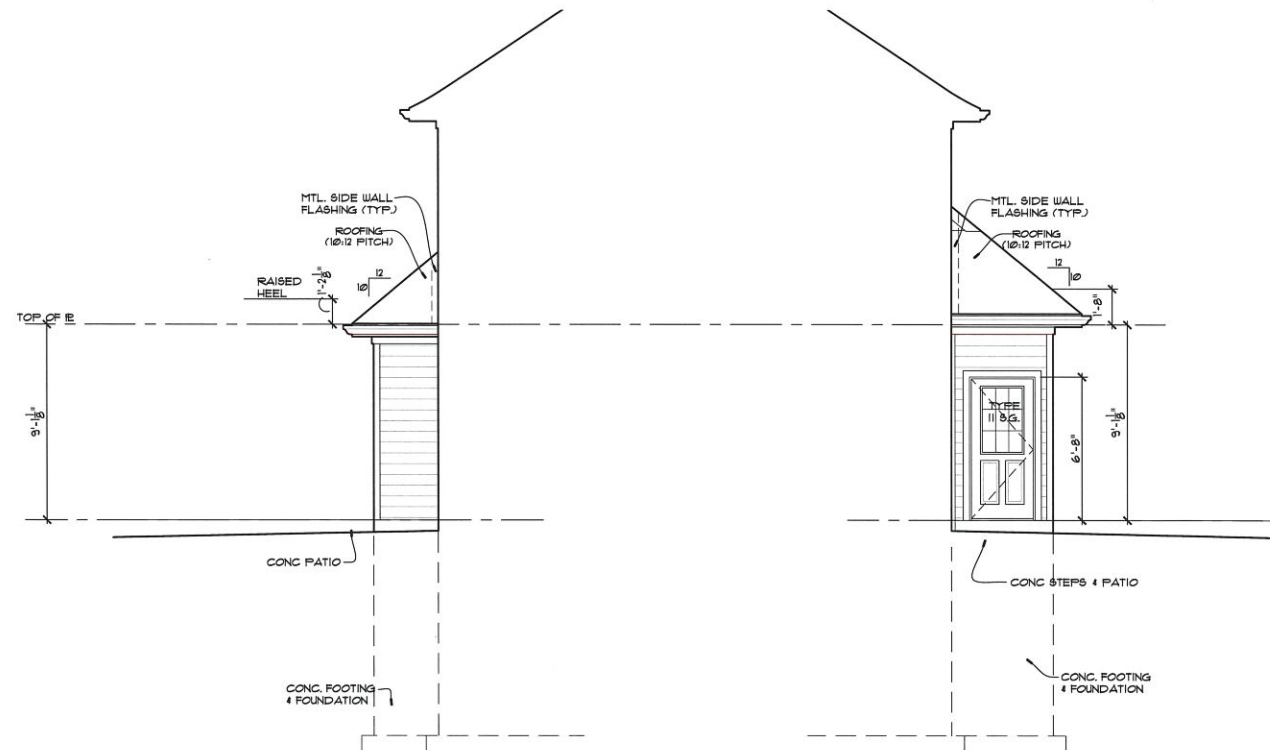
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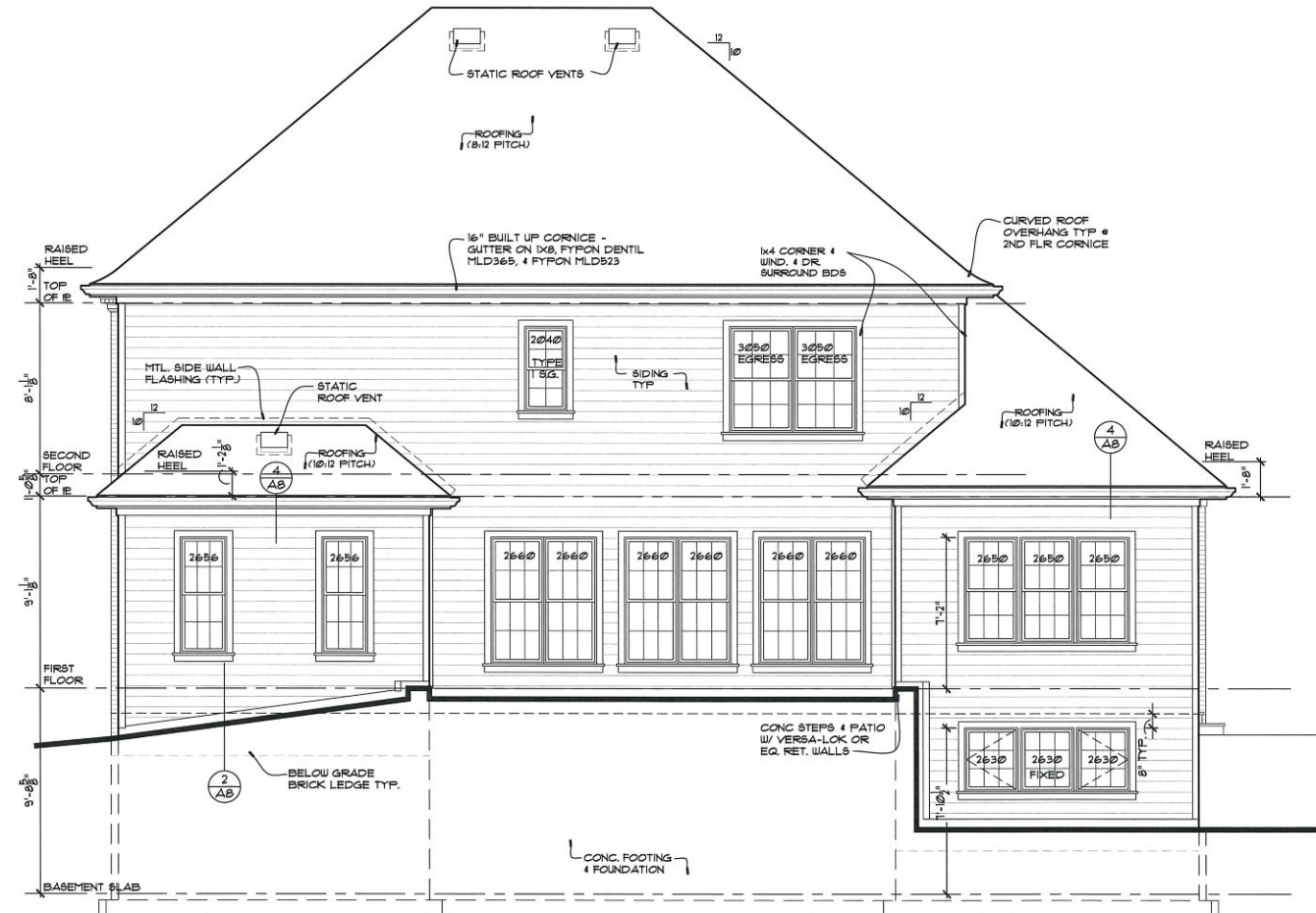
RIGHT SIDE ELEVATION

1/4" = 1'-0"



PARTIAL ELEVATIONS & REAR PATIO

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

ELEVATION DRAWING NOTES

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- ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION R310.





ELLIE CADE  
CUSTOM HOMES



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