



WHERE COMMUNITY AND SPIRIT MEET

**Kirkwood City Council  
Agenda  
Thursday, June 20, 2019, 7:00 p.m.  
Kirkwood City Hall  
City Council Chambers  
139 South Kirkwood Road  
Kirkwood, MO 63122  
Posted on June 14, 2019**

**I. PLEDGE OF ALLEGIANCE**

**II. ROLL CALL**

**III. INTRODUCTIONS AND RECOGNITIONS**

**IV. PRESENTATIONS**

**V. PUBLIC HEARINGS**

**VI. PUBLIC COMMENTS – 3 MINUTE LIMIT PER PERSON**

The Public Comments portion of the meeting is an opportunity for the City Council to listen to comments from citizens. It is not a question and answer session and the City Council will not respond to comments or answer questions during this period. The Mayor may refer any matter brought up to the City Council to the Chief Administrative Officer or City Clerk if action is needed.

**VII. CONSENT AGENDA**

All items within the Consent Agenda will be enacted by one motion of the Council with no separate discussion. If separate discussion is desired, that item may be removed from the Consent Agenda and placed on the Regular Agenda by request of a member of the City Council. The expenditures listed in the consent agenda are items already approved in the current city budget.

- a) Approval of the May 16, 2019 City Council Meeting Minutes (***Continued from June 6, 2019***)
- b) Approval of the June 6, 2019 City Council Meeting Minutes
- c) Resolution 89-2019, accepting the bid of TraMar Contracting, Inc. for the 2019 Acrylic Waterborne Pavement Markings and authorizing and directing the Mayor to enter into a contract (\$36,467)
- d) Resolution 90-2019, accepting the bid of Spencer Contracting Co. for South Fillmore / East Jefferson Sidewalk Extension and authorizing and directing the Mayor to enter into a contract (not to exceed amount of \$97,101.95)
- e) Resolution 91-2019, accepting the bid of People Ready for Temporary Labor Services on an as needed basis with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval for the Sanitation Division and authorizing and directing the Mayor to enter into a contract (at the rates provided in the memo)
- f) Resolution 93-2019, accepting the proposal of Pitzman's Co. of Surveyors and Engineers for Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill on East Monroe Avenue and authorizing and directing the Mayor to enter into a contract (not to exceed amount of \$16,960)
- g) Resolution 95-2019, accepting the proposal of Jacobs Engineering for Professional Design Services for the roadway and intersection along Monroe



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Avenue and Taylor Avenue and authorizing and directing the Mayor to enter into a contract (not to exceed amount of \$78,353)

- h) Resolution 97-2019, accepting the bid of Badger Daylighting Corp. for Daylighting Hydrovac Services for the Electric Department with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and authorizing and directing the Mayor to enter into a contract (at the rates provided in the bid tab sheet)
- i) Resolution 98-2019, accepting the bid of Schaeffer Electric for Street Lighting Services for the Electric Department with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and authorizing and directing the Mayor to enter into a contract (at the rates provided in the memo)
- j) Resolution 99-2019, accepting the bid of Terry's Towing for Towing Services for the with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and authorizing and directing the Mayor to enter into a contract (at the rates provided in the bid tab sheet)
- k) Resolution 100-2019, transferring funds from Account #302-2001-491.10.10 to Account #302-2001-600.75.03, Project #PR2003, accepting the proposal of C&R Mechanical Company for the Kirkwood Community Center Ice Rink – Team Room HVAC System and authorizing and directing the Mayor to enter into a contract (amount not to exceed of \$80,000)

#### **VIII. UNFINISHED BUSINESS**

- 1. Bill 10760, appropriating funds from the GEMT Program Account to multiple accounts (\$140,673)
- 2. Bill 10761, appropriating funds from the Reappropriations Account to Account #505-2215-481.75.15, Project #WA1907 for the Swan Avenue Pump Station project (\$1,358,126)

#### **IX. NEW BUSINESS**

- 1. Bill 10762, amending the provisions of the Municipal Code, Appendix A – Zoning, regarding the regulation of Medical Marijuana
- 2. Bill 10763, granting Special Use Permits for a pet day care and kennel (commercial) with outdoor use at 902 South Kirkwood road, subject to certain conditions
- 3. Bill 10764, granting a Special Use Permit for a restaurant at 151 West Jefferson Avenue, subject to certain conditions
- 4. Bill 10765, vacating a 10' wide easement on a tract of land being part of adjusted parcel 63 and adjusted parcel 64 of Ponca Trails, a subdivision recorded in Plat Book 364, Page 28, in Township 44 North, Range 5 East, located in the City of Kirkwood, St. Louis County, Missouri
- 5. Bill 10766, reappropriating funds from the Reappropriations Account to Account #301-1401-600.75.12, Project #WA1802, from fiscal year 2018/2019 to fiscal year 2019/2020 for the ADA Transition Plan (\$40,548)
- 6. Bill 10767, appropriating funds from the General Fund Fund Balance to Account #101-1101-411.68.01, for the purchase of 11 iPad Pros and Apple Smart



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- Keyboard Folios for the City Council and City staff (\$10,758)
7. Bill 10768, appropriating funds from the Sanitation Fund Fund Balance to Account #509-2315-482.75.05, Project #SA2002, accepting the bid of US Bancorp for Roll-Off Carts Financing for the Sanitation Division and authorizing and directing the Mayor to enter into a contract (\$660,385.51 over five years)
  8. Bill 10769, appropriating funds from the Capital Fund to Account #301-1401-600.75.12, Project #PW2002, for Infill Sidewalk on East Monroe Avenue (\$100,000)
  9. Bill 10770, approving the Final Development Plan for a Community Unit Plan type A and Final Subdivision Plat of an eight-lot subdivision on the properties known as 2017 Lily Avenue and 2040 Boaz Avenue in the City of Kirkwood, St. Louis County, Missouri
  10. Resolution 92-2019, transferring funds from Account #509-2312-482.42.09 to Account #509-2315-482.75.05, Project #SA1902, amending the contract with SCS Engineers for a Single Stream Recycling Characterization Study for the Residential Solid Waste Collection Automation and authorizing and directing the Mayor to enter into an amended contract (in the amount of \$39,940 for a not to exceed amount of \$69,940)
  11. Resolution 94-2019, accepting the bid of Kelp Contracting for Northlin and Southlin Drive Water Main Replacement and Street and Sidewalk Reconstruction and authorizing and directing the Mayor to enter into a contract (not to exceed amount of \$1,054,327.12)
  12. Resolution 96-2019, accepting the proposal of EFK Moen for Preliminary and Right-of-Way Plans on Manchester Road and authorizing and directing the Mayor to enter into a contract (not to exceed amount of \$145,365.11)

**X. CONSENT AGENDA ITEMS FOR DISCUSSION (IF ANY)**

**XI. CITY COUNCIL REPORTS**

**XII. CHIEF ADMINISTRATIVE OFFICER REPORTS**

1. Application for Liquor License to sell Intoxicating Liquor in Original Package, Plus Sunday, for Kirkwood Deli, 500 W. Essex Ave.
2. An Application for Temporary Outdoor Promotional Variance from Superiorland Concessions to sell Blues Hockey Merchandise on the parking lot of 10901 Manchester Road from 8:00 a.m. to 8:00 p.m. daily from June 21, 2019 through July 12, 2019
3. An Application for Temporary Outdoor Promotional Variance from Superiorland Concessions to sell Blues Hockey Merchandise on the parking lot of 401 N. Kirkwood Road from 8:00 a.m. to 8:00 p.m. daily from June 21, 2019 through July 12, 2019

*\*Other Items may be added after the publication of the agenda. Please contact the City Clerk's Office at 822-5802 for any additional information that may have been added after the publication of the agenda.*

**XIII. CITY ATTORNEY REPORTS**



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#### XIV. CITY CLERK REPORTS

1. Report of the June 19, 2019 Planning and Zoning Commission meeting

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#### XV. MEETING ADJOURNMENT

**PLEASE NOTE:** The next regular meeting of the Kirkwood City Council will take place **at 7:00 p.m. on July 3, 2019.**

#### UPCOMING PUBLIC HEARINGS

NONE

#### CONTINUED ITEMS

1. Bill 10759, an ordinance adopting a revised City of Kirkwood Classification and Pay Plan (**Continued to July 3, 2019**)

#### TABLED ITEMS

1. Bill 10645, amending the provisions of the Municipal Code, Appendix A – Zoning, regarding Side Yard Setbacks in the R-3 Single Family Residential District
2. Bill 10690, amending the provisions of the Municipal Code, Appendix A – Zoning, regarding Height Requirement in the B-2 Business District

**Kirkwood City Council:** Mayor Tim Griffin; Council Members Nancy Luetzow, Maggie Duwe, Ellen Edman, Mark Zimmer, Wallace Ward, and Kara Wurtz

**Contact Information:** For full City Council contact information visit [www.kirkwoodmo.org/council](http://www.kirkwoodmo.org/council). To contact the City Clerk call 314-822-5802. To contact the Chief Administrative Officer call 314-822-5803.

**Accommodation:** The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.

## **THE CONSENT AGENDA IS ATTACHED**

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- b) Approval of the June 6, 2019 City Council Meeting Minutes
- c) Resolution 89-2019, accepting the bid of TraMar Contracting, Inc. for the 2019 Acrylic Waterborne Pavement Markings and authorizing and directing the Mayor to enter into a contract (\$36,467)
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- f) Resolution 93-2019, accepting the proposal of Pitzman's Co. of Surveyors and Engineers for Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill on East Monroe Avenue and authorizing and directing the Mayor to enter into a contract (not to exceed amount of \$16,960)
- g) Resolution 95-2019, accepting the proposal of Jacobs Engineering for Professional Design Services for the roadway and intersection along Monroe Avenue and Taylor Avenue and authorizing and directing the Mayor to enter into a contract (not to exceed amount of \$78,353)
- h) Resolution 97-2019, accepting the bid of Badger Daylighting Corp. for Daylighting Hydrovac Services for the Electric Department with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and authorizing and directing the Mayor to enter into a contract (at the rates provided in the bid tab sheet)
- i) Resolution 98-2019, accepting the bid of Schaeffer Electric for Street Lighting Services for the Electric Department with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and authorizing and directing the Mayor to enter into a contract (at the rates provided in the memo)
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- k) Resolution 100-2019, transferring funds from Account #302-2001-491.10.10 to Account #302-2001-600.75.03, Project #PR2003, accepting the proposal of C&R Mechanical Company for the Kirkwood Community Center Ice Rink – Team Room HVAC System and authorizing and directing the Mayor to enter into a contract (amount not to exceed of \$80,000)



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# DRAFT

**Kirkwood City Council  
Kirkwood City Hall  
City Council Chambers  
Thursday, May 16, 2019, 7:00 p.m.**

Pursuant to notice of meeting duly given by the Mayor, the City Council convened on Thursday, May 16, 2019, at 7:00 p.m. at Kirkwood City Hall, 139 South Kirkwood Road, Kirkwood, Missouri. Present were Mayor Griffin, Council Members Duwe, Edman, Luetzow, Wurtz, and Zimmer. Also in attendance were Chief Administrative Officer Russell Hawes, Assistant Chief Administrative Officer Georgia Ragland, City Clerk Laurie Asche, Deputy City Clerk Freddy Doss, and City Attorney John Hessel. Council Member Ward was absent and excused.

## **INTRODUCTIONS AND RECOGNITIONS**

NONE

## **PRESENTATIONS**

Mayor Griffin, Police Chief Brian Murphy, and Police Officer Gary Baldrige presented awards to Police Officers and Dispatchers for their service and efforts during the incident on December 11, 2018. The awards presented are as follows:

- Distinguished Service Award for Valor presented to Police Officer Chris Nelson and Sergeant Ryan Lawrence.
- Award for Excellence presented to dispatchers Laura Janaske and Zachary Schmitt, and Police Officers Scott Kattleman, Jackie Tabers, and Jimmie Patterson.

Chief Administrative Officer Russell Haws reported that the Kirkwood Police Department received international CALEA accreditation. This accreditation is only obtained by 5% of Police Departments in the United States.

Kirkwood Human Rights Commission Member Geoff Morrison presented the Kirkwood Human Rights Commission Essay Contest Winners. The topic of the essay was, “

**1<sup>st</sup> Place:** Casey Stark & Kiden-Aloyse Smith

**2<sup>nd</sup> Place:** Anna Retzlaff

**3<sup>rd</sup> Place:** Anaka Bretzke

## **PUBLIC HEARINGS**

Mayor Griffin recessed the meeting for the purpose of conducting a public hearing regarding allocation of \$46,800 in Community Development Block Grant funds which will become available after January 1, 2020. Mr. Hessel entered the following exhibits into the record: an Affidavit of Publication in the St. Louis Countian on April 2, 2019, as Exhibit 1; an Affidavit of Publication in the Webster Kirkwood Times on March 29, 2019, as Exhibit 2; and the Kirkwood Code of Ordinances as Exhibit 3.



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Assistant Chief Administrative Officer Georgia Ragland presented the matter to the council:

- The funds to be received are the same as last year.
- It is recommended that the City participate with St. Louis County's Home Improvement program. The County would administer the program for the City.
- The City does not receive enough funding to administer the program and that is why St. Louis County handles the program.
- The program is need based and there is currently a waiting list.
- The maximum amount of the grant is \$5,000, the applicant must meet certain income requirements to participate, and they may only participate in the program once.

A resolution will be placed on the June 6, 2019 meeting agenda.

### PUBLIC COMMENTS

1. Bill Ruppert, 1328 Forest Avenue, spoke in regards to the City of Kirkwood publishing an article in Across STL regarding the Kirkwood Train Station. The most recent publication of Across STL has come out. Copies of Across STL were distributed to the Mayor and Council.
2. Ed Golterman, 542 Wooddall, spoke in regards to St. Louis County government and the actions taking place in Jefferson City.

### CONSENT AGENDA

Motion was made by Council Member Luetzow and seconded by Council Member Duwe to approve the Consent Agenda. The Consent Agenda was unanimously approved.

- a) Approval of the May 2, 2019 City Council Meeting Minutes
- b) Resolution 72-2019, transferring funds from the Overtime Account to the Salary Account for the Electric Department (\$10,798)
- c) Resolution 73-2019, transferring funds from the Training Account to the Legal Account for legal expenses the Electric Department (\$9,312)
- d) Resolution 74-2019, transferring funds from the Tree Trimming Account to the Overtime Account for the Electric Department (\$34,568)
- e) Resolution 75-2019, appointing and reappointing members to various Boards and Commissions
- f) Resolution 76-2019, accepting the bid of Elliot Equipment Co. (pursuant to Sourcewell Cooperative Contract) for the purchase of a Freightliner M2 Chassis with NewWay Body for the Sanitation Department and authorizing the issuance of a Purchase Order (\$191,352.17)
- g) Resolution 77-2019, accepting the bid of Intelligent Lighting Creations for the purchase of Kirkwood Performing Arts Center Theatrical Luminaires and accessories and authorizing the issuance of a Purchase Order (\$248,550)



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- h) Resolution 78-2019, accepting the proposal of O'Toole Design Associates for Kirkwood Performing Arts Center Signage/Graphic Design and authorizing and directing the Mayor to enter into a contract (not to exceed of \$21,800)
- i) Resolution 79-2019, authorizing the City to provide insurance coverage effective June 1, 2019 (\$607,551 annually)

### UNFINISHED BUSINESS

Bill 10748, granting a Special Use Permit for a restaurant at 343 South Kirkwood Road subject to certain conditions, was brought before the council.

#### Roll Call:

Mayor Griffin	"Yes"
Council Member Duwe	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	Absent
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10591.

Bill 10749, amending the Kirkwood Code of Ordinances, Chapter 14, Article VIII. Section 14-393 "Schedule C: No Parking Zones" by adding no parking on the south side of Dougherty Ferry Road from Ballas Road eastwardly approximately 250 feet from the prolongation of the edge lines of Ballas Road and Dougherty Ferry Road, was brought before the council.

#### Roll Call:

Mayor Griffin	"Yes"
Council Member Duwe	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	Absent
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10592.





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### NEW BUSINESS

Bill 10751, amending the Kirkwood Code of Ordinances, Chapter 23, Article III. "City Electric System", Division 2. "Rates, Charges & Billing", Section 23-84 "Rates Established", by removing subparagraph (b) in its entirety and renumbering the remaining subparagraphs accordingly, was brought before the council. Motion was made by Council Member Zimmer and seconded by Council Member Edman to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Bill 10752, amending the Kirkwood Code of Ordinances, Chapter 23, Article IV. "City Water System", Division 2. "Rates, Charges & Billing", by removing Section 23-142 "Water Rates" in its entirety and renumbering the remaining sections accordingly, was brought before the council. Motion was made by Council Member Duwe and seconded by Council Member Zimmer to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Bill 10753, reappropriating \$2,523,794 to the Building and Site Improvements Account, Project #PF1911, from Fiscal Year 2018/2019 to Fiscal Year 2019/2020 for the Performing Arts Center construction, was brought before the council. Motion was made by Council Member Duwe and seconded by Council Member Edman to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Bill 10754, appropriating \$11,668 from the General Fund Fund Balance to Account #101-1201-421.32.01 for legal expenses for the Police Department, was brought before the council. Motion was made by Council Member Edman and seconded by Council Member Wurtz to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Bill 10755, appropriating \$63,268 from the General Fund Fund Balance to Account #101-1102-412.32.01 for legal expenses for the Administration Department, was brought before the council. Motion was made by Council Member Zimmer and seconded by Council Member Edman to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Bill 10756, appropriating \$39,135 from the Medical Fund Fund Balance to Account #602-3112-442.31.10 for medical claims, was brought before the council.



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Motion was made by Council Member Duwe and seconded by Council Member Wurtz to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Bill 10757, appropriating \$215,241 from the Workers' Compensation Fund Fund Balance to Account #601-3110-441.21.02 for Workers' Compensation claims, was brought before the council. Motion was made by Council Member Luetzow and seconded by Council Member Edman to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Bill 10758, appropriating \$45,557 from the Capital Fund Fund Balance to Account #301-1704-600.75.03, Project #FO2005 and Project #FO2006, amending the contract with JW Fuller Construction, LLC, in the amount of \$45,557 for City Hall Cupola Carpentry Repair Services and Gazebo Carpentry Repair Services and authorizing and directing the Mayor to enter into an amended contract, was brought before the council. Motion was made by Council Member Duwe and seconded by Council Member Edman to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Resolution 71-2019, amending Resolution 113-2018 by revising the Framework Plan portion of the Downtown Master Plan and Parking Study for the City of Kirkwood, was brought before the council. Motion was made by Council Member Zimmer and seconded by Council Member Luetzow to accept the Resolution as read.

## Roll Call:

Mayor Griffin	"Yes"
Council Member Duwe	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	Absent
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"

## CONSENT AGENDA ITEMS FOR DISCUSSION

NONE

## CITY COUNCIL REPORTS

Council Member Duwe reported that walls are being constructed for the Performing Arts Center.



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Council Member Luetzow reported that the Zoning and Subdivision Codes Steering Committee recently met. Their next meeting will be on June 26<sup>th</sup>. The public is welcome to visit the website [www.kirkwoodbydesign.com](http://www.kirkwoodbydesign.com) and provide feedback.

### CHIEF ADMINISTRATIVE OFFICER REPORT

Mr. Hawes reported that the Route 66 Cars and Guitars Festival will be held on Saturday, June 8, 2019 in Downtown Kirkwood. There will be a Carbs and Guitars pancake breakfast on the bay of Fire House #2 starting at 8:00 a.m. Tickets for the pancake breakfast are \$6.00.

### CITY ATTORNEY REPORT

Mr. Hessel had nothing to report.

### CITY CLERK REPORT

Ms. Asche read the report of the May 15, 2019 Planning and Zoning Commission meeting. The following action took place:

1. The Commission unanimously recommended approval of the final plat and development plans for an eight-lot Community Unit Plan known as Emmerson Estates Subdivision at 2017 Lily Avenue and 2040 Boaz Avenue.
2. The Commission unanimously recommended approval of Special Use Permits for a kennel/pet day care/outdoor use and the associated site plan or Camp Bow Wow at 902 South Kirkwood Road. A public hearing will be scheduled.
3. The Commission unanimously recommended approval of a Special Use Permit for a restaurant known as Gelato Di Riso at 151 West Jefferson Avenue. A public hearing will be scheduled.
4. By a vote of 5 to 2, the Commission recommended approval of amendments to the Zoning Code for medical marijuana facilities. A public hearing will be scheduled.

### ADJOURNMENT

There being no further business to come before the Council, the meeting was adjourned at 7:38 p.m. The next regular council meeting is scheduled for June 6, 2019, at 7:00 p.m.

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Laurie Asche, CMC/MRCC  
City Clerk

**Approved:**



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## **INTRODUCTIONS AND RECOGNITIONS NONE**

## **PRESENTATIONS**

Mayor Griffin presented a Certificate of Congratulations to John E. Adams for obtaining the rank of Eagle Scout on June 8, 2019.

Mayor Griffin and Police Chief Brian Murphy presented the Award for Excellence to Police Officers David Reich, Jeremy Johnson, and Jason Hutchins for their service and efforts during the incident on April 29, 2019.

## **PUBLIC HEARINGS**

### **Public Hearing #1**

Mayor Griffin recessed the meeting for the purpose of conducting a public hearing regarding a request for amendments to the Zoning Code regarding regulation of Medical Marijuana related to Amendment 2 of the State Constitution - Citywide. Mr. Hessel entered the following exhibits into the record: an Affidavit of Publication in the St. Louis Countian on May 21, 2019, as Exhibit 1; an Affidavit of Publication in the Webster Kirkwood Times on May 24, 2019, as Exhibit 2; the report of the Planning and Zoning Commission dated May 16, 2019, as Exhibit 3; a memo from City Planner Jonathan Raiche dated April 29, 2019, as Exhibit 4; and the Kirkwood Code of Ordinances as Exhibit 5.

City Planner Jonathan Raiche presented information pertaining to the request:

- Amendment 2 to the Missouri Constitution was approved by voters on November 6, 2018 and allows "state-licensed physicians to recommend marijuana for medical purposes to patients with serious illnesses and medical conditions."
- The Missouri Department of Health and Senior Services will grant licenses for the cultivation, manufacture, dispensing, sale, testing, tracking, and transportation of marijuana for medical use.



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- The Amendment allows businesses to operate in the following areas of cultivation and dispensation:
  - Cultivation/Agriculture
  - Manufacturing/Extraction
  - Dispensing/Patient Care
  - Testing/Labs
- Cities may regulate the “time, place, and manner” of the operation of medical marijuana facilities as long as the regulations are not unduly burdensome on the operation of the medical marijuana facilities.
- Amendment 2 also includes a requirement that a medical marijuana facility may not be initially located within 1000 feet of any then-existing elementary or secondary school, child daycare center, or church; however, this spacing requirement may be decreased if a city chooses.
- A city may require a business license, but not a special license.
- Staff recommends that a cultivation facility would be available with a Special Use Permit required in the I-1 Zoning District and with a 25,000 square foot lot minimum. It would be prohibited in all other Districts due to the higher potential for nuisances from things like operation and odor.
- Staff recommends that a manufacturing facility would require a Special Use Permit in the I-1 Zoning District and would be prohibited in all other Districts.
- Staff recommends that a testing facility would require a Special Use Permit in the I-1 District and would be prohibited in all other Districts.
- Staff recommends that a dispensary facility would require a Special Use Permit in the B-3 and I-1 Districts and would be prohibited in all other Districts. Staff believes these highway-oriented and industrial districts are the most appropriate within the City and will provide adequate area without being viewed as unduly burdensome.
- In an effort to regulate the “time, place, and manner” of said establishments, staff had identified the following restrictions that should be included in all Districts in which the uses are listed as Special Uses:
  - A medical marijuana facility shall conform to the following minimum standards and restrictions:
    - a. Such facility shall be initially located a minimum of 1,000 feet as measured from the boundaries of a legal lot of record which is occupied by or used as a church, place of worship, public or private school, day-care center, or public park.
    - b. Such facility shall be located 500 feet, as measured from the boundaries of a legal lot of record, from another medical marijuana facility. This section shall not prohibit one facility from holding multiple licenses.
    - c. The hours of operation of a Medical Marijuana Dispensary Facility shall be between 8:00 a.m. and 9:00 p.m. daily.
    - d. Operations of cultivation, dispensing, manufacturing, and testing facilities must be conducted entirely within an enclosed building,



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and consumption or smoking of marijuana products shall be prohibited on the premises.

- A restriction requiring a minimum distance from residential property was evaluated by staff, but ultimately it was decided that such requirement would be too burdensome due to the proximity of residentially zoned land to all commercial and industrial areas within Kirkwood. Staff believes the proposed buffer of 1,000 feet provides appropriate opportunity for Medical Marijuana Facilities.
- City Attorney John Hessel stated that the regulations come from the State of Missouri Department of Health and Public Services and that the State of Missouri will be allowing only a certain number of facilities throughout the entire state. Legislation will be placed on the next council meeting agenda regarding offenses and changes to the Personnel Rules & Regulations.
- Question was raised regarding if regulations for nuisances will be adopted. Nuisance regulations will be something that will be addressed in the future.

### Public Comments

1. April Winkelmann, 928 Blue Bonnet, questioned if a driver of a vehicle carrying a passenger that has medical marijuana on their person would get in trouble with the law. Believes the 1,000 feet buffer should be reduced.

The bill will be placed on the June 20, 2019 agenda for first reading consideration.

### Public Hearing #2

Mayor Griffin recessed the meeting for the purpose of conducting a public hearing regarding a request for a Special Use Permit for a Pet Day Care and Commercial Kennel with outdoor use proposed for 902 S. Kirkwood Road (Camp Bow Wow). Mr. Hessel entered the following exhibits into the record: an Affidavit of Publication in the St. Louis Countian on May 21, 2019, as Exhibit 1; an Affidavit of Publication in the Webster Kirkwood Times on May 24, 2019, as Exhibit 2; an aerial view map showing the subject property and the properties that were notified of the hearing, as Exhibit 3; a list of property owners who were sent notice of the public hearing, as Exhibit 4; the report of the Planning and Zoning Commission dated May 16, 2019, as Exhibit 5; the report of the Planning and Zoning Commission Sub-Committee dated May 15, 2019, as Exhibit 6; a letter received from J. Daniel Sabio, dated June 6, 2019 which was received by the City Clerk's Office, with concern regarding noise, as Exhibit 7; and the Kirkwood Code of Ordinances as Exhibit 8.

City Planner Jonathan Raiche presented information pertaining to the request:

- The petitioner is requesting multiple Special Use Permits to allow the operation of a pet day-care facility with overnight boarding, training, and grooming services in the existing building and property located at 902 South Kirkwood Road.
- The property was most recently occupied by ABC Supply Company.
- The property has been historically used for similar uses with outdoor storage as a non-conforming use.



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- The legal non-conforming outdoor storage component has been abandoned for more than 180 days and therefore has lost the legal non-conforming status.
- The property and building are currently vacant.
- The petitioner proposes to renovate the interior of the main existing building and the existing parking lot.
- The building will be renovated to include a large area with individual boarding facilities, common indoor play areas, office area, grooming areas, and a reception area.
- In addition to the indoor facilities, the applicant has also proposed multiple outdoor play areas enclosed by an 8' tall vinyl fence.
- There will be a minimum of 2 employees on site during business hours (7:00 a.m. to 7:00 p.m.) and a minimum of 1 employee per 25 dogs.
- There are 27 proposed parking spaces.
- Concern was raised regarding noise being buffered from neighboring businesses and residents.
- Question was raised regarding if there are any facilities that have an overnight employee. There are not. The facilities have security cameras and alarms.
- Question was raised regarding if there are any regulations regarding decibel readings for barking dogs.
- Question was raised regarding if the bike rack requirement could be waived. The City Council can reduce or waive the requirement. If the council wishes to do so, an amendment can be made at the next meeting to add a condition to the legislation.

### Public Comments

1. Dan Sabio, 816 S. Kirkwood Road, concerned about noise. Would like the hours the dogs can be outside to be restricted. Would like to make sure that the dumpster is maintained and kept clean.
2. Gloria Parker, 203 Commerce Ave., concerned about noise. Questioned if the inside of the building is sound proof.
3. Iris Coyler, 366 S. Kirkwood Road, in favor of the proposal.
4. Lianne Reizer, 910 S. Kirkwood Road, concerned about additional traffic congestion and noise. Urges the council to deny the request.

The bill will be placed on the June 20, 2019 agenda for first reading consideration.

### Public Hearing #3

Mayor Griffin recessed the meeting for the purpose of conducting a public hearing regarding a request for a Special Use Permit for a restaurant at 151 W. Jefferson (Gelato Di Riso). Mr. Hessel entered the following exhibits into the record: an Affidavit of Publication in the St. Louis Countian on May 21, 2019, as Exhibit 1; an Affidavit of Publication in the Webster Kirkwood Times on May 24, 2019, as Exhibit 2; an aerial view map showing the subject property and the properties that were notified of the hearing, as Exhibit 3; a list of property owners who were sent notice of the public



WHERE COMMUNITY AND SPIRIT MEET

## DRAFT

hearing, as Exhibit 4; the report of the Planning and Zoning Commission dated May 16, 2019, as Exhibit 5; a memo from City Planner Jonathan Raiche dated May 8, 2019, as Exhibit 6; and the Kirkwood Code of Ordinances as Exhibit 7.

City Planner Jonathan Raiche presented information pertaining to the request:

- The new restaurant, Gelato Di Riso, is proposed for the tenant space at 151 W. Jefferson Avenue.
- This tenant space is the eastern half of the 1,680 sf building and was most recently occupied by a women's clothing and accessory boutique shop, Giner & Mary Ann's.
- The applicant has indicated that they intend to sell gelato, Italian coffees, and small pastries with hours of operation from 7:30 a.m. to 10:30 p.m. seven days a week.
- The applicant also indicated that they expect a maximum of two employees on any shift.
- The proposal describes four to five small tables located inside the tenant space with the option for two small tables outside.
- There will be no cooking equipment located on the site.
- There will be 3 dedicated parking spaces and more will be available after hours from the adjacent store.
- There is an existing dumpster which will be utilized.
- The applicant intends to have a maximum of 20 seats inside the restaurant.
- The outdoor seating described can be accommodated by the outdoor seating permitted within the Zoning Code and within the Streets & Sidewalks section of the Municipal Code.

The bill will be placed on the June 20, 2019 agenda for first reading consideration.

### PUBLIC COMMENTS

1. Dan McNulty, 1904 Grassy Ridge Rd., spoke in regards to the High Meadows Subdivision street condition. Would like a broader consideration regarding the resurfacing of the street. Questioned if the subdivision's cul-de-sacs are in compliance with the Code. Questioned what the future plan for curbs in the subdivision is.

### CONSENT AGENDA

Motion was made by Council Member Duwe and seconded by Council Member Edman to approve the Consent Agenda. It was requested that item a) be removed and placed at the end of the agenda for discussion. The Consent Agenda was unanimously approved.

- a) Approval of the May 16, 2019 City Council Meeting Minutes ***\*Moved to the end of the agenda***





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- b) Resolution 80-2019, authorizing an application for use of Community Development Block Grant Funds for the fiscal year 2020 and allocation of said funds (\$46,800)
- c) Resolution 81-2019, authorizing the Chief Administrative Officer to enter into a Collective Bargaining Agreement with the Local Union No. 2665 of the International Association of Firefighters through December 31, 2021
- d) Resolution 82-2019, appointing members to the Library Board
- e) Resolution 83-2019, appointing members to the Arts Commission
- f) Resolution 84-2019, endorsing St. Louis County's Grant Program for the City of Kirkwood's waste reduction efforts
- g) Resolution 85-2019, amending and readopting the City of Kirkwood City Fee Schedules relating to ambulance, building permits, parks and recreation user fees and utilities
- h) Resolution 87-2019, amending the contract with N.B. West Contracting Co., by increasing the contract amount for 2019 Ultra-Thin Bonded Asphalt Wearing Surface (increase by \$186,262 for a not to exceed amount of \$552,936.80)
- i) Resolution 88-2019, amending the contract with Ford Asphalt Co., by increasing the contract amount for 2019 Asphaltic Concrete Overlays (increase by \$220,000 for a not to exceed amount of \$880,000)

### UNFINISHED BUSINESS

Bill 10751, amending the Kirkwood Code of Ordinances, Chapter 23, Article III. "City Electric System", Division 2. "Rates, Charges & Billing", Section 23-84 "Rates Established", by removing subparagraph (b) in its entirety and renumbering the remaining subparagraphs accordingly, was brought before the council.

#### Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10593.

Bill 10752, amending the Kirkwood Code of Ordinances, Chapter 23, Article IV. "City Water System", Division 2. "Rates, Charges & Billing", by removing Section 23-142 "Water Rates" in its entirety and renumbering the remaining sections accordingly, was brought before the council.



WHERE COMMUNITY AND SPIRIT MEET

# DRAFT

## Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10594.

Bill 10753, reappropriating \$2,523,794 to the Building and Site Improvements Account, Project #PF1911, from Fiscal Year 2018/2019 to Fiscal Year 2019/2020 for the Performing Arts Center construction, was brought before the council.

## Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10595.

Bill 10754, appropriating \$11,668 from the General Fund Fund Balance to Account #101-1201-421.32.01 for legal expenses for the Police Department, was brought before the council.

## Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"



# DRAFT

WHERE COMMUNITY AND SPIRIT MEET

The bill, having received majority approval of the council, was adopted and became Ordinance 10596.

Bill 10755, appropriating \$63,268 from the General Fund Fund Balance to Account #101-1102-412.32.01 for legal expenses for the Administration Department, was brought before the council.

Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10597.

Bill 10756, appropriating \$39,135 from the Medical Fund Fund Balance to Account #602-3112-442.31.10 for medical claims, was brought before the council.

Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10598.

Bill 10757, appropriating \$215,241 from the Workers' Compensation Fund Fund Balance to Account #601-3110-441.21.02 for Workers' Compensation claims, was brought before the council.

Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"



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# DRAFT

Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10599.

Bill 10758, appropriating \$45,557 from the Capital Fund Fund Balance to Account #301-1704-600.75.03, Project #FO2005 and Project #FO2006, amending the contract with JW Fuller Construction, LLC, in the amount of \$45,557 for City Hall Cupola Carpentry Repair Services and Gazebo Carpentry Repair Services and authorizing and directing the Mayor to enter into an amended contract, was brought before the council.

### Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

The bill, having received majority approval of the council, was adopted and became Ordinance 10600.

## NEW BUSINESS

Bill 10759, adopting a revised City of Kirkwood Classification and Pay Plan, was brought before the council. Motion was made by Council Member Wurtz and seconded by Council Member Zimmer to accept the bill for first reading approval. A discussion took place regarding placing the topic on a work session agenda for further discussion.

Motion was made by Council Member Luetzow and seconded by Council Member Ward to continue the bill to July 3, 2019. The motion was unanimously approved. This topic will be placed on a future work session agenda for discussion.

The bill was continued to July 3, 2019.

Bill 10760, appropriating \$140,673 from the GEMT Program Account to multiple accounts, was brought before the council. Motion was made by Council Member Duwe and seconded by Council Member Zimmer to accept the bill for first reading approval.



WHERE COMMUNITY AND SPIRIT MEET

## DRAFT

The bill received first reading approval and was held over.

Bill 10761, appropriating \$1,358,126 from the Reappropriations Account to Account #505-2215-481.75.15, Project #WA1907 for the Swan Avenue Pump Station Project, was brought before the council. Motion was made by Council Member Ward and seconded by Council Member Wurtz to accept the bill for first reading approval.

The bill received first reading approval and was held over.

Resolution 86-2019, authorizing the offering for sale of refunding Certificates of Participation (City of Kirkwood, Missouri, Lessee), Series 2019, was brought before the council. Motion was made by Council Member Duwe and seconded by Council Member Luetzow to accept the Resolution as read.

### Roll Call:

Mayor Griffin	"Yes"
Council Member Edman	"Yes"
Council Member Zimmer	"Yes"
Council Member Ward	"Yes"
Council Member Wurtz	"Yes"
Council Member Luetzow	"Yes"
Council Member Duwe	"Yes"

### CONSENT AGENDA ITEMS FOR DISCUSSION

Approval of the May 16, 2019 City Council meeting minutes was brought before the council. The minutes were not included in the meeting packet, so the council has not had time to review. Motion was made by Council Member Zimmer and seconded by Council Member Luetzow to continue the approval of the minutes to June 20, 2019. The motion was unanimously approved.

The approval of the May 16, 2019 City Council meeting minutes were continued to June 20, 2019.

### CITY COUNCIL REPORTS

Council Member Zimmer reported that today is the 75<sup>th</sup> anniversary of D-Day and would like to remember all of those that sacrificed for our freedom.

### CHIEF ADMINISTRATIVE OFFICER REPORT

Mr. Hawes had nothing to report.

### CITY ATTORNEY REPORT

Mr. Hessel had nothing to report.



WHERE COMMUNITY AND SPIRIT MEET\*

# DRAFT

## CITY CLERK REPORT

Ms. Asche reported that the City Clerk's Office received a Destruction of Records Form from the Police Department, which will be filed with the June 6<sup>th</sup> council meeting minutes.

## ADJOURNMENT

There being no further business to come before the Council, the meeting was adjourned at 8:30 p.m. The next regular council meeting is scheduled for June 20, 2019, at 7:00 p.m.

---

Laurie Asche, CMC/MRCC  
City Clerk

***Approved:***

RESOLUTION 89-2019

A RESOLUTION ACCEPTING THE BID OF TRAMAR CONTRACTING, INC. IN THE AMOUNT OF \$36,467 FOR THE 2019 ACRYLIC WATERBORNE PAVEMENT MARKINGS AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for the 2019 Acrylic Waterborne Pavement Markings, and

WHEREAS, the most responsible bid received was that of TraMar Contracting, Inc. in the amount of \$36,467 and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement and the Director of Public Services, and

WHEREAS, funds are available in Account #301-1401-600.75.14, Project #PW2001.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The bid of TraMar Contracting, Inc. in the amount of \$36,467 for the 2019 Acrylic Waterborne Pavement Markings is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with TraMar Contracting, Inc. in the amount of \$36,467 for the 2019 Acrylic Waterborne Pavement Markings.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan YES      Goal # & Title Goal #5 Invest for the future through public infrastructure

### Background To Issue:

The Engineering Department has selected streets to receive acrylic waterborne pavement markings. The project includes removal of existing thermoplastic pavement markings receiving micro surfacing, new pavement marking on streets receiving micro surfacing and UBAWS. Bid advertisements for construction of the project were sent to contractor's through the Procurement Department. TraMar Contracting, Inc. submitted a low bid of \$36,467.00.

### Recommendations and Action Requested:

It is recommended the City Council accept the bid submitted by TraMar Contracting, Inc. for acrylic waterborne pavement markings for a total authorized amount of \$36,467.00.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$36,467.00      Account #: 30114016007514      Project #: PW2001      Budgeted: YES

If YES, Budgeted Amount: \$752,531.00      If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Ted Dunkmann

Date: 6/7/2019

Authenticated: dunkmatj

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

### Approve

Purchasing Director's Comments:



BY: David Weidler


Date: 6/12/2019


Authenticated: weidledc

You can attach up to 3 files along with this request.



13049 Resolution Letter.pdf  
Adobe Acrobat Document  
169 KB

 File Attachment

 File Attachment

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Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Budgetary Approval

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

---

BY: Select...

Date:

Authenticated:

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve

Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

June 12, 2019

**To:** Russell B. Hawes, Chief Administrative Officer

**For Your Consideration:** 2019 Acrylic Waterborne Pavement Markings, Bid # 13049

Sealed bids were publicly opened on May 7<sup>th</sup>, 2019. The bid tabulation is as follows:

<u>Vendor</u>	<u>Total Base Bid</u>
TraMar Contracting, Inc.	\$36,467.00
Traffic Control Co.	\$104,739.25

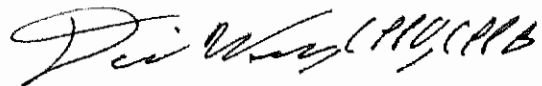
Bid requests were also sent to Allstate Coatings Co., ATK Safety Supply, Construct Connect, and Ennis Flint Inc.; however they did not submit bids.

The bids were provided to Ted Dunkmann, City Engineer, for review. It is recommended that the bid be awarded to TraMar Contracting, Inc., as their bid of \$36,467.00 is the lowest responsible bid meeting specifications.

Funding is available in the amount of \$752,531.00 in account number 301-1401-600.75-14, project number PW2001.

Attached is a request from Ted Dunkmann, City Engineer, for a resolution authorizing a contract to be issued to TraMar Contracting, Inc. in the amount of \$36,467.00 for 2019 Acrylic Waterborne Pavement Markings.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 90-2019

A RESOLUTION ACCEPTING THE BID OF SPENCER CONTRACTING CO. IN THE NOT TO EXCEED AMOUNT OF \$97,101.95 (WHICH INCLUDES A CONTINGENCY OF \$8,827.45) FOR SOUTH FILLMORE / EAST JEFFERSON SIDEWALK EXTENSION AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for South Fillmore / East Jefferson Sidewalk Extension, and

WHEREAS, the most responsible bid received was that of Spencer Contracting Co. in the not to exceed amount of \$97,101.95 (which includes a contingency of \$8,827.45) and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement and the Director of Public Services, and

WHEREAS, funds are available in Account #301-1401-600.75.12, Project #PW2002.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The bid of Spencer Contracting Co. in the not to exceed amount of \$97,101.95 (which includes a contingency of \$8,827.45) for South Fillmore / East Jefferson Sidewalk Extension is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with Spencer Contracting Co. in the not to exceed amount of \$97,101.95 (which includes a contingency of \$8,827.45) for South Fillmore / East Jefferson Sidewalk Extension.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

---

Mayor, City of Kirkwood

ATTEST:

---

City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan YES Goal # & Title Goal 5. Invest for the future through infrastructure. Objective C.2

### Background To Issue:

The Kirkwood Pedestrian and Bicycle plan has identified and prioritized gaps the sidewalk network. The Engineering Department contracted with Pitzman's Co. to design sidewalks for the gaps on W. Jefferson near Holmes Avenue and on Fillmore Ave between Argonne Avenue and Madison Avenue. The project includes tree removal, concrete sidewalks and aprons, ADA curb ramps, curbs and pavement markings. Bid advertisements for construction of the project were sent to contractor's through the Procurement Department. Spencer Contracting Co. submitted a low bid of \$88,274.50.,

### Recommendations and Action Requested:

It is recommended the City Council accept the bid submitted by Spencer Contracting Co. for construction services and authorize an additional amount of \$8,827.45 contingency for a total contract amount of \$97,101.95.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$97,101.95 Account #: 30114016007512 Project #: PW2002 Budgeted: YES

If YES, Budgeted Amount: \$100,000.00 If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Ted Dunkmann


Date: 6/7/2019

Authenticated: dunkmatj

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Approve

Purchasing Director's Comments:

BY: David Weidler

Date: 6/12/2019


Authenticated: weidledc

You can attach up to 3 files along with this request.



13144 Resolution Letter.pdf  
Adobe Acrobat Document  
179 KB

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Budgetary Approval

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

June 12, 2019

**To:** Russell B. Hawes, Chief Administrative Officer

**For Your Consideration:** South Fillmore / East Jefferson Sidewalk Extension, Bid # 13144

Sealed bids were publicly opened on May 28, 2019. The bid tabulation is as follows:

<u>Vendor</u>	<u>Total Base Bid</u>
Spencer Contracting Co.	\$88,274.50

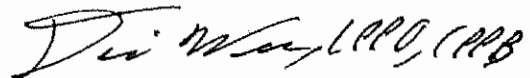
Bid requests were also sent to Gershenon, Ideal Landscapes, J.M. Marschuetz, K. J. Unnerstall, Kelpo, Lamke Trenching & Excavating, and Pace Construction Co.; however they did not submit bids.

The bid was provided to Ted Dunkmann, City Engineer, for review. It is recommended that the bid be awarded to Spencer Contracting Co., as their bid of \$88,274.50 is the lowest responsive and responsible bid meeting specifications.

Funding is available in the amount of \$100,000.00 in account number 301-1401-600.75-12, project number PW2002.

Attached is a request from Ted Dunkmann, City Engineer, for a resolution authorizing a contract to be issued to Spencer Contracting Co. in the amount of \$88,274.50 with a contingency of \$8,827.45 for a total not to exceed value of \$97,101.95 for South Fillmore / East Jefferson Sidewalk Extension.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 91-2019

A RESOLUTION ACCEPTING THE BID OF PEOPLE READY AT THE RATES PROVIDED IN THE MEMO (A COPY OF WHICH IS ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN) FOR TEMPORARY LABOR SERVICES ON AN AS NEEDED BASIS WITH AN INITIAL TERM OF 12 MONTHS WITH THE OPTION TO RENEW FOR UP TO FOUR ADDITIONAL 12 MONTH TERMS PENDING BUDGETARY APPROVAL FOR THE SANITATION DIVISION AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for Temporary Labor Services for the Sanitation Division, and

WHEREAS, the most responsible bid received was that of People Ready at the rates provided in the memo (a copy of which is attached hereto and incorporated by reference herein) on an as needed basis with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement and the Director of Public Services, and

WHEREAS, funds are available in Account #509-2310-482.31.10.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The bid of People Ready at the rates provided in the memo (a copy of which is attached hereto and incorporated by reference herein) for Temporary Labor Services on an as needed basis with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval for the Sanitation Division is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with People Ready at the rates provided in the memo (a copy of which is attached hereto and incorporated by reference herein) for Temporary Labor Services on an as needed basis with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval for the Sanitation Division.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

---

Mayor, City of Kirkwood

ATTEST:

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City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

### Step #1:

Strategic Plan NO Goal # & Title

### Background To Issue:

Annually the Sanitation Division budgets of temporary labor services to assist with black bag delivery and yard waste collections during the fall months. The Procurement Department has solicited proposals for these services. People Ready is being recommended to provide temporary labor for the Sanitation Division.

### Recommendations and Action Requested:

It is recommended that the City Council accept the proposal from People Ready to provide temporary labor services for the Sanitation Division at the rates provided in their bid response.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$8,950.00 Account #: 50923104823110 Project #: Budgeted: YES

If YES, Budgeted Amount: \$8,950.00 If NO, or if insufficient funding (Complete Step #3).


### Department Head Comments:

BY: Bill Bensing

Date: 6/6/2019

Authenticated: bensinwe

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

## Approve

### Purchasing Director's Comments:

The City previously contracted with PS Employment for temporary services. The contract with PS Employment does not allow for workers to be covered under their insurance for riding on vehicles. The



proposed contract for People Ready will allow for workers to be covered under insurance for riding on vehicles.

BY: David Weidler

Date: 6/12/2019

Authenticated: weidledc

You can attach up to 3 files along with this request.



12901 Resolution Letter  
People Ready.pdf  
Adobe Acrobat Document  
241 KB

📎 File Attachment

📎 File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Budgetary Approval

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

June 10, 2019

To: Russell B. Hawes, Chief Administrative Officer

**For Your Consideration: Temporary Labor Services, Bid #12901**

Sealed bids were publicly opened on November 7<sup>th</sup>, 2018. The bid tabulation is as follows:

<u>Vendor</u>	<u>Hourly Wage Paid To Employee</u>	<u>Hourly Rate Paid to City</u>	<u>Mark-up Rate</u>	<u>Total (Bill Rate)</u>
PS Employment	\$12.00	\$18.00	60%	\$18.00
People Ready	\$11.00	\$18.77	71.55%	\$18.87

Bid requests were also sent to Abacus Corp., Adecco, Aerotek, B. Loehr Staffing, C & S Business Service, Employee Staffing Group, Employment Solutions Group, Excel Temporary Services, Express Employment Professionals, Express Pros, IMKO Diversified Staffing, Kelly Services, Labor Finders, Maxim Staffing Solutions, Pride Staff, Randstand Manufacturing & Logistics, Ultimate Staffing, United Personnel Services LLC and Westaff; however; they did not submit bids.

The bids were provided to Bill Bensing, Public Services Director, and John Howze, Sanitation Superintendent, for evaluation. It is recommended that the bid be awarded to People Ready at the above rates on an as required basis, as their bid is the lowest responsive and responsible bid meeting specifications. The initial contract term is for twelve (12) months with the option to renew for up to four (4) additional twelve (12) month terms pending budgetary approval.

Funds are available in account number 509-2310-482.31-10, in the amount of \$8,950.00.

Attached is a request from Bill Bensing, Public Services Director, for a resolution authorizing a contract at the proposed rates on an as required basis not to exceed budgeted funds with People Ready for Temporary Labor Service with an initial term of twelve (12) months with the option to renew for up to four (4) additional twelve (12) month terms pending budgetary approval.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 93-2019

A RESOLUTION ACCEPTING THE PROPOSAL OF PITZMAN'S CO. OF SURVEYORS AND ENGINEERS IN THE NOT TO EXCEED AMOUNT OF \$16,960 FOR PROFESSIONAL SURVEYING AND CIVIL ENGINEERING SERVICES FOR KIRKWOOD SIDEWALK INFILL ON EAST MONROE AVENUE AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, a request for proposals was developed and proposals were received for Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill on East Monroe Avenue, and

WHEREAS, staff recommends Pitzman's Co. of Surveyors and Engineers as the most qualified to provide Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill on East Monroe Avenue in an amount not to exceed \$16,960, and

WHEREAS, funds are available in Account #301-1401-600.75.12, Project #PW2002.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The proposal of Pitzman's Co. of Surveyors and Engineers in the not to exceed amount of \$16,960 for Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill on East Monroe Avenue is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with Pitzman's Co. of Surveyors and Engineers in the not to exceed amount of \$16,960 for Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill on East Monroe Avenue.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan YES

Goal # & Title Goal 5 Objective C: Increase Community Accessibility/Mobility

### Background To Issue:

The City Council has requested that a section of infill sidewalk on E. Monroe Ave. from Woodlawn to Gilbert that was identified in the Kirkwood Pedestrian and Bicycle Plan, be advanced for design and construction into the FY20 budget. The Engineering Division is requesting that the Pitzman's Company be authorized to provide the professional engineering services for the design of this sidewalk extension. Pitzman's was utilized last in FY19 for the design of similar design services.

### Recommendations and Action Requested:

It is recommended that the City Council accept the proposal from the Pitzman's Company in the amount of \$16,960 to provide engineering services for the design of infill sidewalks on E. Monroe Ave.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$16,960.00 Account #: 30114016007S12 Project #: PW2002 Budgeted: NO

If YES, Budgeted Amount: If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

Appropriation request under separate ordinance request

BY: Bill Bensing

Date: 6/11/2019

Authenticated: bensinwe

You can attach up to 3 files along with this request.



City of Kirkwood-E. Monroe-  
Sidewalk\_Pitzmans\_2019-6-  
11.pdf  
Adobe Acrobat Document  
299 KB

File Attachment

File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Approve

Purchasing Director's Comments:

BY: David Weidler

Date: 6/12/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*



13228 Resolution Letter.pdf  
Adobe Acrobat Document  
191 KB

File Attachment

File Attachment

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Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Select...

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19



May 30, 2019

Mr. Bill Bensing  
City of Kirkwood  
139 South Kirkwood Road  
Kirkwood, MO 63122  
314-822-5846  
[bensinwe@kirkwoodmo.org](mailto:bensinwe@kirkwoodmo.org)

**PROPOSAL TO PROVIDE PROFESSIONAL SURVEYING AND CIVIL ENGINEERING SERVICES FOR THE KIRKWOOD SIDEWALK INFILL PROJECT ON EAST MONROE, BETWEEN WOODLAWN AND GILBERT**

Dear Mr. Bensing:

We are pleased to present our proposal to provide professional surveying and civil engineering services for the requested Kirkwood City Sidewalk Infill Project on East Monroe, between Woodlawn and Gilbert. We have listed the fee proposal estimates based on the project area and have broken out the fees according to basic topographic survey for use in the design, civil engineering services for the preparation of the design and bidding documents, services related to submission to other reviewing agencies if anticipated and costs on a per lot basis if permanent easements are necessary.

**1.0 SURVEYING**

Our partner firm, Pitzman's Company, will perform basic topographic surveys of the project area to the extent necessary to establish the right-of-way line and to develop construction documents for bidding purposes. Should either temporary or permanent easements be necessary for the completion of the project, we have also included fees, on a per lot basis as required, for the completion of a Boundary Survey, title report and easement documents for the City's recording.

**2.0 CIVIL ENGINEERING DESIGN**

**A. SITE IMPROVEMENT PLANS**

- I. We will prepare the following site improvement plans for the Kirkwood Infill Sidewalk Project as required.

- C0-Existing Site Survey
- C1-Site Demolition Plan
- C2-Site Improvement Plan
- C3-Site Grading and Dimension Plan
- C4-Site Details, Sections, and Retaining Wall Profiles (if needed)
- C5-Sewer Profiles (if needed)
- C6-Drainage Area Map (if needed)

- II. We will prepare specifications utilizing either City Standard Specifications, St. Louis County Standard Specifications, or Frontenac Engineering Specifications on the plan sheets.
- III. We will submit plans to City of Kirkwood for review and approval at the DD and CD design levels. We will also attend up to two (2) public meeting to discuss the project. If it is determined to be necessary, we will also submit plans to MSD and St. Louis County.

**B. SILTATION CONTROL PLAN AND LAND DISTURBANCE PERMIT**

- I. We will prepare siltation control plans and details as part of our Site Improvement Plans for approval by the City. We have not included in our fee estimates time for a separate SWPPP submittal to either St. Louis County or Missouri Department of Natural Resources.

**3.0 MSD REVIEW & APPROVAL**

If required by the City of Kirkwood, we will provide engineering services to submit site improvement plans to MSD for review and approval. Based on our review of the project areas we do not anticipate that MSD involvement will be required.

**4.0 CONSTRUCTION PHASE SERVICES**

Not included in this proposal. Should the City require construction phase services, we would gladly provide a proposal for those services once the number of construction projects and schedules have been determined.

**5.0 MISCELLANEOUS**

The following are not included in our proposal and, if deemed necessary, will be passed through as direct reimbursable expenses without mark-up.

- A. Special Consultants such as soil consultants, traffic study consultants, environmental, etc.
- B. Conditional Use Permits
- C. Submittal, Permit, Review, Escrow fees and/or deposits
- D. Major printing and/or postage

**6.0 FEE SUMMARY**

Attached.

Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

Frontenac Engineering shall purchase and maintain professional liability insurance for protection from claims arising out of the performance of this agreement. Frontenac Engineering shall also purchase and maintain insurance for protection from claims under workers compensation acts, arising out of the performance of this agreement.

Terms of payment: 30 days after date of invoice.

We sincerely appreciate the opportunity to present this proposal and look forward to your response.

Respectfully yours,

*William K. Berthold*  
William K. Berthold, P.E., P.L.S.  
President  
Frontenac Engineering Group

**NOTICE TO OWNER**

FAILURE OF THIS CONTRACTOR TO PAY THOSE PERSONS SUPPLYING MATERIAL OR SERVICES TO COMPLETE THIS CONTRACT CAN RESULT IN THE FILING OF A MECHANIC'S LIEN ON THE PROPERTY WHICH IS THE SUBJECT OF THIS CONTRACT PURSUANT TO CHAPTER 429, RSMO. TO AVOID THIS RESULT YOU MAY ASK THIS CONTRACTOR FOR "LIEN WAIVERS" FROM ALL PERSONS SUPPLYING MATERIAL OR SERVICES FOR THE WORK DESCRIBED IN THIS CONTRACT. FAILURE TO SECURE LIEN WAIVERS MAY RESULT IN YOUR PAYING FOR LABOR AND MATERIAL TWICE.



**CITY OF KIRKWOOD  
INFILL SIDEWALK PROJECTS**

		FEE ESTIMATES										
AREA	DESCRIPTION	APPROX. LENGTH	No. of Parcels	BASE TOPO SURVEY	COST PER LOT IF REQUIRED			CIVIL ENG.	FEES INCLUDED IF OTHER AGENCY REVIEW IS RQD.		BASIC SERVICES TOTAL	W/ ALT's. TOTAL
					\$500 BOUND. SURVEY	\$400 TITLE REPORT	\$350 EASEMNT DOCS.		MSD	COUNTY		
1	E. Monroe (Woodlawn-Gilbert)	945	7	\$6,800	\$0	\$0	\$0	\$10,160	\$0	\$0	\$16,960	<b>\$16,960</b>

June 12, 2019

**To:** Russell B. Hawes, Chief Administrative Officer

**For Your Consideration:** Recommendation for Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill Projects, RFP # 13228.

The Engineering Department utilized the services of Pitzman's Co. of Surveyors and Engineers for topographic surveying services for sidewalk infill under Contract Number 12427 approved in January of 2018. The services were performed and the department is seeking to utilize Pitzman's Co. of Surveyors and Engineers to perform additional Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk located East Monroe, between Woodlawn and Gilbert. The work performed will include surveying, title work, easement exhibits, and design services for a not to exceed value of \$16,960.00.

Funds are available in account number, 301-1401-600.75-12 in the amount of \$16,960.00. The project number is PW2002.

Attached is a request from Bill Bensing, Director of Public Services for a resolution authorizing a contract to be issued to Pitzman's Co. of Surveyors and Engineers in the amount of not to exceed \$16,960.00 for Professional Surveying and Civil Engineering Services for Kirkwood Sidewalk Infill on East Monroe.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 95-2019

A RESOLUTION ACCEPTING THE PROPOSAL OF JACOBS ENGINEERING IN THE NOT TO EXCEED AMOUNT OF \$78,353 (WHICH INCLUDES A CONTINGENCY OF \$7,123) FOR PROFESSIONAL DESIGN SERVICES FOR THE ROADWAY AND INTERSECTION ALONG MONROE AVENUE AND TAYLOR AVENUE AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, a request for proposals was developed and proposals were received for Professional Design Services for the roadway and intersection along Monroe Avenue and Taylor Avenue to coincide with the opening of the Kirkwood Performing Arts Center, and

WHEREAS, staff recommends Jacobs Engineering as the most qualified to provide Professional Design Services for the roadway and intersection along Monroe Avenue and Taylor Avenue in an amount not to exceed \$78,353 (which includes a contingency of \$7,123), and

WHEREAS, funds are available in Account #301-1401-600.75.14, Project #PW2001.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The proposal of Jacobs Engineering in the not to exceed amount of \$78,353 (which includes a contingency of \$7,123) for Professional Design Services for the roadway and intersection along Monroe Avenue and Taylor Avenue is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with Jacobs Engineering in the not to exceed amount of \$78,353 (which includes a contingency of \$7,123) for Professional Design Services for the roadway and intersection along Monroe Avenue and Taylor Avenue.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

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Mayor, City of Kirkwood

ATTEST:

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City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

### Step #1:

Strategic Plan YES      Goal # & Title    Goal #5

### Background To Issue:

The City is currently contracted with Jacobs for design of the Kirkwood Performing Arts Center. To promote pedestrian safety and comfort the Engineering Department feels the area could benefit from creating a raised intersection at Monroe Ave and Taylor as well as new curbs, sidewalks, and an asphalt overlay of the street pavement along Monroe Ave to coincide with the opening of the KPAC in the spring of 2020. Jacobs has submitted a proposal for the design of these enhancements.

### Recommendations and Action Requested:

It is recommended the City Council accept the proposal from Jacobs for professional designs services including \$7,123.00 contingency for a total authorized amount of \$78,353.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$78,353.00      Account #: 30114016007514      Project #: PW2001      Budgeted: YES

If YES, Budgeted Amount: \$78,353.00      If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Ted Dunkmann

Date: 6/10/2019

Authenticated: dunkmatj

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

### Approve

Purchasing Director's Comments:


In 2015 Jacobs Engineering was selected to provide professional design services for the Performing Arts Center project including the surrounding sidewalk and hardscape. It is requested that Jacobs Engineering be issued a contract to provide an expansion of this work to the adjoining roadway and intersection.


BY: David Weidler


Date: 6/12/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

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Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Budgetary Approval

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

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Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve

Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

RESOLUTION 97-2019

A RESOLUTION ACCEPTING THE BID OF BADGER DAYLIGHTING CORP. AT THE RATES PROVIDED IN THE BID TAB SHEET (A COPY OF WHICH IS ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN) FOR DAYLIGHTING HYDROVAC SERVICES FOR THE ELECTRIC DEPARTMENT WITH AN INITIAL TERM OF 12 MONTHS WITH THE OPTION TO RENEW FOR UP TO FOUR ADDITIONAL 12 MONTH TERMS PENDING BUDGETARY APPROVAL AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for Daylighting Hydrovac Services for the Electric Department, and

WHEREAS, the most responsible bid received was that of Badger Daylighting Corp. at the rates provided in the bid tab sheet (a copy of which is attached hereto and incorporated by reference herein) with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement and the Director of Electric, and

WHEREAS, funds are available in Account #501-2111-480.66.30.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The bid of Badger Daylighting Corp. at the rates provided in the bid tab sheet (a copy of which is attached hereto and incorporated by reference herein) for Daylighting Hydrovac Services for the Electric Department with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with Badger Daylighting Corp. at the rates provided in the bid tab sheet (a copy of which is attached hereto and incorporated by reference herein) for Daylighting Hydrovac Services for the Electric Department with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

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Mayor, City of Kirkwood

ATTEST:

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City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

### Step #1:

Strategic Plan YES

Goal # & Title Goal #1: - Enhance the quality of life of citizens

### Background To Issue:

The Procurement Department conducted an invitation for bids for Daylighting Hydrovac Services.

### Recommendations and Action Requested:

The Electric Department recommends award of the bid to Badger Services as per the rates provided and budgetary amounts approved by City Council.

### Alternatives Available:

The utilization of a contractor for daylighting hydrovac services eliminates the need for the department to purchase a vactor truck. Utilizing contractual hydrovac services to excavate to install poles is efficient and effective and is preferred versus hand digging. Utilities are exposed safely and the work is less labor intensive.

Does this project have a public information component?  Yes  No

Cost: \$10,000.00 Account #: 50121114806630 Project #: Budgeted: YES

If YES, Budgeted Amount: \$189,652.00 If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

The department recommends approval of the resolution. The department recommends the contract have 4 one-year renewal options in addition to the first year's agreement.


BY: Mark Petty


Date: 6/7/2019

Authenticated: pettyma

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

### Approve

Purchasing Director's Comments:

BY: David Weidler

Date: 6/13/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*



13124 Resolution Letter.pdf  
Adobe Acrobat Document  
281 KB

File Attachment

File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Budgetary Approval

From Account # or Fund Name: \_\_\_\_\_

To Account # or Fund Name: \_\_\_\_\_

Finance Director's Comments:  
\_\_\_\_\_  
\_\_\_\_\_

BY: John Adams

Date: 6/13/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:  
\_\_\_\_\_  
\_\_\_\_\_

BY: 

Date: 6-14-19



## BID TABULATION

DUE DATE:                      6/6/2019

BID NUMBER:                13124

BID OPENING TIME:            2:00 PM

BID TITLE / DESCRIPTION:                      Daylighting Hydrovac Services

SIGNATURES:

X \_\_\_\_\_  
 X \_\_\_\_\_  
 X \_\_\_\_\_  
 X \_\_\_\_\_  
 X \_\_\_\_\_  
 X \_\_\_\_\_

COMPANY NAME  
CITY AND STATE  
CONTACT  
PHONE  
FAX  
EMAIL

**VENDORS**

<u>HUNTVAC SERVICES</u>	<u>BADGER</u>
<b>X</b>	<b>X</b>

VENDOR'S SIGNATURE

LINE ITEM	QTY	UNIT	DESCRIPTION	PRICE	PRICE
1		EA	Dual Operator Crew Daylighting Hydrovac Service Rate *Estimated 15 locations *Normal Business Hours	\$350.00 / hour	\$325.00 / hour
2		EA	Dual Operator Crew Daylighting Hydrovac Service Rate *Estimated 15 locations *Outside Normal Business Hours and Emergency On-Call Hours	\$415.00 / hour	\$465.00 / hour
3		FT	Remote Hose Work	\$1.50 / foot	\$2.00 / foot
4		LD	Off-site Disposal	\$75.00 / dump	\$100.00 / dump
5		HR	Travel Rate (if applicable). All work to be within Kirkwood City limits.	\$0.00	\$0.00
<b>NOTES:</b>					

June 13, 2019

To: Russell B. Hawes, Chief Administrative Officer

For Your Consideration: Daylighting Hydrovac Services, Bid #13124

Sealed bids were publicly opened on June 6, 2019. The bid tabulation is as follows:

<u>Vendor</u>	<u>Base Bid Rate</u>
Badger Daylighting Corp.	\$325.00
HuntVac Services	\$350.00

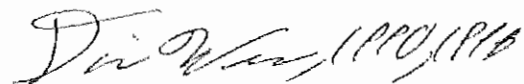
Bid requests were also sent to Alfred F. Mullen Concrete, Apex Contracting, Inc. Bates Utility Company, Brookside Contracting, Inc., Corrigan Company, Earth City Supply, Enterprise Sewer and Drain Inc., Freeman Environmental Services, Inc., G & S Construction, Gaele Grading LLC, Gansner Excavating & Grading LLC, Gateway Design and Construction Services, LLC, Genesis Environmental Solutions, Inc., Hagemann-Mullen Exc Co. Inc., Holloran Contracting, Hunt Environmental Services, Infrastructure Management Inc., Integra Construction Inc., Interface Construction Corporation, Karrenbrock Construction Inc., Lamke Trenching Excavating, Luby Equipment Services, Maverick Construction LLC, MKG Construction Inc., On Point Contractor LLC, PR Diamond Products Inc., Property Services Industries LLC, Southern Ditching & Excavating Co., The Campbell Group, Truss Brothers Construction Co., Woods Construction Services, Inc.; however they did not submit bids.

The bid was provided to Mark Petty, Electric Director, for review. It is recommended that the bid be awarded to Badger Daylighting Corp. at the rates provided in their bid response, as their bid is the lowest responsible bid meeting specifications. The anticipated contract term will be twelve (12) months with an option to renew annually thereafter one term at a time, up to four consecutive twelve (12) month terms at the rates provided in their bid response. Funding for future years will be contingent upon budgetary approval.

Funding is available in the amount of \$189,652.00 in account number 501-2111-480.66-30.

Attached is a request from Mark Petty, Electric Director, for a resolution authorizing a contract to be issued to Badger Daylighting Corp. for Daylighting Hydrovac Services at the rates provided in their bid response with an initial term of twelve (12) months, with the option to renew annually for up to four additional (12) twelve month terms at the rates provided.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 98-2019

A RESOLUTION ACCEPTING THE BID OF SCHAEFFER ELECTRIC AT THE RATES PROVIDED IN THE MEMO (A COPY OF WHICH IS ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN) FOR STREET LIGHTING SERVICES FOR THE ELECTRIC DEPARTMENT WITH AN INITIAL TERM OF 12 MONTHS WITH THE OPTION TO RENEW FOR UP TO FOUR ADDITIONAL 12 MONTH TERMS PENDING BUDGETARY APPROVAL AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for Street Lighting Services for the Electric Department, and

WHEREAS, the most responsible bid received was that of Schaeffer Electric at the rates provided in the memo (a copy of which is attached hereto and incorporated by reference herein) with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement and the Director of Electric, and

WHEREAS, funds are available in Account #501-2115-480.75.15, Project #EL1903.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The bid of Schaeffer Electric at the rates provided in the memo (a copy of which is attached hereto and incorporated by reference herein) for Street Lighting Services with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with Schaeffer Electric at the rates provided in the memo (a copy of which is attached hereto and incorporated by reference herein) for Street Lighting Services with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

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Mayor, City of Kirkwood

ATTEST:

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City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

### Step #1:

Strategic Plan YES

Goal # & Title Goal #1: - Enhance the quality of life of citizens

### Background To Issue:

The Procurement Department conducted an invitation for bids for street lighting services.

### Recommendations and Action Requested:

The Electric Department recommends award of the bid to Schaeffer Electric as per the rates provided and budgetary amounts approved by City Council.

### Alternatives Available:

The utilization of a contractor to install LED lights will free up Kirkwood Electric Line Worker crews to focus on the power delivery system. This will also reduce lighting energy and maintenance expenses for the City of Kirkwood.

Does this project have a public information component?  Yes  No

Cost: \$66,600.00 Account #: S012115480751S Project #: EL1903 Budgeted: YES

If YES, Budgeted Amount: \$77,629.00 If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

The department is installing LEDs whenever conventional overhead fixtures fail. This replacement will gradually upgrade the City's entire overhead system. Capital dollars are available because future underground lighting for Kirkwood Rd and Argonne will be scheduled at a later date and coordinated with potential grant dollars. The department recommends approval of the resolution. The department recommends the contract have 4 one-year renewal options in addition to the first year's agreement.

BY: Mark Petty

Date: 6/7/2019

Authenticated: pettyma

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

### Approve

Purchasing Director's Comments:

BY: David Weidler

Date: 6/13/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*



13183 Resolution Letter.pdf  
Adobe Acrobat Document  
211 KB

File Attachment

File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Budgetary Approval

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: John Adams

Date: 6/13/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-14-19

June 13, 2019

To: Russell B. Hawes, Chief Administrative Officer

**For Your Consideration:** Street Lighting Services, Bid #13183

Sealed bids were publicly opened on June 6, 2019. The bid tabulation is as follows:

<u>Vendor</u>	<u>Base Bid Rate</u>
Schaeffer Electric	\$185.00
Gerstner Electric, Inc.	\$257.00

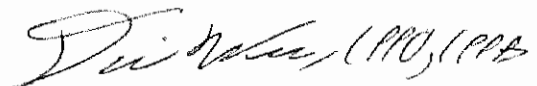
Bid requests were also sent to Brda Electric, Inc., Lighting Service, Inc., LumaTech, Inc., PAR Electric Contractors, Pyramid Electrical Contractors, Inc., and Superior Lighting, Inc.; however they did not submit bids.

The bid was provided to Mark Petty, Electric Director, for review. It is recommended that the bid be awarded to Schaeffer Electric at the rates provided in their bid response, as their bid is the lowest responsible bid meeting specifications. The anticipated contract term will be twelve (12) months with an option to renew annually thereafter one term at a time, up to four consecutive twelve (12) month terms at the rates provided in their bid response. Funding for future years will be contingent upon budgetary approval.

Funding is available in the amount of \$77,629.00 in account number 501-2115-480.75-15, project EL1903.

Attached is a request from Mark Petty, Electric Director, for a resolution authorizing a contract to be issued to Schaeffer Electric for Street Lighting Services at the rates provided in their bid response with a contract term of twelve (12) months with an option to renew annually thereafter one term at a time, up to four consecutive twelve (12) month terms, pending budgetary approval.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 99-2019

A RESOLUTION ACCEPTING THE BID OF TERRY'S TOWING AT THE RATES PROVIDED IN THE BID TAB SHEET (A COPY OF WHICH IS ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN) FOR TOWING SERVICES FOR THE WITH AN INITIAL TERM OF 12 MONTHS WITH THE OPTION TO RENEW FOR UP TO FOUR ADDITIONAL 12 MONTH TERMS PENDING BUDGETARY APPROVAL AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for Towing Services, and

WHEREAS, the most responsible bid received was that of Terry's Towing at the rates provided in the bid tab sheet (a copy of which is attached hereto and incorporated by reference herein) with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement, and

WHEREAS, funds are available in multiple accounts.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The bid of Terry's Towing at the rates provided in the bid tab sheet (a copy of which is attached hereto and incorporated by reference herein) for Towing Services with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with Terry's Towing at the rates provided in the bid tab sheet (a copy of which is attached hereto and incorporated by reference herein) for Towing Services with an initial term of 12 months with the option to renew for up to four additional 12 month terms pending budgetary approval.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

---

Mayor, City of Kirkwood

ATTEST:

---

City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

### Step #1:

Strategic Plan NO      Goal # & Title

### Background To Issue:

The City of Kirkwood contracts for towing service with a private towing company, in order to provide towing service for citizens after accidents and with stalled vehicles, for police tows during arrests and in other situations, and for general City of Kirkwood use. A competitive bidding process was by the Procurement Department in conjunction with the Police Department to ensure the tow service is reliable and costs to citizens are kept as low as possible. Six towing companies responded with bids.

### Recommendations and Action Requested:

The Procurement and Police Departments request the Council approve contracting with Terry's Towing, the most responsive and responsible bidder, at the rates provided in their bid response. All City charges are to be funded out of various budgeted accounts.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$0.00      Account #: Various      Project #:      Budgeted: YES

If YES, Budgeted Amount: \$0.00      If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:


The City of Kirkwood contracts for towing service with a private towing company, in order to provide towing service for citizens after accidents and with stalled vehicles, and for police tows during arrests and in other situations. The City also utilizes these services out of operating budget accounts for a small number of tows of City vehicles each year. Please see the attached resolution letter and bid tabulation for more information.

BY: David Weidler      Date: 6/13/2019      Authenticated: weidledc

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. (**Must have Purchasing Director's approval**).

Approve



Purchasing Director's Comments:

[Empty text box for Purchasing Director's Comments]

BY: David Weidler

Date: 6/13/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*



12892 Bid Tab - Towing  
Services - SUMMARY.pdf  
Adobe Acrobat Document  
930 KB



12892 Resolution Letter.pdf  
Adobe Acrobat Document  
253 KB

File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Select...

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

[Empty text box for Finance Director's Comments]

BY: Select...

Date:

Authenticated:

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.



Approve



Diasapprove

Chief Administrative Officer's Comments:

[Empty text box for Chief Administrative Officer's Comments]

BY:

Date:

6-12-19

## BID TABULATION

**BID OPENING DATE:** April 16, 2019

**BID NUMBER:** 12892

**BID OPENING TIME:** 2:00 p.m.

**BID TITLE / DESCRIPTION:** Towing Services for City of Kirkwood MO

Page 1 of 2

**SIGNATURES:**

	COMPANY NAME	D&L Towing	Terry's Towing	Squires Towing
_____	CITY AND STATE	St Charles MO	St Louis MO	Arnold MO
X _____	CONTACT	_____	_____	_____
X _____	PHONE	_____	_____	_____
X _____	FAX	_____	_____	_____
X _____	EMAIL	_____	_____	_____
VENDOR'S SIGNATURE	X _____	X _____	X _____	X _____

Bid Line #	QTY	DESCRIPTION	PRICE	PRICE	PRICE
001		Standard Fee for Towing when service call is received from Kirkwood Police. This fee includes the use of a dolly and/or flatbed, winching and the first 15 minutes of road cleanup of broken glass and vehicle debris. (Per tow)	\$50.00	\$30.00	\$120.00
002		Up righting an overturned vehicle. (Per Incident)	\$50.00	\$35.00	\$60.00
003		Major Accident Cleanup (Accidents with significant vehicle debris, automotive fluid spills, cargo spills) beyond initial 15 minute cleanup in Item 001. (Per 15 min)	\$30.00	\$15.00	\$25.00
004		Off Road Vehicle Recovery: Fee for work time when the towed vehicle is off road and routine hoodup to the tow truck cannot be accomplished. (Per 15 min)	\$30.00	\$35.00	\$30.00
005		Mileage Fee (No mileage fee may be added to any tow that starts within the City of Kirkwood or City of Oakland and ends at the SUPPLIER'S storage yard.) (Per Mile)	\$0.00	\$2.00	\$8.00
006		Storage Fee for outside storage (Per day or part of day)	\$30.00	\$35.00	\$40.00
007		Additional Truck required for assistance at tow site. (Hourly)	\$50.00	\$35.00	\$135.00
008		Boom Truck required for assistance at tow site. (Hourly)	\$50.00	\$40.00	\$150.00
009		Release of Vehicle when the SUPPLIER is closed to the Public. (Per service)	\$25.00	\$25.00	\$100.00
010		Tarp Fee for Broken Windows. (Per service)	\$10.00	\$15.00	\$25.00
011		Wait Time for police investigations per Truck. (Per 15 min)	\$30.00	N/A	\$15.00
012		Fuel Surcharge, if any, at Fuel Cost of \$____ per Gallon or Above. Supplier must request the fuel surcharge increase in writing for approval and provide proof of index justifying fuel increase.	\$4.00/gal \$5.00/tow	N/A	\$5.00/gal \$20/tow
013		Mileage Fee for tow to anywhere except Supplier lot or City of Kirkwood Police Department, located at 131 W. Madison, Kirkwood MO 63122. (Per mile)	\$7.00	\$2.00	\$5.00
Optional Use		1) This agreement SHALL BE provided for use by the City of Des Peres, MO.	Yes	Yes	Yes
Optional Use		2) This agreement SHALL BE provided for use by the City of Rock Hill, MO.	Yes	Yes	Yes
<b>Total</b>					
Additional Costs/Notes:			\$10. per bag of oil dry. 15 minute response time to Kirkwood.	20 minute response time to Kirkwood.	10 minute response time to Kirkwood.

## BID TABULATION

**BID OPENING DATE:** April 16, 2019

**BID NUMBER:** 12892

**BID OPENING TIME:** 2:00 p.m.

**BID TITLE / DESCRIPTION:** Towing Services for City of Kirkwood MO

Page 2 of 2

**SIGNATURES:**

	COMPANY NAME	McNamara's Towing	Miner's Towing	Big Boy's Towing
_____	CITY AND STATE	Kirkwood MO	Fenton MO	Pacific MO
X _____	CONTACT	_____	_____	_____
X _____	PHONE	_____	_____	_____
X _____	FAX	_____	_____	_____
X _____	EMAIL	_____	_____	_____
_____	VENDOR'S SIGNATURE	X	X	X

Bid Line #	QTY	DESCRIPTION	PRICE	PRICE	PRICE
001		Standard Fee for Towing when service call is received from Kirkwood Police. This fee includes the use of a dolly and/or flatbed, winching and the first 15 minutes of road cleanup of broken glass and vehicle debris. (Per tow)	\$90.00	\$175.00	\$150.00
002		Up righting an overturned vehicle. (Per Incident)	\$0.00	\$0.00	\$150.00
003		Major Accident Cleanup (Accidents with significant vehicle debris, automotive fluid spills, cargo spills) beyond initial 15 minute cleanup in Item 001. (Per 15 min)	\$10.00	\$0.00	\$30.00
004		Off Road Vehicle Recovery: Fee for work time when the towed vehicle is off road and routine hoodup to the tow truck cannot be accomplished. (Per 15 min)	\$10.00	\$0.00	\$75.00
005		Mileage Fee (No mileage fee may be added to any tow that starts within the City of Kirkwood or City of Oakland and ends at the SUPPLIER'S storage yard.) (Per Mile)	\$0.00	\$5.00	\$5.00
006		Storage Fee for outside storage (Per day or part of day)	\$30.00	\$35.00	\$35.00
007		Additional Truck required for assistance at tow site. (Hourly)	\$0.00	\$50.00	\$100.00
008		Boom Truck required for assistance at tow site. (Hourly)	\$0.00	\$50.00	\$200.00
009		Release of Vehicle when the SUPPLIER is closed to the Public. (Per service)	\$0.00	\$0.00	\$50.00
010		Tarp Fee for Broken Windows. (Per service)	\$0.00	\$0.00	\$50.00
011		Wait Time for police investigations per Truck. (Per 15 min)	\$0.00	\$12.50	\$25.00
012		Fuel Surcharge, if any, at Fuel Cost of \$____ per Gallon or Above. Supplier must request the fuel surcharge increase in writing for approval and provide proof of index justifying fuel increase.	\$0.00	\$4.00/gal \$8.00/tow	\$4.00/gal \$15.00/tow
013		Mileage Fee for tow to anywhere except Supplier lot or City of Kirkwood Police Department, located at 131 W. Madison, Kirkwood MO 63122. (Per mile)	\$3.50	\$5.00	\$5.00
Optional Use		1) This agreement SHALL BE provided for use by the City of Das Peres, MO.	No	No	Yes
Optional Use		2) This agreement SHALL BE provided for use by the City of Rock Hill, MO.	No	No	Yes
<b>Total</b>					
Additional Costs/Notes:			20 minute response time to Kirkwood.	15 minute response time to Kirkwood.	15 minute response time to Kirkwood.

## BID TABULATION

**BID OPENING DATE:** April 16, 2019

**BID NUMBER:** 12892

**BID OPENING TIME:** 2:00 p.m.

**BID TITLE / DESCRIPTION:** Towing Services for City of Kirkwood MO

**SIGNATURES:**

	COMPANY NAME	Metro-West Services	Bolin Services
	Cardinal Towing	St Louis MO	Florissant MO
	CITY AND STATE	St Charles MO	St Louis MO
X	CONTACT		
X	PHONE		
X	FAX		
X	EMAIL		
	VENDOR'S SIGNATURE	X	X

Bid Line #	QTY	DESCRIPTION	PRICE	PRICE	PRICE
001		Standard Fee for Towing when service call is received from Kirkwood Police. This fee includes the use of a dolly and/or flatbed, winching and the first 15 minutes of road cleanup of broken glass and vehicle debris. (Per tow)	No bid	No bid	No Bid
002		Up righting an overturned vehicle. (Per Incident)			
003		Major Accident Cleanup (Accidents with significant vehicle debris, automotive fluid spills, cargo spills) beyond initial 15 minute cleanup in Item 001. (Per 15 min)			
004		Off Road Vehicle Recovery: Fee for work time when the towed vehicle is off road and routine hoodup to the tow truck cannot be accomplished. (Per 15 min)			
005		Mileage Fee (No mileage fee may be added to any tow that starts within the City of Kirkwood or City of Oakland and ends at the SUPPLIER'S storage yard.) (Per Mile)			
006		Storage Fee for outside storage (Per day or part of day)			
007		Additional Truck required for assistance at tow site. (Hourly)			
008		Boom Truck required for assistance at tow site. (Hourly)			
009		Release of Vehicle when the SUPPLIER is closed to the Public. (Per service)			
010		Tarp Fee for Broken Windows. (Per service)			
011		Wait Time for police investigations per Truck. (Per 15 min)			
012		Fuel Surcharge, if any, at Fuel Cost of \$____ per Gallon or Above. Supplier must request the fuel surcharge increase in writing for approval and provide proof of index justifying fuel increase.			
013		Mileage Fee for tow to anywhere except Supplier lot or City of Kirkwood Police Department, located at 131 W. Madison, Kirkwood MO 63122. (Per mile)			
Optional Use		1) This agreement SHALL BE provided for use by the City of Des Peres, MO.			
Optional Use		2) This agreement SHALL BE provided for use by the City of Rock Hill, MO.			
<b>Total</b>					
<b>Additional Costs:</b>					

June 13, 2019

To: Russell B Hawes, Chief Administrative Officer

**For Your Consideration:** Towing Services, Invitation for Bid # 12892

As a service to our citizens and others, the Police and Procurement Departments requested bids for towing service and storage. As our citizens and others require towing services in our City due to accidents, breakdowns and other reasons, a contract is desired for one company to handle the towing and storage requests of the City.

The City does not receive revenue for this service, however, requires that the agreed upon pricing, terms and conditions, and the contract are adhered to from the awarded towing company.

Sealed Bids were received on April 16, 2019. The bid tabulation is as follows:

<u>Vendor</u>	<u>Standard Fee for Towing</u>
Terrys's Towing	\$ 30.00
D & L Towing	\$ 50.00
McNamara's Towing	\$ 90.00
Squires Towing	\$ 120.00
Big Boy's Towing	\$ 150.00
Miner's Towing	\$ 175.00

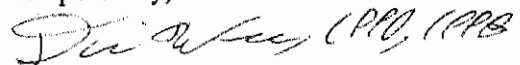
Additional Services were requested in the bid and are listed on the attached bid tabulation. The most used fee for towing services is estimated to be the standard fee with all other services used less frequently.

An Invitation for Bid request was also sent to Cardinal Towing, Metro-West Services, and Bolin Services; however they did not submit a bid.

The bids were provided to David Weidler, Director of Procurement, Brian Murphy, Police Chief, John Folluo, Police Captain, Scott Bailey, Police Captain, and Dan Gatti, Procurement Officer/Analyst, for evaluation. It is recommended that the contract be awarded to Terry's Towing, as their bid the lowest responsive and responsible bid meeting specifications.

Attached is a request from David Weidler, Director of Procurement, for a resolution authorizing a contract to be issued to Terry's Towing for Towing Services for the City of Kirkwood at the rates provided in their bid, with an initial term of one year and an option to renew annually for up to four additional one year terms.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 100-2019

A RESOLUTION TRANSFERRING FUNDS IN THE AMOUNT OF \$65,000 FROM ACCOUNT #302-2001-491.10.10 TO ACCOUNT #302-2001-600.75.03, PROJECT #PR2003, ACCEPTING THE PROPOSAL OF C&R MECHANICAL COMPANY IN THE AMOUNT NOT TO EXCEED OF \$80,000 (WHICH INCLUDES A CONTINGENCY OF \$3,146) FOR THE KIRKWOOD COMMUNITY CENTER ICE RINK – TEAM ROOM HVAC SYSTEM AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, a Request for Proposals was developed and proposals were received for the Kirkwood Community Center Ice Rink – Team Room HVAC System, and

WHEREAS, a Selection Committee consisting of the Director of Procurement, Director of Parks and Recreation, Ice Rink Manager, and Assistant Ice Rink Manager reviewed the proposals, and

WHEREAS, the Selection Committee recommends C&R Mechanical Company as the most qualified to provide Kirkwood Community Center Ice Rink – Team Room HVAC System services, and

WHEREAS, funds in the amount of \$65,000 need to be transferred from Account #302-2001-491.10.10 to Account #302-2001-600.75.03, Project #PR2003.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$65,000 are hereby transferred from Account #302-2001-491.10.10 to Account #302-2001-600.75.03, Project #PR2003.

SECTION 2. The proposal of C&R Mechanical Company in the amount not to exceed of \$80,000 (which includes a contingency of \$3,146) for the Kirkwood Community Center Ice Rink – Team Room HVAC is hereby accepted and approved.

SECTION 3. The Mayor is hereby authorized and directed to enter into a contract with C&R Mechanical Company in the amount not to exceed of \$80,000 (which includes a contingency of \$3,146) for the Kirkwood Community Center Ice Rink – Team Room HVAC.

SECTION 4. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan NO Goal # & Title

### Background To Issue:

The existing twenty year old heating system that serves the rink team room and ice resurfacers garage has failed. To meet current building codes the failed system should be replaced by an HVAC system that includes both heating and air conditioning. A transfer of funds will also be required to fully fund the project.

### Recommendations and Action Requested:

This is a request to enter into a contract with C & R Mechanical to provide and install a heating and air conditioning system for the ice rink team rooms and ice resurfacers garage at a not to exceed cost of \$80,000.00, including a contingency allotment of \$3,146.00. Costs to be charged to Account # 302-2001-600-7503 (Buildings & Grounds), Project #PR2003 (Rink/Locker Room HVAC). It is also requested that \$65,000.00 be transferred from Account 302-2001-491-1010 (Transfer to Other Funds) to the above referenced account and project.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$80,000.00 Account #: 30220016007503 Project #: PR2003 Budgeted: YES

If YES, Budgeted Amount: \$15,000.00 If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

See attached memorandum.

BY: Murray Pounds

Date: 6/11/2019

Authenticated: poundsm

You can attach up to 3 files along with this request.



Team Room HVAC 2019 Leg  
Req.docx  
Microsoft Word Document  
138 KB

File Attachment

File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Approve

Purchasing Director's Comments:

BY: David Weidler

Date: 6/13/2019

Authenticated: weidledc

You can attach up to 3 files along with this request.



13132 Resolution Letter.pdf  
Adobe Acrobat Document  
182 KB

File Attachment

File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Transfer of Funds

From Account # or Fund Name: Account 302-2001-491-1010 (Transfer to ...

To Account # or Fund Name: Account # 302-2001-600-7503 (Buildings & Gr...

Finance Director's Comments:

BY: John Adams

Date: 6/13/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-14-19



*From the desk of:*  
Murray Pounds, Director of Parks and Recreation  
111 S. Geyer Road, Kirkwood, MO 63122  
Phone: 314-822-5857 Fax: 314-984-5931  
E-mail: poundsm@kirkwoodmo.org



## Memo

**To:** Kirkwood City Council  
**From:** Murray Pounds  
**CC:** David Weidler, John Adams, Russ Hawes  
**Date:** June 11, 2019  
**Re:** Ice Rink HVAC Replacement

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Requests for Proposals (RFP #13132) were sent to multiple mechanical contractors for installation of a new HVAC system serving the team rooms and ice resurfacers garage at the Kirkwood Ice Rink. The RFP sought proposals for the replacement of the existing 20 year old furnace, and associated air handling units. The replacement would be with a heating *and air conditioning* system of the appropriate size for the space being conditioned.

Bids were received from two companies, C & R Mechanical and State Mechanical. C&R's proposal is for \$76,854.00 and State Mechanical's proposal is for \$102,830.00.

There is \$15,000.00 in the current capital budget, which was originally intended for the direct replacement of the current heater and air handler. Both pieces of equipment are failing and it was believed their replacement was the only issue at the time the budget was prepared. After further consideration and consultations, it was realized the current system is an improper application for the rink environment and additional changes were needed. In developing the RFP for replacement of the heating unit the following issues were identified:

- The current arrangement that only has heat renders the system almost useless except for the coldest months.

- When the system is not in use, the result is an influx of moist air into the team rooms and garage, causing numerous problems. Currently when the heater is not running untreated, moist air is introduced into the space causing mold, mildew, and structural issues do to condensation.
- The existing arrangement also does not comply with the current building code which calls for ventilation utilizing outside air year round.

The revised goal of the project is to create a situation where the air in the team rooms and ice resurfacers garage are properly heated and cooled, while eliminating issues with humid air when the exhaust system is working. Both proposals involved the installation of a DOAS (Dedicated Outdoor Air System) which should solve the problem of a lack of air conditioning and infiltration of moist air into the space, by continually providing properly conditioned outside air.

The rink staff recommends C & R Mechanical for the installation of the team room and garage HVAC at a cost of \$76,854.00. C & R Mechanical submitted the lowest responsible bid. C & R currently has the Ice Rink Chiller Maintenance Contract and we are extremely happy with the service provided by them over the last 10 years. They are responsive and prompt every time they are needed, and their service technicians are extremely knowledgeable in regards to our facility. This should be an advantage in pursuing this project.

We are requesting the approval of a contract with C & R Mechanical for a not to exceed amount of \$80,000.00 (including a contingency amount of \$3,146.00) to be charged to 302-2001-451-7503, Project PR2003. In order to fully fund the project, it is also requested that \$65,000.00 be transferred from Account 302-2001-491-1010 (Transfer to Other Funds) to the above referenced account and project. The transfer account is currently overfunded for the 2019-20 fiscal year due to a very successful performance of the Recreation Division in the prior fiscal year.

June 13, 2019

**To:** Russell B. Hawes, Chief Administrative Officer

**For Your Consideration:** Selection Committee's Recommendation for Kirkwood Community Center Ice Rink – Team Room HVAC System, RFP # 13132

Per Article VI. Procurement of the City of Kirkwood's Code of Ordinances, a Selection Committee was appointed by the Chief Administrative Officer and chaired by the Director of Procurement to review and recommend to Council a qualified company to provide Kirkwood Community Center Ice Rink – Team Room HVAC System.

A Request for Proposals for Kirkwood Community Center Ice Rink – Team Room HVAC System was sent to State Mechanical, C&R Mechanical, Murphy Company, IFS-Integrated Facility Services, GRP Mechanical, and Corrigan Co.

Proposal were received from State Mechanical Services Inc. and C&R Mechanical Co.

A selection committee which consisted of David Weidler, Director of Procurement, Murray Pounds, Director of Parks and Recreation, Ken Davies, Ice Rink Manager, and Jim Wolff, Assistant Ice Rink Manager, reviewed the proposals.

The Selection Committee reviewed and evaluated the proposal response on:

- Specialized experience and technical competence of Firm with respect to the type of services required;
- Capacity and capability of Firm to perform the work in question, including specialized services, within the time limitations fixed for the completion of the project;
- Past record of performance of Firm with respect to such factors as control of costs, quality of work, and ability to meet schedules;
- Firm's proximity to and familiarity with the area in which the projects are located.
- Firm's fee schedule

After review of the qualified company's proposal to perform these types of services, the Selection Committee is recommending C&R Mechanical Company to perform the Kirkwood Community Center Ice Rink – Team Room HVAC System installation based on the criteria listed above. This selected qualified firm will provide Kirkwood Community Center Ice Rink – Team Room HVAC System in the amount of \$76,854.00 with a contingency of \$3,146.00 for a total not to exceed value of \$80,000.00.

Funding is available in account number 302-2001-600.75-03, project number PR2003, in the amount of \$15,000.00. Additional funds in the amount of \$65,000.00 are requested to be transferred from account 302-2001-491.10-10 to account 302-2001-600.75-03, project number PR2003.

Attached is a request from Murray Pounds, Director of Parks & Recreation, requesting a transfer of funds in the amount of \$65,000.00 from account 302-2001-491.10-10 to account 302-2001-600.75-03, project number PR2003, and a contract be issued to C&R Mechanical Company in the amount of \$76,854.00 with a contingency of \$3,146.00 for a total not to exceed value of \$80,000.00 for the Kirkwood Community Center Ice Rink – Team Room HVAC System.

Respectfully,

A handwritten signature in black ink, appearing to read "David Weidler, CPPO, CPPB". The signature is written in a cursive style.

David Weidler, CPPO, CPPB  
Director of Procurement

BILL 10760

ORDINANCE

AN ORDINANCE APPROPRIATING \$140,673 FROM THE GEMT PROGRAM ACCOUNT TO MULTIPLE ACCOUNTS.

WHEREAS, the Ground Emergency Medical Transportation (GEMT) Uncompensated Cost Reimbursement Program is a voluntary program that allows for the reimbursement of uncompensated costs to eligible GEMT Program providers who provide qualifying emergency ambulance services to the Department of Social Services, MO HealthNet participants, and

WHEREAS, funds in the amount of \$140,673 needs to be appropriated from the GEMT Program Account as follows:

<u>To Account #</u>	<u>Amount</u>
101-1301-422.31.10 (Fire Department Professional Services)	\$ 47,799
101-0000-342.11.12 (Ambulance GEMT Revenue)	\$ 92,874

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$140,673 are hereby appropriated from the GEMT Program Account as follows:

<u>To Account #</u>	<u>Amount</u>
101-1301-422.31.10 (Fire Department Professional Services)	\$ 47,799
101-0000-342.11.12 (Ambulance GEMT Revenue)	\$ 92,874

SECTION 2. This Ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS DAY OF.

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Mayor, City of Kirkwood

ATTEST:

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City Clerk  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/6/2019

Step #1:

Strategic Plan NO

Goal # & Title

Background To Issue:

The Ground Emergency Medical Transportation (GEMT) Uncompensated Cost Reimbursement Program is a voluntary program that allows for the reimbursement of uncompensated costs to eligible GEMT providers who provide qualifying emergency ambulance services to Department of Social Services, MO HealthNet participants. It is effective for services rendered to MO HealthNet participants by eligible GEMT providers on or after July 1, 2017.

Total reimbursement from MHD, including the uncompensated cost reimbursement, will not exceed one hundred percent of the GEMT provider's actual costs. Reimbursement shall be distributed to eligible and enrolled providers based on GEMT services provided to MO HealthNet participants on a per-transport basis.

Under this voluntary program, providers must agree to fund the non-federal share of GEMT uncompensated cost reimbursement using an intergovernmental transfer (IGT) payment method. The GEMT Program must be implemented without any additional expenditure from the state general fund. As a condition of participation under this program, an eligible provider must agree to reimburse MHD for administering and overseeing the GEMT program. On May 20, 2019 the City of Kirkwood received 92,873.26 in our checking account.

Recommendations and Action Requested:

I ask Council to appropriate \$47,799 to account 101-1301-422-31-10 Fire Department Professional services account to fund the non-federal share of GEMT uncompensated cost reimbursement using an intergovernmental transfer (IGT) payment method and for expenses compiling report by the firm PCG(EMS). I also ask Council to appropriate \$92,874 to account 101-0000-342-11-12 Ambulance GEMT Revenue. The City of Kirkwood nets 45,074.94 by taking part in this program.

Alternatives Available:

Taking part in the Ground Emergency Medical Transportation (GEMT) program is voluntary. We obtained Councils permission several months ago to pursue the added funding from this program.

Cost: \$140,673.00

Account #: 10113014223110

Project #:

Budgeted: NO

If YES, Budgeted Amount:

If NO, or if insufficient funding (Complete Step #3).


Department Head Comments:

BY: John Adams


Date: 5/21/2019

Authenticated: adamsjr

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

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Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Select...


Purchasing Director's Comments:

BY: Select...


Date:

Authenticated:

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

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Step #3: If budgetary approval is required **(Must have Finance Department's approval).**

Appropriation

From Account # or Fund Name: GEMT Program

To Account # or Fund Name: See comments

Finance Director's Comments:

101-1301-422-3110 47,799 expense

101-0000-342-11-12 Ambulance GEMT 92,874 Revenue

BY: John Adams

Date: 5/21/2019

Authenticated: adamsjr

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve

Diasapprove

Chief Administrative Officer's Comments:

[Empty rectangular box for Chief Administrative Officer's Comments]

BY: 

Date: 5-30-19



BILL 10761

ORDINANCE

AN ORDINANCE APPROPRIATING \$1,358,126 FROM THE REAPPROPRIATIONS ACCOUNT TO ACCOUNT #505-2215-481.75.15, PROJECT #WA1907 FOR THE SWAN AVENUE PUMP STATION PROJECT.

WHEREAS, the Swan Avenue Pump Station project funds were not reappropriated for the Fiscal Year 2019/2020 Budget, and

WHEREAS, funds in the amount of \$1,358,126 needs to be appropriated from the Reappropriations Account to Account #505-2215-481.75.15, Project #WA1907.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$1,358,126 are hereby appropriated from the Reappropriations Account to Account #505-2215-481.75.15, Project #WA1907 for the Swan Avenue Pump Station project.

SECTION 2. This Ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS DAY OF.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/6/2019

Step #1:

Strategic Plan Select... Goal # & Title :

Background To Issue:

WA1907 Swan Avenue Pump Station, original budget 2,550,000, expended in 2018/2019 1,191,873, balance 1,358,126. The balance in the Swan Avenue project was not reappropriated. I ask Council to appropriate 1,358,126 to enable the water department to complete this project. The funds are in the hands of a trustee however we still need councils permission to expend the funds.

Recommendations and Action Requested:

I ask Council to appropriate 1,358,126 in account 505-2215-481-75-15, Project WA1907.

Alternatives Available:

Without Council approval we could not finish the project and risk possible budget violations.

Cost: \$1,358,126.00 Account #: 50522154817515 Project #: WA1907 Budgeted: NO

If YES, Budgeted Amount: If NO, or if insufficient funding (Complete Step #3).

Department Head Comments:

Project is ongoing in multiple fiscal years.

BY: John Adams

Date: 5/29/2019

Authenticated: adamsjr

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Select...


Purchasing Director's Comments:


BY: Select...


Date:

Authenticated:

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

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Step #3: If budgetary approval is required (Must have Finance Department's approval).

Appropriation

From Account # or Fund Name: Reappropriations

To Account # or Fund Name: 505-2215-481-75-15, WA1907

Finance Director's Comments:

Ongoing project, multiple fiscal years, needs to be appropriated.

BY: John Adams

Date: 5/29/2019

Authenticated: adamsjr

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 5-30-19

BILL 10762

ORDINANCE

AN ORDINANCE AMENDING THE PROVISIONS OF THE MUNICIPAL CODE, APPENDIX A – ZONING, REGARDING THE REGULATION OF MEDICAL MARIJUANA.

WHEREAS, Amendment 2 to the Missouri Constitution, which allows state-licensed physicians to recommend marijuana for medical purposes to patients with serious illnesses and medical conditions while also granting the authority to local municipalities to regulate the time, place, and manner of said uses without prohibiting said uses expressly or otherwise, was approved by voters on November 6, 2018; and

WHEREAS, on the 1<sup>st</sup> day of May, 2019, Staff made an introduction presentation to the Planning and Zoning Commission (PZ-1-20); and

WHEREAS, on the 15<sup>th</sup> day of May, 2019, the Planning and Zoning Commission discussed and recommended approval of amendments to the Zoning Code related to Medical Marijuana consistent with the recommendation included in the Staff report dated April 29, 2019 as amended; and

WHEREAS, on the 6<sup>th</sup> day of June, 2019, the City Council did hold a public hearing with respect to such amendments to the Zoning Code after duly advertising and giving proper notice of such hearing.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. That the City of Kirkwood Municipal Code of Ordinances, Appendix A – Zoning, is hereby amended by inserting the following defined terms in Section A-140.1:

Marijuana or Marihuana – Cannabis indica, Cannabis sativa, and Cannabis ruderalis, hybrids of such species, and any other strains commonly understood within the scientific community to constitute marijuana, as well as resin extracted from the plant and marijuana-infused products. “Marijuana” or “Marihuana” do not include industrial hemp containing a crop-wide average tetrahydrocannabinol concentration that does not exceed three-tenths of one percent on a dry weight basis, or commodities or products manufactured from industrial hemp.

Marijuana-Infused Products – Products that are infused with marijuana or an extract thereof and are intended for use or consumption other than by smoking, including, but not limited to, edible products, ointments, tinctures, and concentrates.

Medical Marijuana Facility – A facility licensed by the State of Missouri including the following:

- (a) Medical Marijuana Cultivation Facility – A facility licensed by the State of Missouri to acquire, cultivate, process, store, transport, and sell marijuana to a Medical Marijuana Dispensary Facility, Medical Marijuana Testing Facility, or to a Medical Marijuana-Infused Products Manufacturing Facility.
- (b) Medical Marijuana Dispensary Facility – A facility licensed by the State of Missouri to acquire, store, sell, transport and deliver marijuana, marijuana-infused products, and drug paraphernalia used to administer marijuana as provided by the State of Missouri to a Qualifying Patient, a Primary caregiver, another Medical Marijuana Dispensary Facility, a Medical Marijuana Testing Facility, or a Medical Marijuana-Infused Products Manufacturing Facility.
- (c) Medical Marijuana-Infused Products Manufacturing Facility – A facility licensed by the State of Missouri to acquire, store, manufacture, transport, and sell marijuana-infused products to a Medical Marijuana Dispensary Facility, a Medical Marijuana Testing Facility, or to another Medical Marijuana-Infused Products Manufacturing Facility.
- (d) Medical Marijuana Testing Facility – A facility certified by the State of Missouri to acquire, test, certify, and transport marijuana.

SECTION 2. That the City of Kirkwood Municipal Code of Ordinances, Appendix A – Zoning, is hereby amended by inserting the following use category in Section A-520.3, Special Uses and renumbering subsequent use categories as necessary.

520.3 (43) Medical Marijuana Dispensary Facility subject to regulations of Section A-520.12

SECTION 3. That the City of Kirkwood Municipal Code of Ordinances, Appendix A – Zoning, is hereby amended by inserting a new section, A-520.12 as follows:

520.12 Medical Marijuana Facility Regulations. All Medical Marijuana Facilities as defined in Section A-140, whether considered permitted or special uses, shall be subject to the following regulations:

- (1) Such facility shall be initially located a minimum of 1,000 feet from a church, place of worship, public or private school, day-care center, or public park. Said distance shall be measured according to the published regulations issued by the State of Missouri.
- (2) Such facility shall be located 500 feet from another medical marijuana facility of the same type. Said distance shall be measured according to the published regulations issued by the State of Missouri. This section shall not prohibit one facility from holding multiple licenses.
- (3) The hours of operation of a Medical Marijuana Dispensary Facility shall be between 8:00 a.m. and 9:00 p.m. daily.

- (4) Operations of cultivation, dispensing, manufacturing and testing facilities must be conducted entirely within an enclosed building, and consumption or smoking of marijuana products shall be prohibited on the premises.

SECTION 4. That the City of Kirkwood Municipal Code of Ordinances, Appendix A – Zoning, is hereby amended by inserting the following use categories in Section A-600.3, Special Uses and renumbering subsequent use categories as necessary.

- 600.3 (27) Medical Marijuana Cultivation Facility subject to regulations of Section A-600.11
- (28) Medical Marijuana Dispensary Facility subject to regulations of Section A-600.11
- (28) Medical Marijuana-Infused Products Manufacturing Facility subject to regulations of Section A-600.11
- (28) Medical Marijuana Testing Facility subject to regulations of Section A-600.11

SECTION 5. That the City of Kirkwood Municipal Code of Ordinances, Appendix A – Zoning, is hereby amended by inserting a new section, A-600.11 as follows:

600.11 Medical Marijuana Facility Regulations. All Medical Marijuana Facilities as defined in Section A-140 shall be subject to the following regulations:

- (3) Such facility shall be initially located a minimum of 1,000 feet from a church, place of worship, public or private school, day-care center, or public park. Said distance shall be measured according to the published regulations issued by the State of Missouri.
- (4) Such facility shall be located 500 feet from another medical marijuana facility of the same type. Said distance shall be measured according to the published regulations issued by the State of Missouri. This section shall not prohibit one facility from holding multiple licenses.
- (3) The hours of operation of a Medical Marijuana Dispensary Facility shall be between 8:00 a.m. and 9:00 p.m. daily.
- (4) Operations of cultivation, dispensing, manufacturing and testing facilities must be conducted entirely within an enclosed building, and consumption or smoking of marijuana products shall be prohibited on the premises.

SECTION 6. This ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS \_\_\_\_ day of \_\_\_\_\_, 2019.

---

Mayor, City of Kirkwood

ATTEST:

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City Clerk

Public Hearing:

1<sup>ST</sup> Reading:

2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/6/2019

Step #1:

Strategic Plan NO

Goal # & Title

Background To Issue:

In response to Amendment 2 of the Missouri Constitution, Staff has drafted proposed regulations for the establishment of business related to the Medical Marijuana industry. Additional information on the topic and recommendations can be found in the attached memo dated April 29, 2019.

These recommendations are specific to the zoning-related topics of Medical Marijuana. The City Attorney and City Staff will provide separate recommendations for other departments (Police, Human Resources) that would be affected by the enactment of Amendment 2.

Recommendations and Action Requested:

The Planning & Zoning Commission recommended approval of Staff's recommendations by a vote of 5-2 at their meeting on May 15, 2019.

Alternatives Available:

Cost: \$0.00

Account #: 0

Project #:

Budgeted: YES

If YES, Budgeted Amount: \$0.00

If NO, or if insufficient funding (Complete Step #3).

Department Head Comments:

BY: Jonathan Raiche

Date: 5/22/2019

Authenticated: raichejd

*You can attach up to 3 files along with this request.*



2019-04-29 PZ-01-20 Medical  
Marijuana Staff Memo.pdf  
Adobe Acrobat Document  
8.77 MB



2019-06-06 PZ-1-20  
Ordinance.doc  
Microsoft Word 97 - 2003  
Document  
40.5 KB

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**



Select...


Purchasing Director's Comments:

BY: Select...

Date:

Authenticated:

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (Must have Finance Department's approval).

Select...

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: Select...

Date:

Authenticated:

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.



Approve



Diasapprove

Chief Administrative Officer's Comments:

BY:



Date:

5-31-19

# MEMORANDUM



WHERE COMMUNITY AND SPIRIT MEET®

**TO:** PLANNING & ZONING COMMISSION  
**FROM:** JONATHAN D. RAICHE, CITY PLANNER  
AMY LOWRY, ASSISTANT CITY PLANNER  
**SUBJECT:** ZONING CODE CHANGES FOR IMPLEMENTATION OF LEGALIZED MEDICAL MARIJUANA, AMENDMENT 2  
**DATE:** APRIL 29, 2019  
**CC:** BILL BENSING, PUBLIC SERVICES DIRECTOR

---

## INTRODUCTION

Amendment 2 to the Missouri Constitution was approved by voters on November 6, 2018 and allows “state-licensed physicians to recommend marijuana for medical purposes to patients with serious illnesses and medical conditions.” The Missouri Department of Health and Senior Services (DHSS) will grant licenses for the cultivation, manufacture, dispensing, sale, testing, tracking, and transportation of marijuana for medical use. The Amendment allows businesses to operate in the following areas of cultivation and dispensation:

- Cultivation/Agriculture
- Manufacturing/Extraction
- Dispensing/Patient Care
- Testing/Labs

Cities may regulate the “time, place, and manner” of the operation of medical marijuana facilities as long as the regulations are not unduly burdensome on the operation of the medical marijuana facilities. Amendment 2 also includes a requirement that a medical marijuana facility may not be initially located within 1000 feet of any then-existing elementary or secondary school, child daycare center, or church; however, this spacing requirement may be decreased if a city chooses. A city may require a business license, but not a special license. After reviewing Amendment 2 and ordinances from other Missouri cities (see attached Exhibit A), Staff recommends the following changes to the Zoning Code.

## DEFINITIONS

The terms: “Marijuana,” “Marijuana-Infused Products,” “Medical Marijuana Cultivation Facility,” “Medical Marijuana Dispensary Facility,” “Medical Marijuana- Infused Products Manufacturing Facility,” and “Medical Marijuana Testing Facility” are defined in Amendment 2 and should be added in alphabetical order to the definitions section of the Zoning Code as follows (Section A 140.1):

- **Marijuana or Marihuana** – *Cannabis indica*, *Cannabis sativa*, and *Cannabis ruderalis*, hybrids of such species, and any other strains commonly understood within the scientific community to constitute marijuana, as well as resin extracted from the plant and marijuana-infused products. “Marijuana” or “Marihuana” do not include industrial hemp containing a crop-wide average tetrahydrocannabinol concentration that does not exceed

three-tenths of one percent on a dry weight basis, or commodities or products manufactured from industrial hemp.

- **Marijuana-Infused Products** – Products that are infused with marijuana or an extract thereof and are intended for use or consumption other than by smoking, including, but not limited to, edible products, ointments, tinctures, and concentrates.
- **Medical Marijuana Facility** – A facility licensed by the State of Missouri including the following:
  - **Medical Marijuana Cultivation Facility** – A facility licensed by the State of Missouri to acquire, cultivate, process, store, transport, and sell marijuana to a Medical Marijuana Dispensary Facility, Medical Marijuana Testing Facility, or to a Medical Marijuana-Infused Products Manufacturing Facility.
  - **Medical Marijuana Dispensary Facility** – A facility licensed by the State of Missouri to acquire, store, sell, transport and deliver marijuana, marijuana-infused products, and drug paraphernalia used to administer marijuana as provided by the State of Missouri to a Qualifying Patient, a Primary caregiver, another Medical Marijuana Dispensary Facility, a Medical Marijuana Testing Facility, or a Medical Marijuana-Infused Products Manufacturing Facility.
  - **Medical Marijuana-Infused Products Manufacturing Facility** – A facility licensed by the State of Missouri to acquire, store, manufacture, transport, and sell marijuana-infused products to a Medical Marijuana Dispensary Facility, a Medical Marijuana Testing Facility, or to another Medical Marijuana-Infused Products Manufacturing Facility.
  - **Medical Marijuana Testing Facility** – A facility certified by the State of Missouri to acquire, test, certify, and transport marijuana.

### **ZONING DISTRICTS**

The Kirkwood Zoning Code has the following equivalent uses to the four medical marijuana facilities.

#### **Cultivation**

- Florist shops with greenhouses require a SUP in B-1.
- Florist shops with greenhouses for retail trade on premises only are permitted in B-2, B-3, B-4, B-5 and I-1.
- Commercial greenhouses (25,000 square foot lot minimum) require a SUP in B-3 and I-1.

We recommend that a cultivation facility would be available with a SUP required in the I-1 zoning district and with a 25,000 square foot lot minimum. It would be prohibited in all other districts due to the higher potential for nuisances from things like operation and odor.

#### **Manufacturing**

- Food product manufacturers (except for fish and meat products, sauerkraut, vinegar, yeast, or rendering of fats and oils) are permitted in I-1.
- The zoning code does not allow tobacco products manufacturing.

We recommend that a manufacturing facility would require a SUP in I-1 and would be prohibited in all other districts.

**Testing Facilities** (for product strengths and contaminants)

- Pharmaceutical manufacturers are permitted in I-1.

We recommend that a testing facility would require a SUP in I-1 and would be prohibited in all other districts.

**Dispensary** (Although marijuana is prescribed, it may not be dispensed by a pharmacy without State licensing)

- Pharmacies are permitted in B-1, B-2, B-3, B-4, B-5 and I-1.
- Tobacco stores require a SUP in B-2, B-3, B-4 and I-1, and are permitted in B-5.
- Vapor products stores require a SUP in B-2, B-3, B-4 and I-1, and are permitted in B-5.

We recommend that a dispensary facility would require a SUP in B-3, and I-1 and would be prohibited in all other districts. Staff believes these highway-oriented and industrial districts are the most appropriate within the City and will provide adequate area without being viewed as unduly burdensome. The B-5 District was initially investigated, but due to proximity to private schools and churches, no land currently zoned B-5 is more than 1,000 feet from said uses.

### **RESTRICTIONS**

In an effort to regulate the “time, place, and manner” of said establishments, Staff has identified the following restrictions that should be included in all Districts in which the uses are listed as Special Uses. It would create a new section under the B-3 District, Section A-520.12, and a new section under the I-1 District, Section A-600.10. These restrictions are a combination of what is in the State Law and what other municipalities in the area have adopted.

A medical marijuana facility shall conform to the following minimum standards and restrictions:

- a. Such facility shall be initially located a minimum of 1,000 feet as measured from the boundaries of a legal lot of record which is occupied by or used as a church, place of worship, public or private school, day-care center, or public park.
- b. Such facility shall be located 500 feet, as measured from the boundaries of a legal lot of record, from another medical marijuana facility. This section shall not prohibit one facility from holding multiple licenses.
- c. The hours of operation of a Medical Marijuana Dispensary Facility shall be between 8:00 a.m. and 9:00 p.m. daily.
- d. Operations of cultivation, dispensing, manufacturing and testing facilities must be conducted entirely within an enclosed building, and consumption or smoking of marijuana products shall be prohibited on the premises.

### **OTHER CONSIDERATIONS**

A restriction requiring a minimum distance from residential property was evaluated by Staff, but ultimately it was decided that such requirement would be too burdensome due to the proximity of residentially zoned land to all commercial and industrial areas within Kirkwood. Staff also evaluated a buffer measurement of 750 feet and 500 feet (see Exhibit B). After evaluation, Staff believes the proposed buffer of 1,000 feet provides appropriate opportunity for Medical Marijuana Facilities.

## **Exhibit A**

### Review of Other Municipal Ordinances

#### **Webster Groves**

##### Definitions added to Zoning Code:

- Marijuana-Infused Products
- Medical Marijuana Cultivation Facility
- Medical Marijuana Dispensary Facility
- Medical Marijuana-Infused Products Manufacturing Facility
- Medical Marijuana Testing Facility

##### Restrictions:

- All such medical marijuana facilities are grouped with small loan businesses, pawnshops, and tattoo or body piercing establishments (none of which Kirkwood allows ) for location limitations on the business or use:
  - 1,000 feet from a parcel of land which is owned by a religious institution, educational institution, or the City, and which is occupied by or used as a church, school, place of worship, educational facility or public park
  - 500 feet from a Child Day Care Center
  - 150 feet of any other such establishment
- Hours of operation between 8:00 a.m. and 9:00 p.m. daily

##### Zoning districts allowed:

- Dispensing facilities are permitted in only one commercial district whereas cultivation, manufacturing and testing facilities are limited to the industrial district.

##### Nuisance regulations:

- Webster Groves also has performance standards for commercial and industrial districts which deal with vibration; noise; odor; smoke; toxic gases; dirt, dust, fly ash and other forms of particulate matter; radiation; and heat and glare. With regard to odor in particular, "Every use shall be so operated that no offensive or objectionable odor is emitted in accordance with the requirements of the Air Pollution Code, Chapter 612 of the St. Louis County Revised Code."

#### **Warrensburg**

##### Definitions added to Zoning Code:

- Marijuana
- Marijuana-Infused Products
- Medical Marijuana Cultivation Facility
- Medical Marijuana Dispensary Facility
- Medical Marijuana-Infused Products Manufacturing Facility
- Medical Marijuana Testing Facility

##### Restrictions (location only as measured in straight line from main public entrance or from lot lines of property):

- 1,000 feet from any school, child day-care center, church, or public library
- 100 feet from a residentially zoned district or a public park
- 500 feet from any adult entertainment business

- 250 feet from any establishment that sells liquor by the drink
- 500 feet from another marijuana use, except when marijuana sales represent less than 5% of the dollar volume of business in a state or federally licensed pharmacy

Zoning districts allowed:

- Dispensing facilities are permitted only when entirely within an enclosed building in four commercial districts (excepting neighborhood commercial), and in both the light and heavy industrial districts.
- Cultivation is permitted in the two industrial districts entirely within an enclosed building with outside cultivation as a conditional use therein.
- Manufacturing and testing facilities must be conducted entirely within an enclosed building and may also contain a dispensary.
  - If the majority of the business by dollar value is walk-in trade, then manufacturing and testing facilities may be located in the central business, general business, and light industrial districts.
  - If not, then manufacturing and testing facilities may be located in the general business, light industrial, and heavy industrial districts.
- Warrensburg also added parking requirements for each of the facilities.

Nuisance Regulations:

- No marijuana related use or facility shall emit an odor or in any way cause a public nuisance.
- Appropriate ventilation systems to prevent any odor of marijuana or fumes from leaving the premises or other changes to the facilities can be required if a public nuisance violation occurs.

**Crestwood**

Definitions added to Zoning Code:

- Marijuana
- Marijuana-Infused Products
- Medical Marijuana Cultivation Facility
- Medical Marijuana Dispensary Facility
- Medical Marijuana-Infused Products Manufacturing Facility
- Medical Marijuana Testing Facility
- Crestwood's ordinance specifically states that terms not expressly defined shall have meaning set forth in Amendment 2.

Restrictions:

- No marijuana facility may operate without a valid license from the Missouri DHSS.
- No marijuana or marijuana-infused products shall be acquired, certified, cultivated, delivered, manufactured, processed, sold, stored, tested, or transported within the City except by persons or entities licensed by DHSS. Such licenses shall be prominently displayed in a highly visible location.
- No person shall possess or consume marijuana or marijuana-infused products except qualifying patients and such consumption shall not be in a public place unless expressly permitted by law.
- All medical marijuana facilities shall be operated in accordance with Amendment 2, regulations promulgated by DHSS, applicable state statutes, and this division.

- All medical marijuana facilities shall obtain a city business license and annually pay all applicable taxes and fees.
- Any person who violates the code is guilty of an offense and shall be assessed a penalty, and the city shall have the authority to maintain civil suits to enforce provisions of this division.
- No medical marijuana facility shall be located within 500 feet of any elementary or secondary school, child-day care center, or church.
- No medical marijuana facility shall be located within 1000 feet of any other medical marijuana facility.
- No medical marijuana facility shall be located on the same premises as a physician's office.
- Hours of operation for sales and distribution of medical marijuana products are 8:00 a.m. to 9:00 p.m. daily. Dispensaries shall be secured and closed to the public after the hours listed and no persons not employed by the dispensary shall be present at any time when it is closed to the public.
- No outdoor storage.
- The Board of Alderman may impose additional restrictions on the time, place, and manner of operation of facilities in the conditional use permit process for the protection of public health, safety, and welfare.
- A separate conditional use permit shall be required for each premises used for a medical marijuana cultivation, dispensary, manufacturing, or testing facility. No two facilities may be located within the same premises, except that a dispensary facility and cultivation facility may be located on the same premises if both businesses are owned by the same entity.
- The conditional use permit is not transferable or assignable to a different premises, a different type of business, or a different owner or licensee, without permission of the Board of Alderman.
- Sign shall comply with sign code with the sign on the same premises as the facility.

Zoning districts allowed:

- Cultivation, dispensary, manufacturing and testing are allowed as a conditional use in the local business commercial district (the only unplanned commercial district), planned development commercial district, the light industrial district, and the planned development industrial district (reserved, but not currently being used).

Nuisance Regulations:

- None added by this ordinance.

**Exhibit B – Buffer Maps\*** (1,000 feet; 750 feet; 500 feet)

\*Maps are for preliminary reference. Individual properties will need further analysis to verify lot of record boundaries.



# PROCEDURE FOR PUBLIC HEARING

Mayor: At this time the council will recess to conduct a public hearing regarding:

**Amendments to the Zoning Code regarding regulation of Medical Marijuana related to Amendment 2 of the State Constitution – Citywide**

Mayor: Mr. Hessel, do you wish to enter any exhibits into the record?

Mayor: Mr. Hawes, who will present this issue to the City Council?

**City Planner Jonathan Raiche**

Mayor: Georgia, has anyone completed a card to speak regarding this proposal?

Mayor: Is there anyone in the audience that did not complete a card that wishes to speak regarding this issue? (Please be sure to fill out a card before you leave so your name and address is reflected in the record)

Mayor: Hearing no further discussion, the council will take this matter under advisement and consider the hearing to be recessed.



# AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI  
COUNTY OF ST. LOUIS

} S.S.

Page 1 of 1

Before the undersigned Notary Public personally appeared **Chanel Jones** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **May 21, 2019** edition and ending with the **May 21, 2019** edition, for a total of 1 publications:

05/21/2019

## CITY OF KIRKWOOD NOTICE OF PUBLIC HEARING

Before the City Council of  
Kirkwood, Missouri

The Council of the City of Kirkwood will hold a public hearing in City Hall, 139 South Kirkwood Road, Kirkwood, Missouri at the hour of 7:00 p.m., Thursday, June 6, 2019 to consider the following:

1. *Amendments to the Zoning Code regarding regulation of Medical Marijuana related to Amendment 2 of the State Constitution - Citywide*
2. *A request for a Special Use Permit for a Pet Day Care and Commercial Kennel with Outdoor Use proposed for 902 S. Kirkwood Road (Camp Bow Wow)*
3. *A request for a Special Use Permit for a Restaurant at 151 W. Jefferson (Gelato Di Riso)*

Laurie Asche, CMC/MRCC  
City Clerk

The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802. 117-47084 County May 21, 2019

*Chanel Jones*

Chanel Jones

Subscribed & sworn before me this 21st day of May, 2019  
(SEAL)

*Tynisha Robinson*  
Notary Public

TYNISHA ROBINSON  
Notary Public - Notary Seal  
State of Missouri  
Commissioned for St. Louis City  
My Commission Expires: August 14, 2021  
Commission Number: 17799424



## AFFIDAVIT OF PUBLICATION

**City of Kirkwood**

Attn: Laurie Asche  
City Clerk  
139 S. Kirkwood Rd.  
Kirkwood, MO 63122

I, Terry Cassidy, verify that the attached Public Hearing  
Notice was published in the Webster-Kirkwood Times on

May 24, 2019

  
Advertising Consultant



## NOTICE OF PUBLIC HEARING before the City Council of Kirkwood, MO

The Council of the City of Kirkwood will hold a public hearing in City Hall, 139 South Kirkwood Road, Kirkwood, Missouri at the hour of 7:00 p.m., Thursday, June 6, 2019 to consider the following:

- 1. Amendments to the Zoning Code regarding regulation of Medical Marijuana related to Amendment 2 of the State Constitution – Citywide***
- 2. A request for a Special Use Permit for a Pet Day Care and Commercial Kennel with Outdoor Use proposed for 902 S. Kirkwood Road (Camp Bow Wow)***
- 3. A request for a Special Use Permit for a Restaurant at 151 W. Jefferson (Gelato Di Riso)***

Laurie Asche, CMC/MRCC  
City Clerk

The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.



WHERE COMMUNITY AND SPIRIT MEET

May 16, 2019

Russell B. Hawes  
Chief Administrative Officer

At the May 15, 2019, meeting of the Planning and Zoning Commission, the following action was taken:

1. The Commission unanimously recommended approval of the final plat and development plans for an eight-lot Community Unit Plan known as Emmerson Estates Subdivision at 2017 Lily Avenue and 2040 Boaz Avenue.
2. The Commission unanimously recommended approval of Special Use Permits for a kennel/pet day care/outdoor use and the associated site plan or Camp Bow Wow at 902 South Kirkwood Road.
3. The Commission unanimously recommended approval of a Special Use Permit for a restaurant known as Gelato Di Riso at 151 West Jefferson Avenue.
4. By a vote of 5 to 2, the Commission recommended approval of amendments to the Zoning Code for medical marijuana facilities.

The next meeting will be held on June 19, 2019, at 7 p.m.

Respectfully submitted,

Allen Klippel, Chair  
Planning and Zoning Commission

# MEMORANDUM

**TO:** PLANNING & ZONING COMMISSION  
**FROM:** JONATHAN D. RAICHE, CITY PLANNER *JDR*  
AMY LOWRY, ASSISTANT CITY PLANNER



WHERE COMMUNITY AND SPIRIT MEET<sup>®</sup>

**SUBJECT:** ZONING CODE CHANGES FOR IMPLEMENTATION OF LEGALIZED MEDICAL MARIJUANA, AMENDMENT 2

**DATE:** APRIL 29, 2019

**CC:** BILL BENSING, PUBLIC SERVICES DIRECTOR

## INTRODUCTION

Amendment 2 to the Missouri Constitution was approved by voters on November 6, 2018 and allows “state-licensed physicians to recommend marijuana for medical purposes to patients with serious illnesses and medical conditions.” The Missouri Department of Health and Senior Services (DHSS) will grant licenses for the cultivation, manufacture, dispensing, sale, testing, tracking, and transportation of marijuana for medical use. The Amendment allows businesses to operate in the following areas of cultivation and dispensation:

- Cultivation/Agriculture
- Manufacturing/Extraction
- Dispensing/Patient Care
- Testing/Labs

Cities may regulate the “time, place, and manner” of the operation of medical marijuana facilities as long as the regulations are not unduly burdensome on the operation of the medical marijuana facilities. Amendment 2 also includes a requirement that a medical marijuana facility may not be initially located within 1000 feet of any then-existing elementary or secondary school, child daycare center, or church; however, this spacing requirement may be decreased if a city chooses. A city may require a business license, but not a special license. After reviewing Amendment 2 and ordinances from other Missouri cities (see attached Exhibit A), Staff recommends the following changes to the Zoning Code.

## DEFINITIONS

The terms: “Marijuana,” “Marijuana-Infused Products,” “Medical Marijuana Cultivation Facility,” “Medical Marijuana Dispensary Facility,” “Medical Marijuana- Infused Products Manufacturing Facility,” and “Medical Marijuana Testing Facility” are defined in Amendment 2 and should be added in alphabetical order to the definitions section of the Zoning Code as follows (Section A 140.1):

- **Marijuana or Marihuana** – *Cannabis indica*, *Cannabis sativa*, and *Cannabis ruderalis*, hybrids of such species, and any other strains commonly understood within the scientific community to constitute marijuana, as well as resin extracted from the plant and marijuana-infused products. “Marijuana” or “Marihuana” do not include industrial hemp containing a crop-wide average tetrahydrocannabinol concentration that does not exceed

three-tenths of one percent on a dry weight basis, or commodities or products manufactured from industrial hemp.

- **Marijuana-Infused Products** – Products that are infused with marijuana or an extract thereof and are intended for use or consumption other than by smoking, including, but not limited to, edible products, ointments, tinctures, and concentrates.
- **Medical Marijuana Facility** – A facility licensed by the State of Missouri including the following:
  - **Medical Marijuana Cultivation Facility** – A facility licensed by the State of Missouri to acquire, cultivate, process, store, transport, and sell marijuana to a Medical Marijuana Dispensary Facility, Medical Marijuana Testing Facility, or to a Medical Marijuana-Infused Products Manufacturing Facility.
  - **Medical Marijuana Dispensary Facility** – A facility licensed by the State of Missouri to acquire, store, sell, transport and deliver marijuana, marijuana-infused products, and drug paraphernalia used to administer marijuana as provided by the State of Missouri to a Qualifying Patient, a Primary caregiver, another Medical Marijuana Dispensary Facility, a Medical Marijuana Testing Facility, or a Medical Marijuana-Infused Products Manufacturing Facility.
  - **Medical Marijuana-Infused Products Manufacturing Facility** – A facility licensed by the State of Missouri to acquire, store, manufacture, transport, and sell marijuana-infused products to a Medical Marijuana Dispensary Facility, a Medical Marijuana Testing Facility, or to another Medical Marijuana-Infused Products Manufacturing Facility.
  - **Medical Marijuana Testing Facility** – A facility certified by the State of Missouri to acquire, test, certify, and transport marijuana.

### **ZONING DISTRICTS**

The Kirkwood Zoning Code has the following equivalent uses to the four medical marijuana facilities.

#### **Cultivation**

- Florist shops with greenhouses require a SUP in B-1.
- Florist shops with greenhouses for retail trade on premises only are permitted in B-2, B-3, B-4, B-5 and I-1.
- Commercial greenhouses (25,000 square foot lot minimum) require a SUP in B-3 and I-1.

We recommend that a cultivation facility would be available with a SUP required in the I-1 zoning district and with a 25,000 square foot lot minimum. It would be prohibited in all other districts due to the higher potential for nuisances from things like operation and odor.

#### **Manufacturing**

- Food product manufacturers (except for fish and meat products, sauerkraut, vinegar, yeast, or rendering of fats and oils) are permitted in I-1.
- The zoning code does not allow tobacco products manufacturing.

We recommend that a manufacturing facility would require a SUP in I-1 and would be prohibited in all other districts.

**Testing Facilities** (for product strengths and contaminants)

- Pharmaceutical manufacturers are permitted in I-1.

We recommend that a testing facility would require a SUP in I-1 and would be prohibited in all other districts.

**Dispensary** (Although marijuana is prescribed, it may not be dispensed by a pharmacy without State licensing)

- Pharmacies are permitted in B-1, B-2, B-3, B-4, B-5 and I-1.
- Tobacco stores require a SUP in B-2, B-3, B-4 and I-1, and are permitted in B-5.
- Vapor products stores require a SUP in B-2, B-3, B-4 and I-1, and are permitted in B-5.

We recommend that a dispensary facility would require a SUP in B-3, and I-1 and would be prohibited in all other districts. Staff believes these highway-oriented and industrial districts are the most appropriate within the City and will provide adequate area without being viewed as unduly burdensome. The B-5 District was initially investigated, but due to proximity to private schools and churches, no land currently zoned B-5 is more than 1,000 feet from said uses.

### **RESTRICTIONS**

In an effort to regulate the “time, place, and manner” of said establishments, Staff has identified the following restrictions that should be included in all Districts in which the uses are listed as Special Uses. It would create a new section under the B-3 District, Section A-520.12, and a new section under the I-1 District, Section A-600.10. These restrictions are a combination of what is in the State Law and what other municipalities in the area have adopted.

A medical marijuana facility shall conform to the following minimum standards and restrictions:

- a. Such facility shall be initially located a minimum of 1,000 feet as measured from the boundaries of a legal lot of record which is occupied by or used as a church, place of worship, public or private school, day-care center, or public park.
- b. Such facility shall be located 500 feet, as measured from the boundaries of a legal lot of record, from another medical marijuana facility. This section shall not prohibit one facility from holding multiple licenses.
- c. The hours of operation of a Medical Marijuana Dispensary Facility shall be between 8:00 a.m. and 9:00 p.m. daily.
- d. Operations of cultivation, dispensing, manufacturing and testing facilities must be conducted entirely within an enclosed building, and consumption or smoking of marijuana products shall be prohibited on the premises.

### **OTHER CONSIDERATIONS**

A restriction requiring a minimum distance from residential property was evaluated by Staff, but ultimately it was decided that such requirement would be too burdensome due to the proximity of residentially zoned land to all commercial and industrial areas within Kirkwood. Staff also evaluated a buffer measurement of 750 feet and 500 feet (see Exhibit B). After evaluation, Staff believes the proposed buffer of 1,000 feet provides appropriate opportunity for Medical Marijuana Facilities.



## Exhibit A

### Review of Other Municipal Ordinances

#### Webster Groves

##### Definitions added to Zoning Code:

- Marijuana-Infused Products
- Medical Marijuana Cultivation Facility
- Medical Marijuana Dispensary Facility
- Medical Marijuana-Infused Products Manufacturing Facility
- Medical Marijuana Testing Facility

##### Restrictions:

- All such medical marijuana facilities are grouped with small loan businesses, pawnshops, and tattoo or body piercing establishments (none of which Kirkwood allows ) for location limitations on the business or use:
  - 1,000 feet from a parcel of land which is owned by a religious institution, educational institution, or the City, and which is occupied by or used as a church, school, place of worship, educational facility or public park
  - 500 feet from a Child Day Care Center
  - 150 feet of any other such establishment
- Hours of operation between 8:00 a.m. and 9:00 p.m. daily

##### Zoning districts allowed:

- Dispensing facilities are permitted in only one commercial district whereas cultivation, manufacturing and testing facilities are limited to the industrial district.

##### Nuisance regulations:

- Webster Groves also has performance standards for commercial and industrial districts which deal with vibration; noise; odor; smoke; toxic gases; dirt, dust, fly ash and other forms of particulate matter; radiation; and heat and glare. With regard to odor in particular, "Every use shall be so operated that no offensive or objectionable odor is emitted in accordance with the requirements of the Air Pollution Code, Chapter 612 of the St. Louis County Revised Code."

#### Warrensburg

##### Definitions added to Zoning Code:

- Marijuana
- Marijuana-Infused Products
- Medical Marijuana Cultivation Facility
- Medical Marijuana Dispensary Facility
- Medical Marijuana-Infused Products Manufacturing Facility
- Medical Marijuana Testing Facility

##### Restrictions (location only as measured in straight line from main public entrance or from lot lines of property):

- 1,000 feet from any school, child day-care center, church, or public library
- 100 feet from a residentially zoned district or a public park
- 500 feet from any adult entertainment business

- 250 feet from any establishment that sells liquor by the drink
- 500 feet from another marijuana use, except when marijuana sales represent less than 5% of the dollar volume of business in a state or federally licensed pharmacy

Zoning districts allowed:

- Dispensing facilities are permitted only when entirely within an enclosed building in four commercial districts (excepting neighborhood commercial), and in both the light and heavy industrial districts.
- Cultivation is permitted in the two industrial districts entirely within an enclosed building with outside cultivation as a conditional use therein.
- Manufacturing and testing facilities must be conducted entirely within an enclosed building and may also contain a dispensary.
  - If the majority of the business by dollar value is walk-in trade, then manufacturing and testing facilities may be located in the central business, general business, and light industrial districts.
  - If not, then manufacturing and testing facilities may be located in the general business, light industrial, and heavy industrial districts.
- Warrensburg also added parking requirements for each of the facilities.

Nuisance Regulations:

- No marijuana related use or facility shall emit an odor or in any way cause a public nuisance.
- Appropriate ventilation systems to prevent any odor of marijuana or fumes from leaving the premises or other changes to the facilities can be required if a public nuisance violation occurs.

**Crestwood**

Definitions added to Zoning Code:

- Marijuana
- Marijuana-Infused Products
- Medical Marijuana Cultivation Facility
- Medical Marijuana Dispensary Facility
- Medical Marijuana-Infused Products Manufacturing Facility
- Medical Marijuana Testing Facility
- Crestwood's ordinance specifically states that terms not expressly defined shall have meaning set forth in Amendment 2.

Restrictions:

- No marijuana facility may operate without a valid license from the Missouri DHSS.
- No marijuana or marijuana-infused products shall be acquired, certified, cultivated, delivered, manufactured, processed, sold, stored, tested, or transported within the City except by persons or entities licensed by DHSS. Such licenses shall be prominently displayed in a highly visible location.
- No person shall possess or consume marijuana or marijuana-infused products except qualifying patients and such consumption shall not be in a public place unless expressly permitted by law.
- All medical marijuana facilities shall be operated in accordance with Amendment 2, regulations promulgated by DHSS, applicable state statutes, and this division.

- All medical marijuana facilities shall obtain a city business license and annually pay all applicable taxes and fees.
- Any person who violates the code is guilty of an offense and shall be assessed a penalty, and the city shall have the authority to maintain civil suits to enforce provisions of this division.
- No medical marijuana facility shall be located within 500 feet of any elementary or secondary school, child-day care center, or church.
- No medical marijuana facility shall be located within 1000 feet of any other medical marijuana facility.
- No medical marijuana facility shall be located on the same premises as a physician's office.
- Hours of operation for sales and distribution of medical marijuana products are 8:00 a.m. to 9:00 p.m. daily. Dispensaries shall be secured and closed to the public after the hours listed and no persons not employed by the dispensary shall be present at any time when it is closed to the public.
- No outdoor storage.
- The Board of Alderman may impose additional restrictions on the time, place, and manner of operation of facilities in the conditional use permit process for the protection of public health, safety, and welfare.
- A separate conditional use permit shall be required for each premises used for a medical marijuana cultivation, dispensary, manufacturing, or testing facility. No two facilities may be located within the same premises, except that a dispensary facility and cultivation facility may be located on the same premises if both businesses are owned by the same entity.
- The conditional use permit is not transferable or assignable to a different premises, a different type of business, or a different owner or licensee, without permission of the Board of Alderman.
- Sign shall comply with sign code with the sign on the same premises as the facility.

Zoning districts allowed:

- Cultivation, dispensary, manufacturing and testing are allowed as a conditional use in the local business commercial district (the only unplanned commercial district), planned development commercial district, the light industrial district, and the planned development industrial district (reserved, but not currently being used).

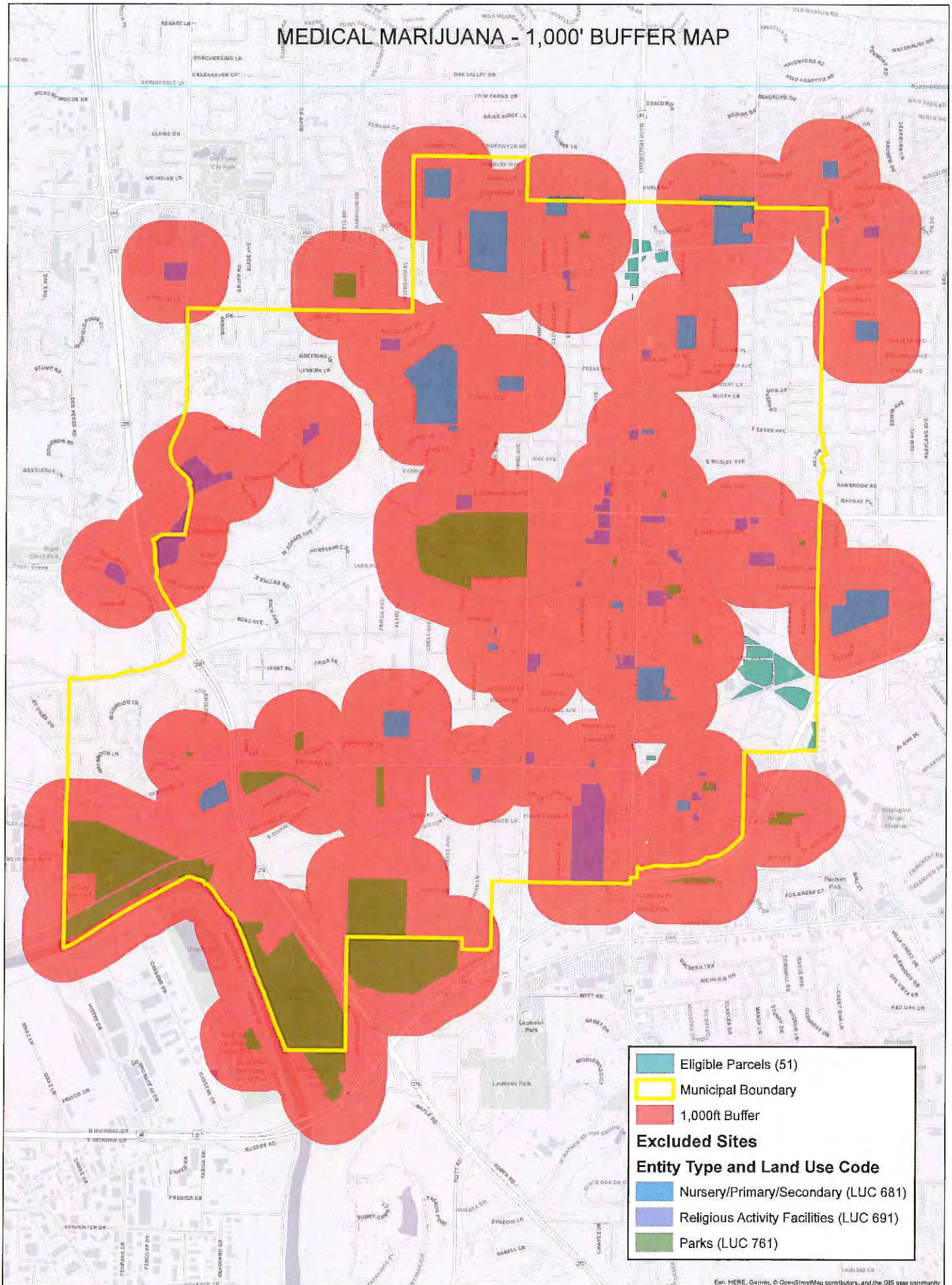
Nuisance Regulations:

- None added by this ordinance.

**Exhibit B – Buffer Maps\*** (1,000 feet; 750 feet; 500 feet)

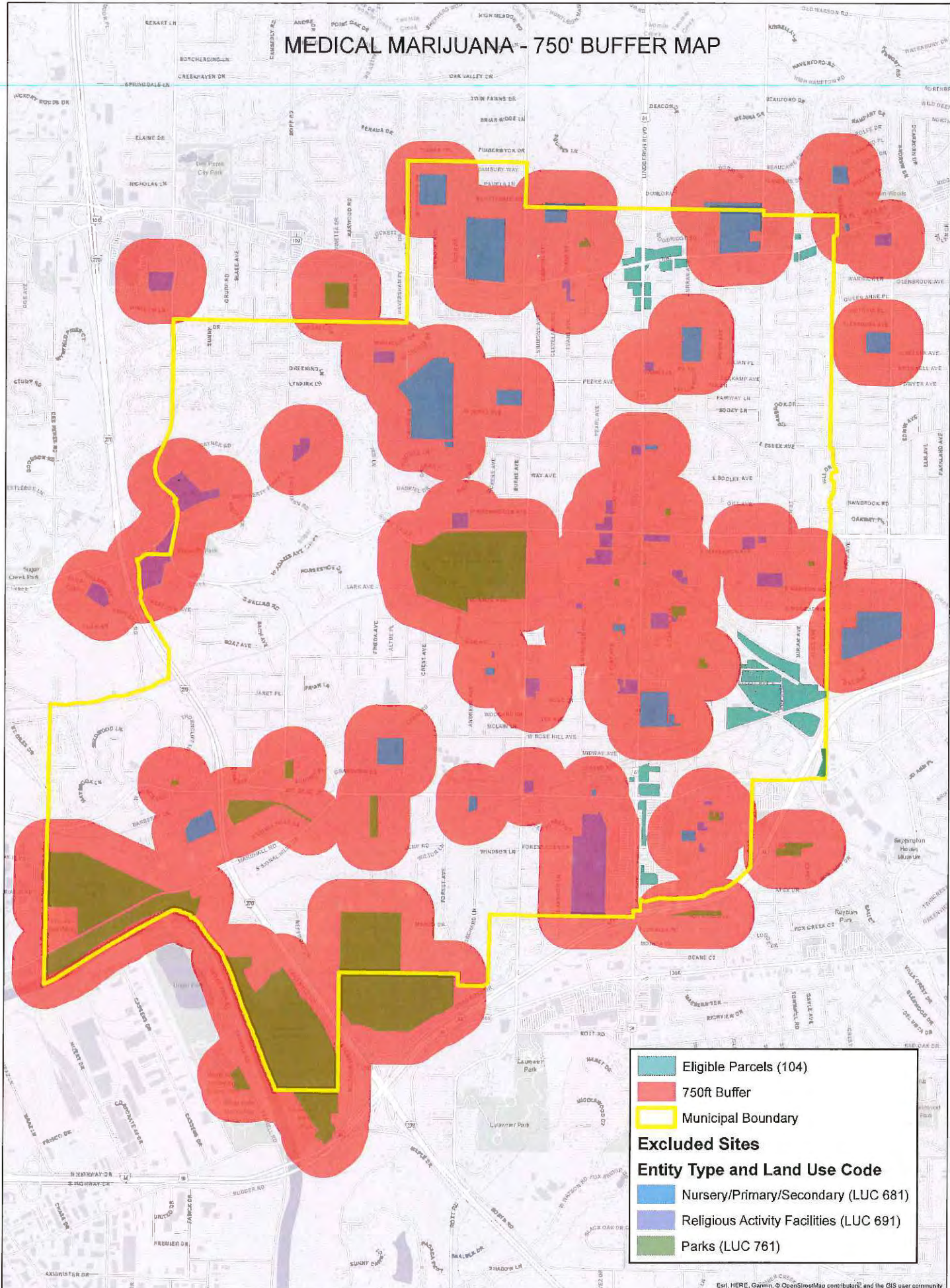
\*Maps are for preliminary reference. Individual properties will need further analysis to verify lot of record boundaries.

# MEDICAL MARIJUANA - 1,000' BUFFER MAP



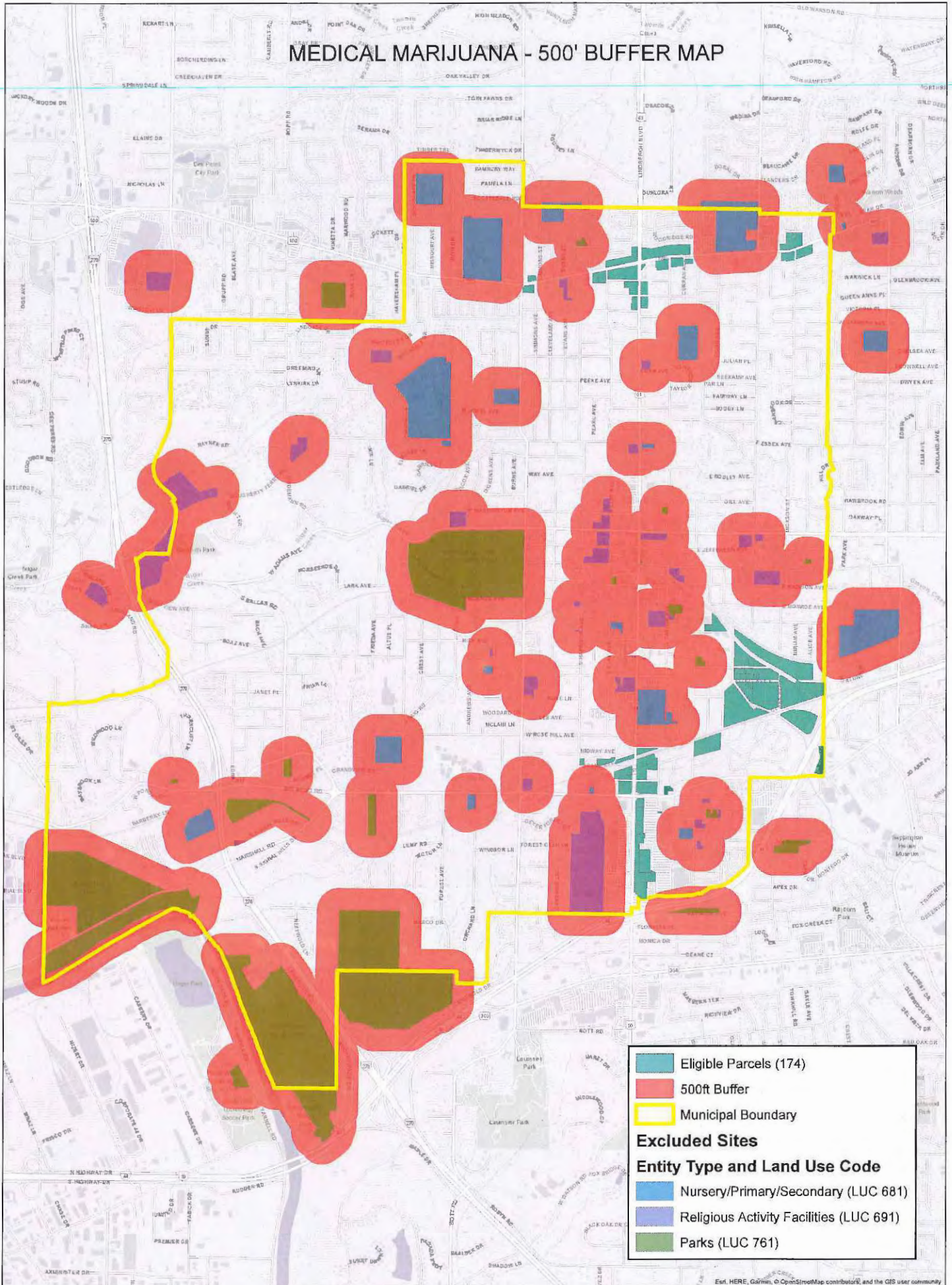
	Eligible Parcels (51)
	Municipal Boundary
	1,000ft Buffer
<b>Excluded Sites</b>	
<b>Entity Type and Land Use Code</b>	
	Nursery/Primary/Secondary (LUC 681)
	Religious Activity Facilities (LUC 691)
	Parks (LUC 761)

# MEDICAL MARIJUANA - 750' BUFFER MAP

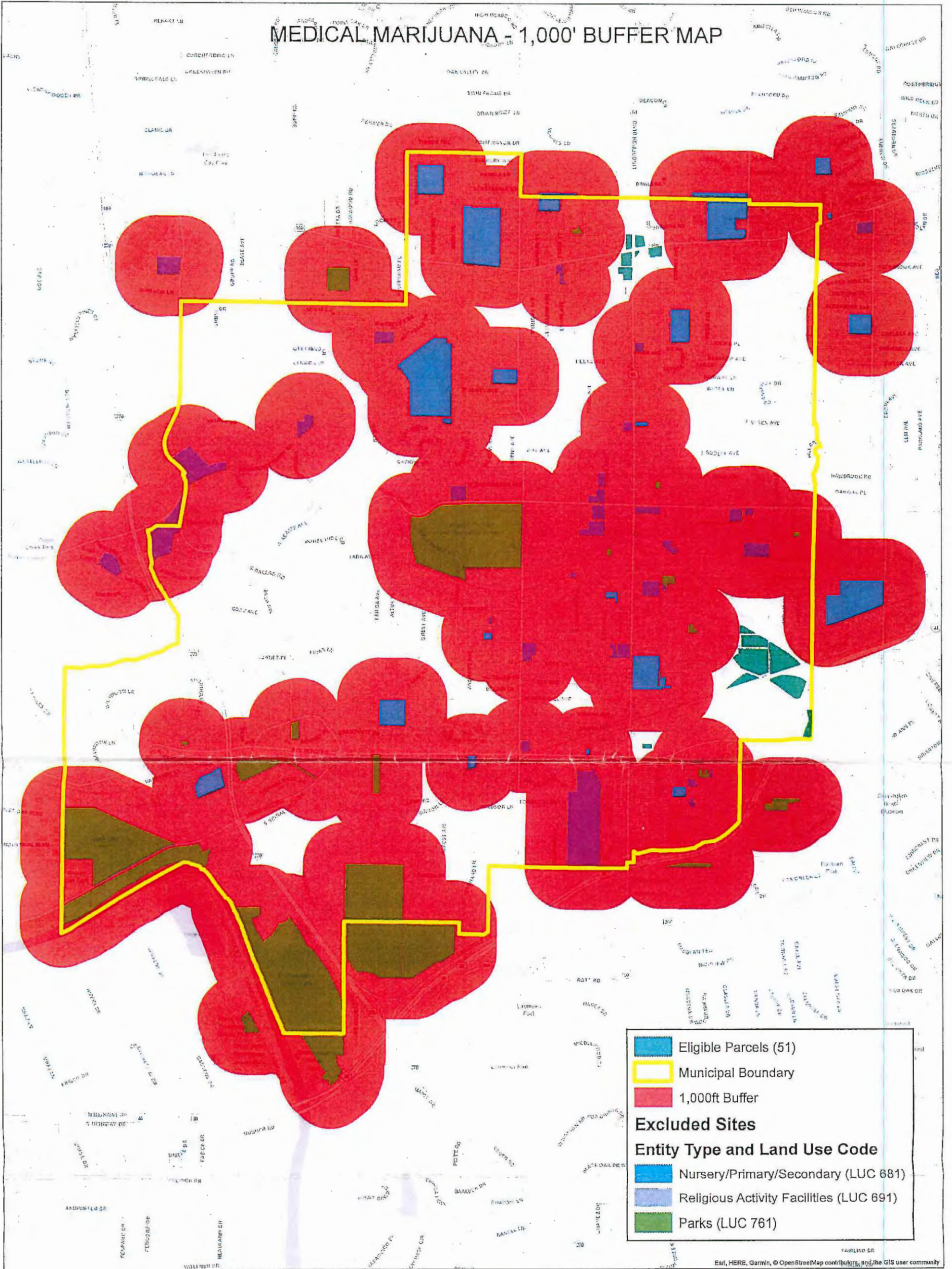


	Eligible Parcels (104)
	750ft Buffer
	Municipal Boundary
<b>Excluded Sites</b>	
<b>Entity Type and Land Use Code</b>	
	Nursery/Primary/Secondary (LUC 681)
	Religious Activity Facilities (LUC 691)
	Parks (LUC 761)

# MEDICAL MARIJUANA - 500' BUFFER MAP



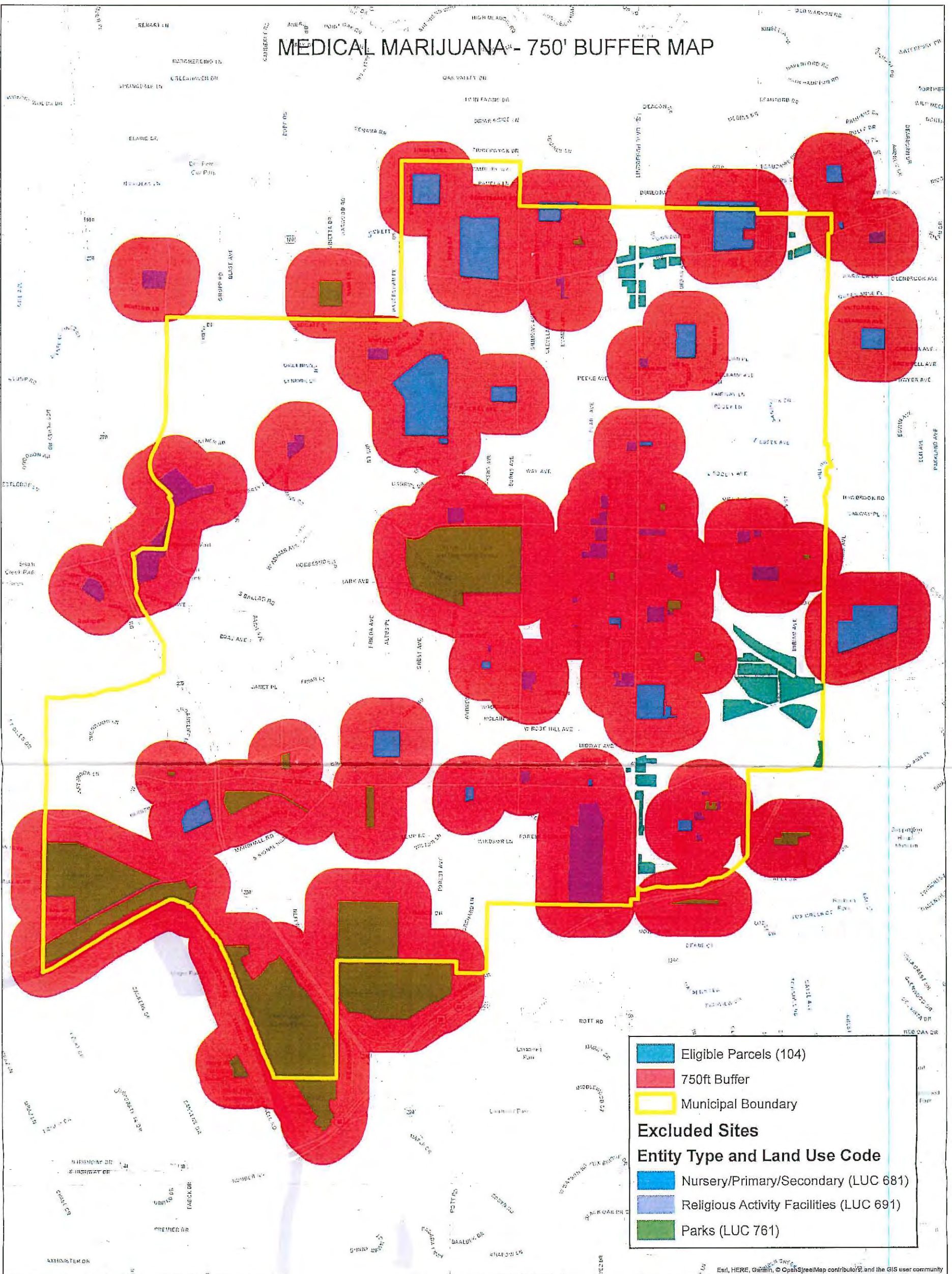
# MEDICAL MARIJUANA - 1,000' BUFFER MAP



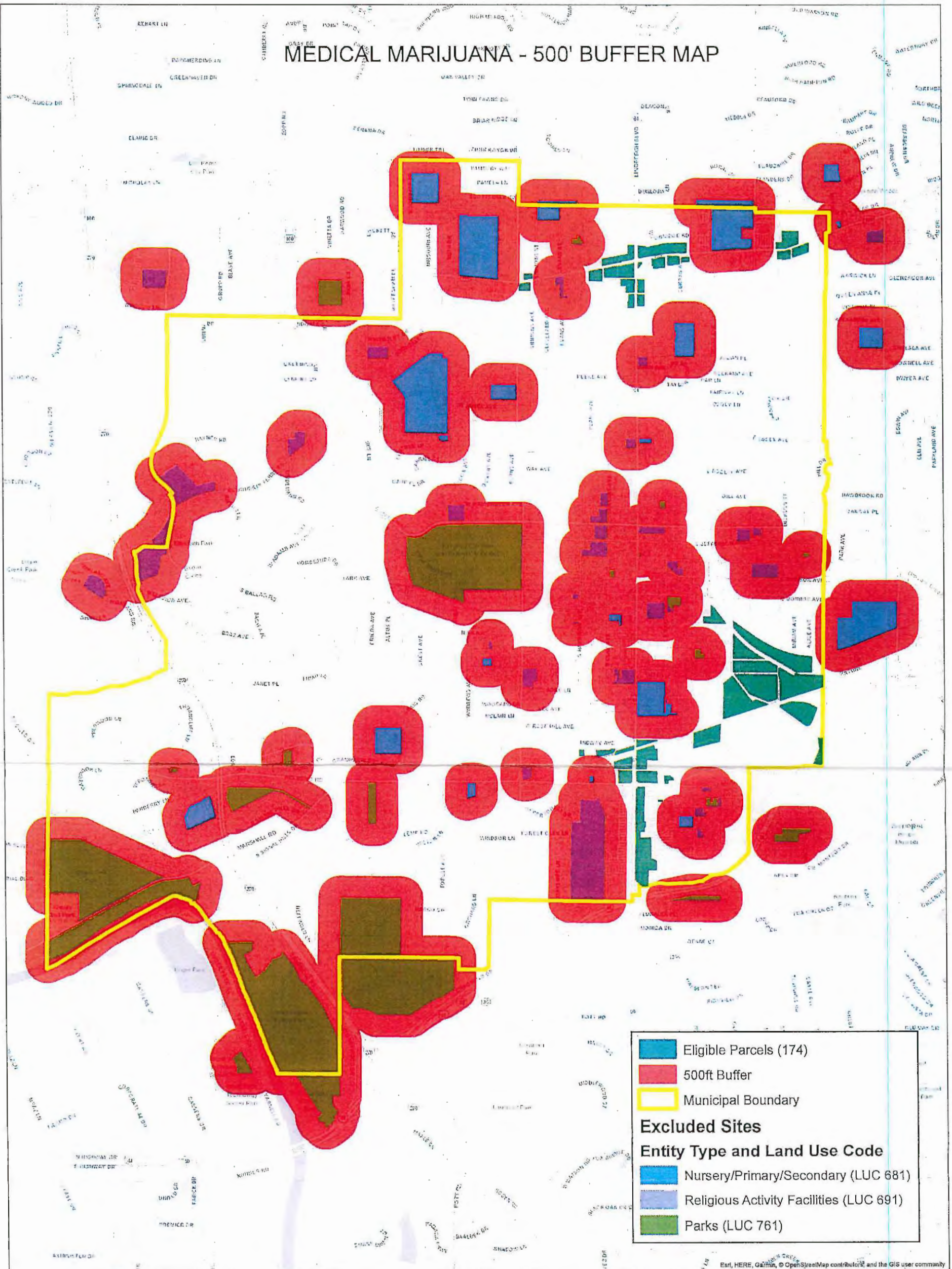
	Eligible Parcels (51)
	Municipal Boundary
	1,000ft Buffer
<b>Excluded Sites</b>	
<b>Entity Type and Land Use Code</b>	
	Nursery/Primary/Secondary (LUC 681)
	Religious Activity Facilities (LUC 691)
	Parks (LUC 761)



# MEDICAL MARIJUANA - 750' BUFFER MAP



# MEDICAL MARIJUANA - 500' BUFFER MAP



	Eligible Parcels (174)
	500ft Buffer
	Municipal Boundary
<b>Excluded Sites</b>	
<b>Entity Type and Land Use Code</b>	
	Nursery/Primary/Secondary (LUC 681)
	Religious Activity Facilities (LUC 691)
	Parks (LUC 761)

BILL 10763

ORDINANCE

AN ORDINANCE GRANTING SPECIAL USE PERMITS FOR A PET DAY CARE AND KENNEL (COMMERCIAL) WITH OUTDOOR USE AT 902 SOUTH KIRKWOOD ROAD SUBJECT TO CERTAIN CONDITIONS.

WHEREAS, Sharon Jeffries made application (PZ-24-19) for Special Use Permits for the purpose of operating a Pet Day Care and Kennel (Commercial) with outdoor use to be located at 902 South Kirkwood Road; and

WHEREAS, the Planning and Zoning Commission did on the 15<sup>th</sup> day of May, 2019, by adopting the Planning and Zoning Commission Report dated May 15, 2019, (attached hereto as Exhibit "A" and incorporated by reference herein), recommend the granting of said Special Use Permits subject to certain conditions and did find that granting of said permits would not substantially increase traffic hazards or congestion, would not substantially increase fire hazards, would not adversely affect the character of the neighborhood, would not adversely affect the general welfare of the community, and would not overtax public utilities, and that granting such permit would be consistent with the zoning laws; and

WHEREAS, the Council did on the 6<sup>th</sup> day of June, 2019, hold a public hearing with respect to such application after duly advertising and giving proper notice of such hearing and does find that the granting of such permit and site plan approval, subject to certain conditions, would not substantially increase traffic hazards or congestion, would not substantially increase fire hazards, would not adversely affect the character of the neighborhood, would not adversely affect the general welfare of the community, and would not overtax public utilities; and

WHEREAS, the Council does further find that the general welfare requires that such permit be subject to the conditions hereinafter set out.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Special Use Permits for Pet Day Care and Kennel (Commercial) with outdoor use are granted on the property known as 902 South Kirkwood Road subject to the following conditions:

1. The project shall be constructed and maintained in accordance with the Site Plan and Floor Plan stamped "Received May 9, 2019, City of Kirkwood Public Services Department", and the Lighting Plan stamped "Received March 12, 2019, City of Kirkwood Public Services Department", except as noted herein.
2. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee (10% of the first \$10,000 and 2% of the remaining balance of the performance guarantee) shall be submitted within one year of approval and prior to the issuance of a foundation letter or building permit to insure the completion of the proposed improvements, utilities and

landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services. The Letter of Credit shall be drawn from a St. Louis area bank.

3. Outdoor use shall be limited to the fenced areas indicated on the Site Plan stamped "Received May 9, 2019, City of Kirkwood Public Services Department" and shall be limited to the hours of 7am to 7pm.
4. The existing chain link fence and gate along the front property line and the fence along the north and south property lines for a minimum of 20 feet from the front property line shall be removed. Existing barbed wire on the entire existing chain link fence shall also be removed.
5. Landscape islands in the northwest and southwest corners of the property shall be installed and maintained as indicated on the Site Plan stamped "Received May 9, 2019, City of Kirkwood Public Services Department".
6. The existing accessory structure located in the southeast corner of the property shall be removed as indicated on the proposed plan.
7. The top rail of the existing chain link fence that will remain on the property shall be painted or replaced. All portions of the chain link fence located in front of the existing building shall be maintained to be rust-free for aesthetic reasons.
8. No parking is permitted along the north side of the middle island. Striping and signage may be required by the Fire Marshal.
9. Potholes shall be patched as directed by the Public Services Department.
10. Per Section A-1000.6, two bicycle racks to accommodate a total of four bicycles shall be installed. Said racks must comply with all regulations contained within Section A-1000.6.
11. An emergency access and pet removal plan for after hour incidents shall be provided for review and approval by the Fire Marshal prior to issuance of permits.
12. All new curb is required to be 18" concrete barrier curb.
13. Parking lot entrances shall be 7" thick concrete and ADA compliant.
14. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the petitioner shall install the necessary mains and accessories.
15. During excavation and construction activities, the area of the site that is disturbed for this project shall be fully enclosed by a 6-foot high chain link fence to prevent the entry of unauthorized persons. The gate for the fence shall be locked during non-working hours.
16. No parking of construction trailers, material storage, equipment storage, or construction equipment is authorized on the public streets at any time.

17. Enclosures are required to screen all dumpsters, grease receptacles, and similar items on the site and shall be constructed of sight-proof materials (e.g. masonry, split-faced concrete masonry units, etc.) similar or complementary to the main building and not less than six feet in height. Latching gates of similar or complementary materials shall be required to completely enclose the dumpster.
18. An accessible route in compliance with ADA standards shall be provided from the proposed accessible parking spaces to the accessible entrance of the building.
19. All rooftop equipment, air-conditioning units and mechanical equipment shall be completely screened from view of adjoining properties and public right-of-way.
20. The Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.

SECTION 2. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation and shall be installed prior to beginning of any grading or construction. The siltation control measures shall be installed and approved by the Public Services Department prior to issuance of any permit. These devices shall be maintained during the construction activities. Failure to maintain these devices authorizes the Public Services Department to issue a Stop Work Order for the building permit until such devices are restored.

SECTION 3. The approval of these special use permits shall not authorize any person to unreasonably alter, increase, or redirect the surface water run off so as to cause harm to any person or property.

SECTION 4. The premises and improvements as approved by these special use permits shall be in good working order and maintained in good repair at all times.

SECTION 5. The applicant by accepting and acting under the special use permits herein granted accepts the permit subject to the reservations, restrictions, and conditions set forth in the Code of Ordinances and in this Ordinance and agrees to comply with each provision subject to the penalties prescribed under Section 1-8 of the Code of Ordinances and subject to revocation of this permit in the event such provisions are not complied with.

SECTION 6. The applicant further agrees by accepting and acting under these special use permits herein granted that this ordinance does not grant applicant any special rights, privileges, or immunities.

SECTION 7. This ordinance shall become null and void in the event the petitioner does not obtain a building permit within one year of the passage of this ordinance.

SECTION 8. The applicant and her successors and assigns by accepting and acting under the approval herein granted accepts the approval subject to the condition that failure to abate any violation of this approval or any provisions of the Code of Ordinances of the City of Kirkwood within five (5) days after notice by hand delivery or first-class mail shall result in an administrative investigation fee of \$500 due to the City of Kirkwood. An invoice shall be issued. A Stop Work Order to cease all work on the premises except such work as directed by the Public Services Director to abate the violation may be issued for any work on the premises until the

investigation fee is paid in full. The City may demand payment of said fee from the holder of the letter of credit, any bond, or escrow if not paid within 30 days of the invoice.

SECTION 9. This ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS    day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

Introduced:

1<sup>st</sup> Reading:

2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/6/2019

Step #1:

Strategic Plan Select... Goal # & Title

### Background To Issue:

The applicant has applied for multiple Special Use Permit to allow for operation of a Pet Day Care and Kennel (Commercial) operation with outdoor uses. The request includes the renovation of the existing building at 902 S. Kirkwood Road which was previously occupied by ABC Material and is zoned I-1, Light Industrial. Additional information can be found in the attached documents.

### Recommendations and Action Requested:

The Planning & Zoning Commission recommended approval of the request with conditions by a vote of 7-0. A public hearing is requested for June 6th with City Council's consideration following.

### Alternatives Available:

Cost: \$0.00

Account #: 0

Project #:

Budgeted: YES

If YES, Budgeted Amount: \$0.00

If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Jonathan Raiche

Date: 5/22/2019

Authenticated: raichejd

*You can attach up to 3 files along with this request.*



2019-06-06 PZ-24-19  
Ordinance.doc  
Microsoft Word 97 - 2003  
Document  
45.5 KB



2019-05-15 PZ-24-19  
Report.pdf  
Adobe Acrobat Document  
4.31 MB



2019-06-06 PZ-24-19 CC  
Plans.pdf  
Adobe Acrobat Document  
5.04 MB

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Select...

Purchasing Director's Comments:

[Empty text box for Purchasing Director's Comments]


BY: Select...


Date:


Authenticated:

[Empty text box for authentication]

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (Must have Finance Department's approval).

Select...

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

[Empty text box for Finance Director's Comments]

BY: Select...

Date:

Authenticated:

[Empty text box for authentication]

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.



Approve

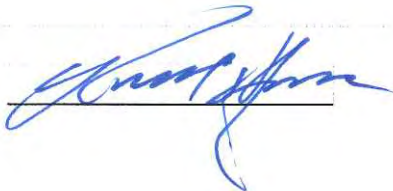


Diasapprove

Chief Administrative Officer's Comments:

[Empty text box for Chief Administrative Officer's Comments]

BY:



Date:

5-31-19



**CITY OF KIRKWOOD  
PLANNING AND ZONING SUBCOMMITTEE REPORT  
May 15, 2019**

**PETITION NUMBER:** PZ-24-19

**ACTION REQUESTED:** SPECIAL USE PERMITS (PET DAY CARE, KENNEL, OUTDOOR USE)

**PROPERTY OWNER:** ROBERT VATTEROTT PROPERTIES, INC.

**PETITIONER:** SHARON JEFFRIES, CAMP BOW WOW

**PETITIONER'S AGENT:** PETER NEWTON, HILLIKER CORP  
JEFF MUGG, SAINT LOUIS DESIGN ALLIANCE

**PROPERTY LOCATION:** 902 SOUTH KIRKWOOD ROAD

**ZONING:** I-1, LIGHT INDUSTRIAL DISTRICT

**DRAWINGS SUBMITTED:** SITE PLAN AND FLOOR PLAN PREPARED BY SAINT LOUIS DESIGN ALLIANCE ARCHITECTS STAMPED "RECEIVED MAY 9, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

LIGHTING PLAN STAMPED "RECEIVED MARCH 12, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

**DESCRIPTION OF PROJECT:**

The petitioner is requesting multiple Special Use Permits to allow the operation of a pet day-care facility with overnight boarding, training, and grooming services in the existing building and property located at 902 South Kirkwood Road. The property was most recently occupied by ABC Supply Company. The property has been historically used for similar uses with outdoor storage as a non-conforming use. The legal non-conforming outdoor storage component has been abandoned for more than 180 days and therefore has lost the legal non-conforming status. The property and building are currently vacant.

The petitioner proposes to renovate the interior of the main existing building and the existing parking lot. The building will be renovated to include a large area with individual boarding facilities, common indoor play areas, office area, grooming areas, and a reception area. In addition to the indoor facilities, the applicant has also proposed multiple outdoor play areas enclosed by an 8' tall vinyl fence.

**ZONING, LAND USE, AND COMPREHENSIVE PLAN:**

The subject property is presently zoned I-1, Light Industrial District and is designated as Transition Mix Use by the EnVision Kirkwood 2035 Comprehensive Plan. The Transition Mix Use Land Use designation includes the provision for Regional Commercial uses. The proposed land use is listed in this district as a Special Use requiring the applicant to apply for a Special Use Permit. Surrounding land uses and zoning include the following:

To the south: A multi-building office park is located to the south and is zoned I-1.

To the north: Commercial/light industrial buildings are located across the BNSF railroad right-of-way and are zoned I-1.

- To the east: A combination of commercial/light industrial uses and single-family residential homes are located to the east. These properties are zoned I-1 and R-4.
- To the west: Commercial/light industrial buildings are located across Kirkwood Road and are zoned I-1.

***OUTSTANDING DEPARTMENTAL/AGENCY COMMENTS:***

- Engineering: 1. Applicant shall provide staking/layout of the entrance location for the City contractor to install as part of the S. Kirkwood Road TAP project.  
2. Construct and grade island at SW property corner to drain towards the existing area inlet east of the proposed island. Area Inlet A will be eliminated from the City's TAP project.
- Fire: 1. Provide an emergency access and pet removal plan for after hour incidents. It looks like there are over 100 indoor pet pens and even partial occupancy could quickly overwhelm our ability function, maintain safety for our personnel and safely remove the pets.

***DISCUSSION:***

A Zoning Matters sign was posted on the property on March 29, 2019, and notice of the Planning & Zoning Commission was properly posted. This request was first presented by City Staff and the applicant at the Planning & Zoning Commission meeting on April 3, 2019. A subcommittee meeting was held on-site on April 8, 2019. A list of attendees at the subcommittee meeting can be seen in Exhibit A. Discussion at the subcommittee meeting included the following items:

- The outdoor training area needs to be delineated on the plan and hours of outdoor use need to be specified.
- The incorporation of conditions from the most recent approval on the site into this proposed site plan.
- The existing accessory structure needs to be removed or repaired per building code prior to occupancy of the main building is granted.
- The top rail of the existing chain link fence that is to remain should be painted or replaced.

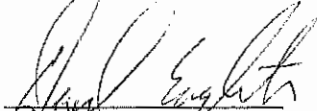
**RECOMMENDATION:**

The subcommittee recommends that this petition be **approved** with the following conditions:

1. The project shall be constructed and maintained in accordance with the plans referenced in the Drawing Submitted portion of this report, except as noted herein.
2. Outdoor use shall be limited to the fenced areas indicated on the Site Plan stamped "RECEIVED MAY 9, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT" and shall be limited to the hours of 7am to 7pm.
3. The existing chain link fence and gate along the front property line and the fence along the north and south property lines for a minimum of 20 feet from the front property line shall be removed. Existing barbed wire on the entire existing chain link fence shall also be removed.
4. Landscape islands in the northwest and southwest corners of the property shall be installed and maintained as indicated on the Site Plan stamped "RECEIVED MAY 9, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT".

5. The existing accessory structure located in the southeast corner of the property shall be removed as indicated on the proposed plan.
6. The top rail of the existing chain link fence that will remain on the property shall be painted or replaced. All portions of the chain link fence located in front of the existing building shall be maintained to be rust-free for aesthetic reasons.
7. No parking is permitted along the north side of the middle island. Striping and signage may be required by the Fire Marshal.
8. Potholes shall be patched as directed by the Public Services Department.
9. Per Section A-1000.6, two bicycle racks to accommodate a total of four bicycles shall be installed. Said racks must comply with all regulations contained within Section A-1000.6.
10. An emergency access and pet removal plan for after hour incidents shall be provided for review and approval by the Fire Marshal prior to issuance of permits.
11. The petitioner shall comply with all standard conditions as listed in Exhibit B.

Respectfully submitted,

  
\_\_\_\_\_  
David Eagleton

\_\_\_\_\_  
Ron Evens

**Exhibit A  
Attendance List**

**April 8, 2019**

**P&Z Subcommittee Meeting**

**Project:**

PZ-21-19, 903 S. Kirkwood Rd (Camp Bow Wow)

**Date:**

4/8/19

**Location:**

903 S. Kirkwood

Name	Organization
Jonathan Raiche	City of Kirkwood
David Eagleton	P&Z
Ron Evans	P&Z
Ryos Todd	CITY OF KIRKWOOD
Samantha Jeffers	Camp Bow Wow
Rob Vatterott	Owner
JEFF MUGO	ST LOUIS DESIGN ALLIANCE

**EXHIBIT B**  
**STANDARD CONDITIONS**

1. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee shall be submitted within one year of approval and prior to the issuance of a building permit to insure the completion of the proposed improvements, utilities and landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services. The Letter of Credit shall be drawn from a St. Louis area bank.
2. The premises and improvements as approved by this Special Use Permit shall be in good working order and maintained in good repair at all times.
3. Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.
4. All new rooftop mechanical equipment shall be fully screened from view of adjoining properties. The exact dimensions and materials of the screening shall be approved by the Building Commissioner.
5. The water system shall meet the requirements of the Kirkwood Fire and Water Departments.
6. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time.
7. Enclosures are required to screen all dumpsters, grease receptacles, and similar items on the site and shall be constructed of sight-proof materials (e.g. masonry, split-faced concrete masonry units, etc.) similar or complementary to the main building and not less than six feet in height. Latching gates of similar or complementary materials shall be required to completely enclose the dumpster.

# PROCEDURE FOR PUBLIC HEARING

Mayor: At this time the council will recess to conduct a public hearing regarding:

**A request for a Special Use Permit for a Pet Day Care and Commercial Kennel with Outdoor Use proposed for 902 S. Kirkwood Road (Camp Bow Wow)**

Mayor: Mr. Hessel, do you wish to enter any exhibits into the record?

Mayor: Mr. Hawes, who will present this issue to the City Council?

**City Planner Jonathan Raiche**

Mayor: Georgia, has anyone completed a card to speak regarding this proposal?

Mayor: Is there anyone in the audience that did not complete a card that wishes to speak regarding this issue? (Please be sure to fill out a card before you leave so your name and address is reflected in the record)

Mayor: Hearing no further discussion, the council will take this matter under advisement and consider the hearing to be recessed.



AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI  
COUNTY OF ST. LOUIS

} S.S.

Before the undersigned Notary Public personally appeared **Chanel Jones** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **May 21, 2019** edition and ending with the **May 21, 2019** edition, for a total of 1 publications:

05/21/2019

**CITY OF KIRKWOOD  
NOTICE OF PUBLIC HEARING**

Before the City Council of  
Kirkwood, Missouri

The Council of the City of Kirkwood will hold a public hearing in City Hall, 139 South Kirkwood Road, Kirkwood, Missouri at the hour of 7:00 p.m., Thursday, June 6, 2019 to consider the following:

- 1. *Amendments to the Zoning Code regarding regulation of Medical Marijuana related to Amendment 2 of the State Constitution - Citywide*
- 2. *A request for a Special Use Permit for a Pet Day Care and Commercial Kennel with Outdoor Use proposed for 902 S. Kirkwood Road (Camp Bow Wow)*
- 3. *A request for a Special Use Permit for a Restaurant at 151 W. Jefferson (Gelato Di Riso)*

Laurie Asche, CMC/MRCC  
City Clerk

The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802. 11747084 County May 21, 2019

*Chanel Jones*

Chanel Jones

Subscribed & sworn before me this 21<sup>st</sup> day of May, 2019

(SEAL)

*Tynisha Robinson*  
Notary Public





## AFFIDAVIT OF PUBLICATION

**City of Kirkwood**

Attn: Laurie Asche  
City Clerk  
139 S. Kirkwood Rd.  
Kirkwood, MO 63122

I, Terry Cassidy, verify that the attached Public Hearing  
Notice was published in the Webster-Kirkwood Times on

May 24, 2019

  
Advertising Consultant





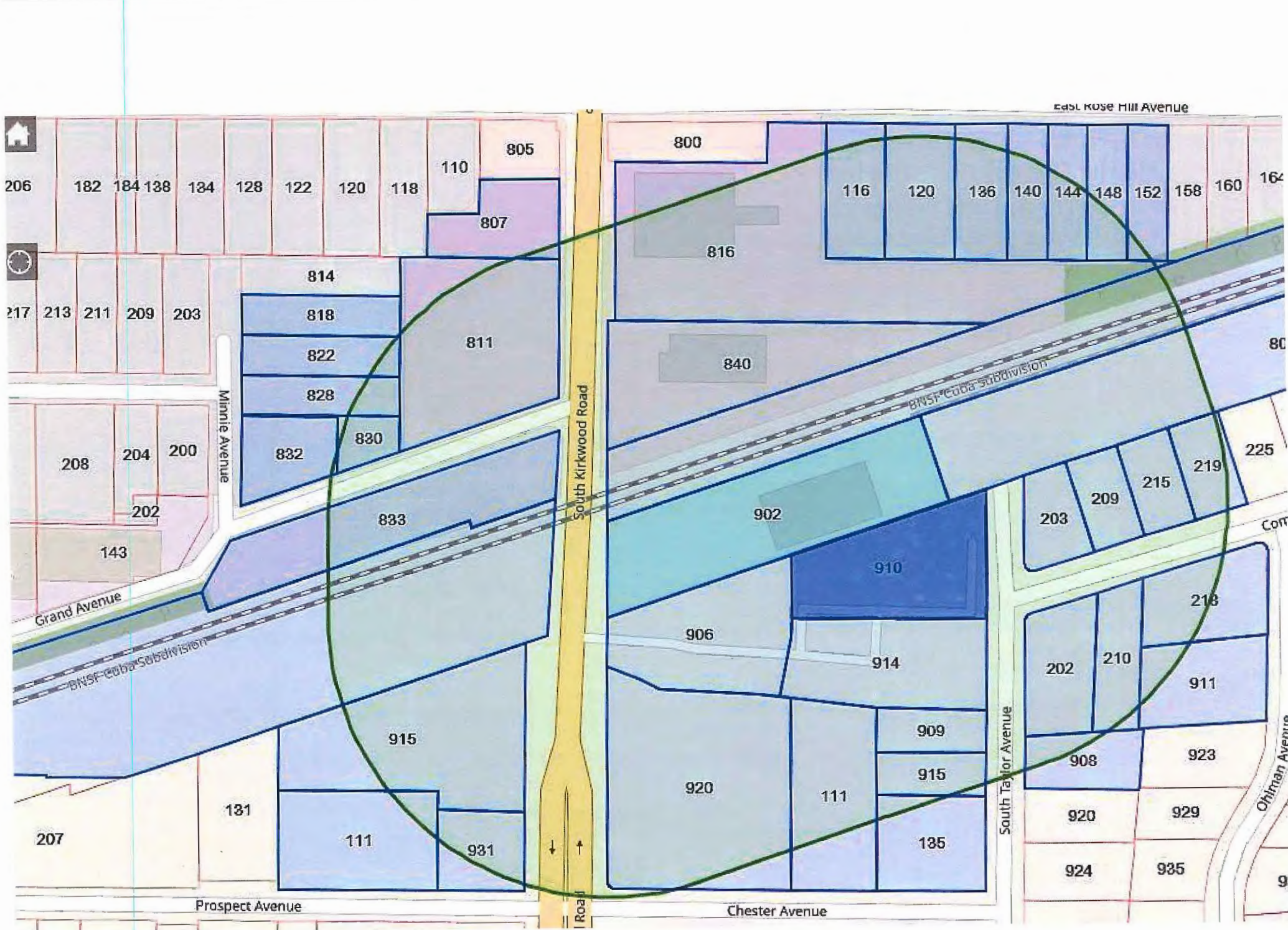
## NOTICE OF PUBLIC HEARING before the City Council of Kirkwood, MO

The Council of the City of Kirkwood will hold a public hearing in City Hall, 139 South Kirkwood Road, Kirkwood, Missouri at the hour of 7:00 p.m., Thursday, June 6, 2019 to consider the following:

- 1. Amendments to the Zoning Code regarding regulation of Medical Marijuana related to Amendment 2 of the State Constitution – Citywide**
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- 3. A request for a Special Use Permit for a Restaurant at 151 W. Jefferson (Gelato Di Riso)**

Laurie Asche, CMC/MRCC  
City Clerk

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PROPERTY OWNER  
6767 N HANLEY RD  
SAINT LOUIS, MO 63134

PROPERTY OWNER  
680 GREENVIEW DR  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
400 BEL AIR CT  
ALLEN, TX 75013

PROPERTY OWNER  
135 CHESTER AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
646 NORTON AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
832 MINNIE AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
1519 LYNKIRK LN  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
1819 VIRGINIA LN  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
915 S TAYLOR AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
906 S KIRKWOOD RD  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
3771 PORTLAND TRAIL DR  
SUWANEE, GA 30024

PROPERTY OWNER  
P.O. BOX 11676  
SAINT LOUIS, MO 63105

PROPERTY OWNER  
609 S ELLIOTT AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
822 MINNIE AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
2350 MARKET ST  
SAINT LOUIS, MO 63103

PROPERTY OWNER  
203 COMMERCE AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
840 S KIRKWOOD RD  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
509 LAKE AVE  
SAINT LOUIS, MO 63119

PROPERTY OWNER  
215 COMMERCE AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
1253 DOUGHERTY FERRY RD  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
32 CEDARBROOK LN  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
833 S KIRKWOOD RD  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
122 JEFFERSON RD  
SAINT LOUIS, MO 63119

PROPERTY OWNER  
7576 BLACKBERRY AVE  
SAINT LOUIS, MO 63130

PROPERTY OWNER  
902 S KIRKWOOD RD  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
12747 W WATSON RD  
SAINT LOUIS, MO 63127

PROPERTY OWNER  
209 COMMERCE AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
818 MINNIE AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
152 E ROSE HILL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
910 S KIRKWOOD RD, STE 120  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
148 E ROSE HILL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
910 S KIRKWOOD RD, STE 130  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
60 FRANK ST  
UNION, MO 63084

PROPERTY OWNER  
902 S KIRKWOOD RD, 140  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
1 FAIRVIEW PL  
FENTON, MO 63026

PROPERTY OWNER  
910 S KIRKWOOD RD, STE 100  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
136 E ROSE HILL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
120 E ROSE HILL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
906 S KIRKWOOD RD  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
116 E ROSE HILL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
575 MARYVILLE CENTRE  
SAINT LOUIS, MO 63141



WHERE COMMUNITY AND SPIRIT MEET

May 16, 2019

Russell B. Hawes  
Chief Administrative Officer

At the May 15, 2019, meeting of the Planning and Zoning Commission, the following action was taken:

1. The Commission unanimously recommended approval of the final plat and development plans for an eight-lot Community Unit Plan known as Emmerson Estates Subdivision at 2017 Lily Avenue and 2040 Boaz Avenue.
2. The Commission unanimously recommended approval of Special Use Permits for a kennel/pet day care/outdoor use and the associated site plan or Camp Bow Wow at 902 South Kirkwood Road.
3. The Commission unanimously recommended approval of a Special Use Permit for a restaurant known as Gelato Di Riso at 151 West Jefferson Avenue.
4. By a vote of 5 to 2, the Commission recommended approval of amendments to the Zoning Code for medical marijuana facilities.

The next meeting will be held on June 19, 2019, at 7 p.m.

Respectfully submitted,

Allen Klippel, Chair  
Planning and Zoning Commission

**CITY OF KIRKWOOD  
PLANNING AND ZONING SUBCOMMITTEE REPORT  
May 15, 2019**

**PETITION NUMBER:** PZ-24-19

**ACTION REQUESTED:** SPECIAL USE PERMITS (PET DAY CARE, KENNEL, OUTDOOR USE)

**PROPERTY OWNER:** ROBERT VATTEROTT PROPERTIES, INC.

**PETITIONER:** SHARON JEFFRIES, CAMP BOW WOW

**PETITIONER'S AGENT:** PETER NEWTON, HILLIKER CORP  
JEFF MUGG, SAINT LOUIS DESIGN ALLIANCE

**PROPERTY LOCATION:** 902 SOUTH KIRKWOOD ROAD

**ZONING:** I-1, LIGHT INDUSTRIAL DISTRICT

**DRAWINGS SUBMITTED:** SITE PLAN AND FLOOR PLAN PREPARED BY SAINT LOUIS DESIGN ALLIANCE ARCHITECTS STAMPED "RECEIVED MAY 9, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

LIGHTING PLAN STAMPED "RECEIVED MARCH 12, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

**DESCRIPTION OF PROJECT:**

The petitioner is requesting multiple Special Use Permits to allow the operation of a pet day-care facility with overnight boarding, training, and grooming services in the existing building and property located at 902 South Kirkwood Road. The property was most recently occupied by ABC Supply Company. The property has been historically used for similar uses with outdoor storage as a non-conforming use. The legal non-conforming outdoor storage component has been abandoned for more than 180 days and therefore has lost the legal non-conforming status. The property and building are currently vacant.

The petitioner proposes to renovate the interior of the main existing building and the existing parking lot. The building will be renovated to include a large area with individual boarding facilities, common indoor play areas, office area, grooming areas, and a reception area. In addition to the indoor facilities, the applicant has also proposed multiple outdoor play areas enclosed by an 8' tall vinyl fence.

**ZONING, LAND USE, AND COMPREHENSIVE PLAN:**

The subject property is presently zoned I-1, Light Industrial District and is designated as Transition Mix Use by the EnVision Kirkwood 2035 Comprehensive Plan. The Transition Mix Use Land Use designation includes the provision for Regional Commercial uses. The proposed land use is listed in this district as a Special Use requiring the applicant to apply for a Special Use Permit. Surrounding land uses and zoning include the following:

To the south: A multi-building office park is located to the south and is zoned I-1.

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To the east: A combination of commercial/light industrial uses and single-family residential homes are located to the east. These properties are zoned I-1 and R-4.

To the west: Commercial/light industrial buildings are located across Kirkwood Road and are zoned I-1.

***OUTSTANDING DEPARTMENTAL/AGENCY COMMENTS:***

Engineering: 1. Applicant shall provide staking/layout of the entrance location for the City contractor to install as part of the S. Kirkwood Road TAP project.  
2. Construct and grade island at SW property corner to drain towards the existing area inlet east of the proposed island. Area Inlet A will be eliminated from the City's TAP project.

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***DISCUSSION:***

A Zoning Matters sign was posted on the property on March 29, 2019, and notice of the Planning & Zoning Commission was properly posted. This request was first presented by City Staff and the applicant at the Planning & Zoning Commission meeting on April 3, 2019. A subcommittee meeting was held on-site on April 8, 2019. A list of attendees at the subcommittee meeting can be seen in Exhibit A. Discussion at the subcommittee meeting included the following items:

- The outdoor training area needs to be delineated on the plan and hours of outdoor use need to be specified.
- The incorporation of conditions from the most recent approval on the site into this proposed site plan.
- The existing accessory structure needs to be removed or repaired per building code prior to occupancy of the main building is granted.
- The top rail of the existing chain link fence that is to remain should be painted or replaced.

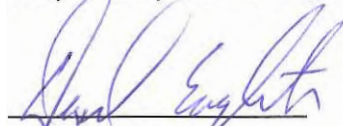
***RECOMMENDATION:***

The subcommittee recommends that this petition be **approved** with the following conditions:

1. The project shall be constructed and maintained in accordance with the plans referenced in the Drawing Submitted portion of this report, except as noted herein.
2. Outdoor use shall be limited to the fenced areas indicated on the Site Plan stamped "RECEIVED MAY 9, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT" and shall be limited to the hours of 7am to 7pm.
3. The existing chain link fence and gate along the front property line and the fence along the north and south property lines for a minimum of 20 feet from the front property line shall be removed. Existing barbed wire on the entire existing chain link fence shall also be removed.
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9. Per Section A-1000.6, two bicycle racks to accommodate a total of four bicycles shall be installed. Said racks must comply with all regulations contained within Section A-1000.6.
10. An emergency access and pet removal plan for after hour incidents shall be provided for review and approval by the Fire Marshal prior to issuance of permits.
11. The petitioner shall comply with all standard conditions as listed in Exhibit B.

Respectfully submitted,



David Eagleton

---

Ron Evens



Exhibit A  
Attendance List

April 8, 2019

P&Z Subcommittee Meeting

Project:

PZ-24-19, 902 S. Kirkwood Rd (Camp Bow Wow)

Date:

4/8/19

Location:

902 S. Kirkwood

Name	Organization
Jonathan Raiche	City of Kirkwood
David Eagleton	P&Z
RON EVANS	P&Z
RUSS TODD	CITY OF KIRKWOOD
Sharon Jeffers	Camp Bow Wow
Sub Vatterott	Dancer
JEFF MUGU	ST LOUIS DESIGN ALLIANCE

**EXHIBIT B**  
**STANDARD CONDITIONS**

1. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee shall be submitted within one year of approval and prior to the issuance of a building permit to insure the completion of the proposed improvements, utilities and landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services. The Letter of Credit shall be drawn from a St. Louis area bank.
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3. Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.
4. All new rooftop mechanical equipment shall be fully screened from view of adjoining properties. The exact dimensions and materials of the screening shall be approved by the Building Commissioner.
5. The water system shall meet the requirements of the Kirkwood Fire and Water Departments.
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Exhibit 7

June 6, 2019

Kirkwood City Hall  
139 S. Kirkwood Road  
Kirkwood, MO 63122  
Attn: Mayor Timothy E. Griffin & City Council

Re: Proposed Special Use Permit – 902 S. Kirkwood Road

Dear Mayor Griffin and City Council Members:

The undersigned, Kirkwood Office Properties, LLC, is the owner of the property located at 816 S. Kirkwood Road, Kirkwood, MO, 63122.

It has come to our attention that a Petitioner is requesting a Special Use Permit in order to operate a Pet Day Care and Commercial Kennel with Outdoor Use at 902 S. Kirkwood Road. Please be advised that, as the owner of a neighboring property, we are concerned with the level of noise that will be generated during business hours if the requested Special Use Permit is granted.

We have reviewed the Planning & Zoning Subcommittee Report dated May 15, 2019, and while the Recommendation for Approval does contain a stipulation limiting the hours of Outdoor Use to 7:00am – 7:00pm, we respectfully request that the City Council strongly consider the noise effect upon the neighboring homes, and businesses which operate during these hours. Prior to granting the Special Use Permit, we request that additional studies be done to determine the distance at which noise from a typical Pet Day Care with Outdoor Use will affect neighboring properties, and the City Municipal Code be considered.

Per the City Municipal Code Chapter 17, Article V, 17-69: “It shall be unlawful for any person to make, continue or cause to made or continued any loud, unnecessary or unusual noise or any noise which unreasonably or unnecessarily either annoys, disturbs, injures or endangers the comfort, repose, health, peace or safety of other in the City.” Further, the Code lists “the keeping of any animal or bird which will disturb the comfort or repose of any persons in the vicinity by making long, continual, or frequent noise” as a violation of this Article.

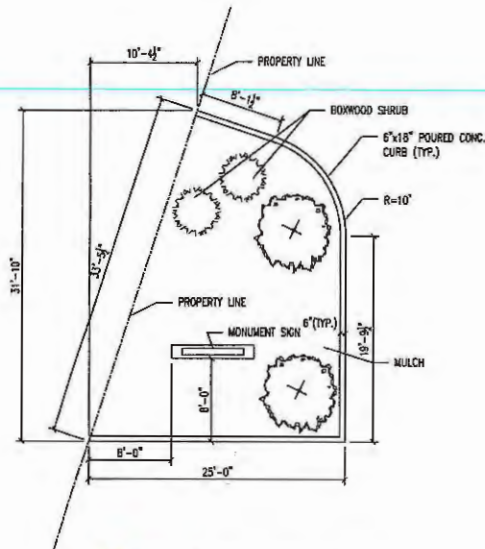
We request this letter be submitted to the City of Kirkwood City Council in advance of the June 6, 2019 Meeting, and that this letter be entered as part of the public record.

Thank you in advance for your consideration.

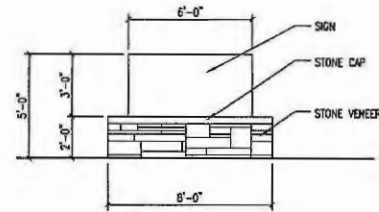
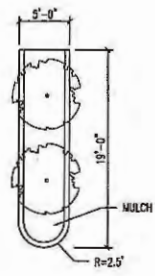
Regards,

Kirkwood Office Properties, LLC  
J. Daniel Sabio

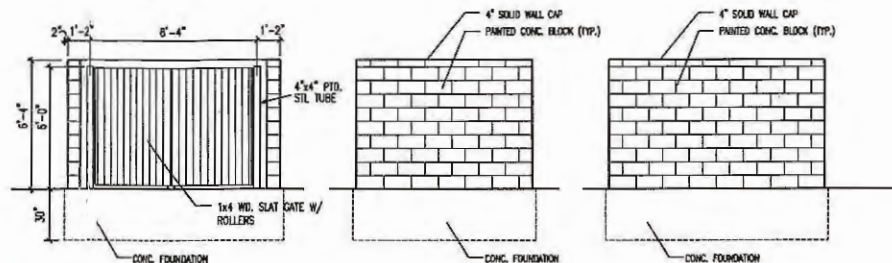
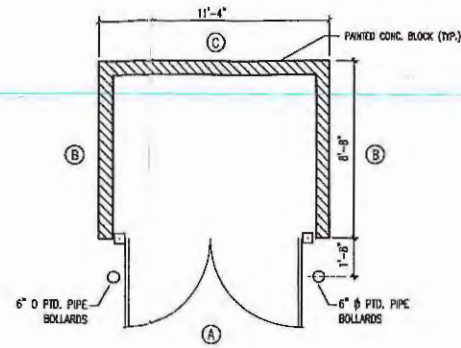
CC: Cushman & Wakefield, Property Management



**PARKING ISLANDS**  
SCALE: 1/8"=1'-0"



**MONUMENT SIGN**  
SCALE: 1/4"=1'-0"

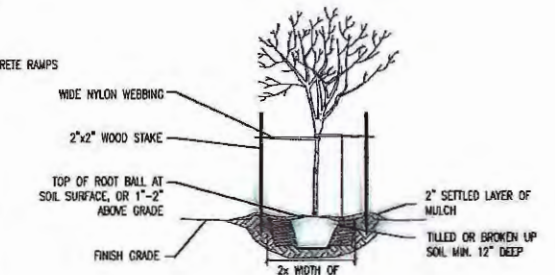


**TRASH ENCLOSURE PLAN AND ELEVATIONS**  
SCALE: 1/4"=1'-0"

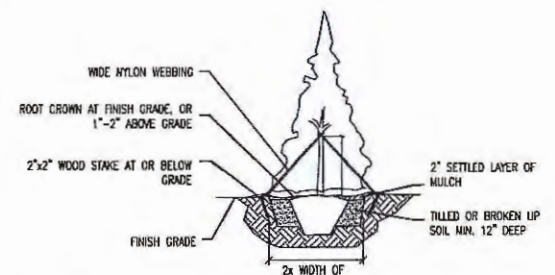
LANDSCAPE SCHEDULE				
SYMBOL	NAME	QTY.	SIZE	SPACING
A	FLOWERING CRABAPPLE TREE	2	1 1/2" CAL.	14 FEET
B	FLOWERING DOGWOOD TREE	2	1 1/2" CAL.	14 FEET
C	EMERALD GREEN	3	1 1/2" CAL.	6 FEET
D	BOXWOOD SHRUB	2	2 GAL.	5 FEET



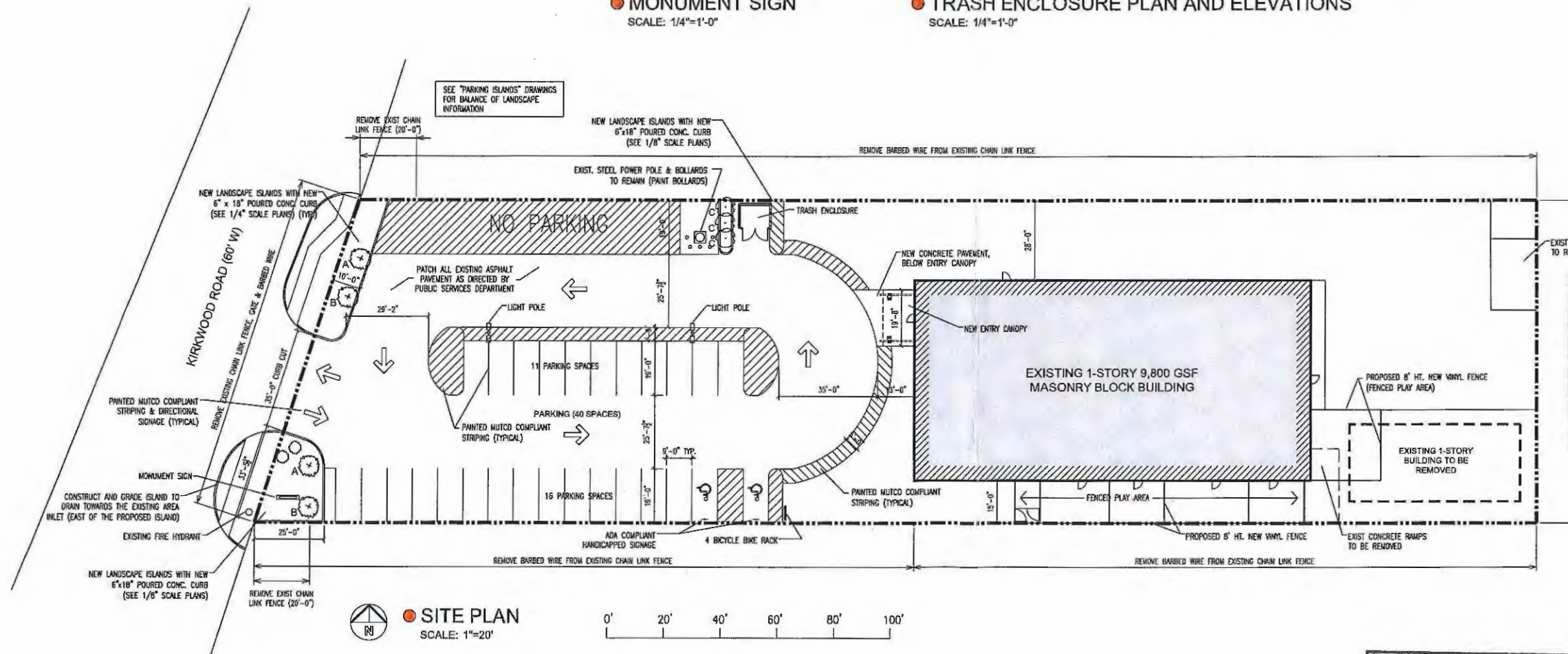
**SHRUB PLATING**  
N.T.S.



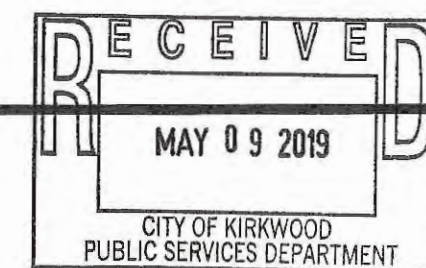
**TREE PLATING**  
N.T.S.

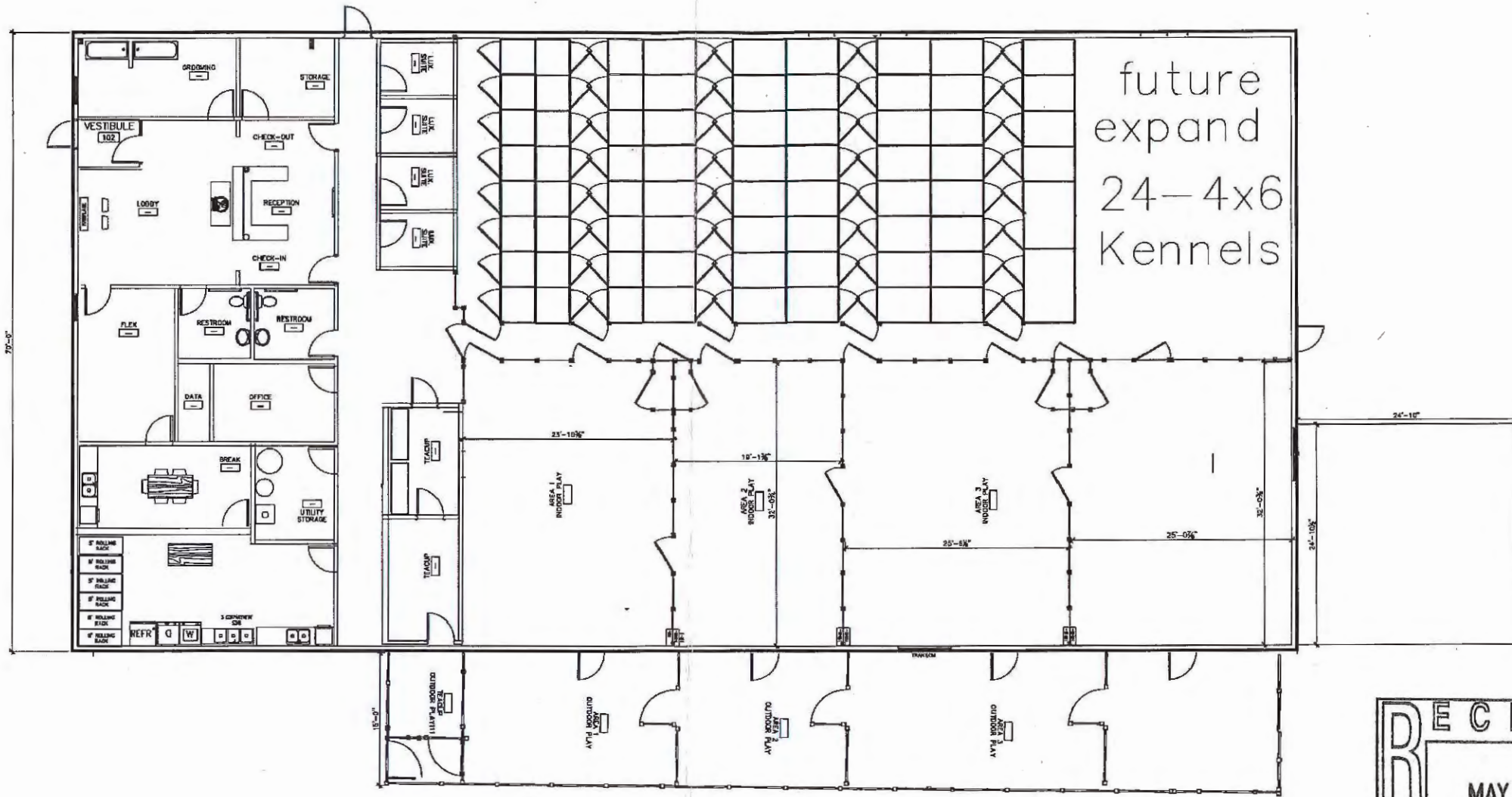


**EVERGREEN PLATING**  
N.T.S.



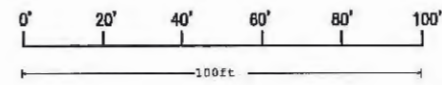
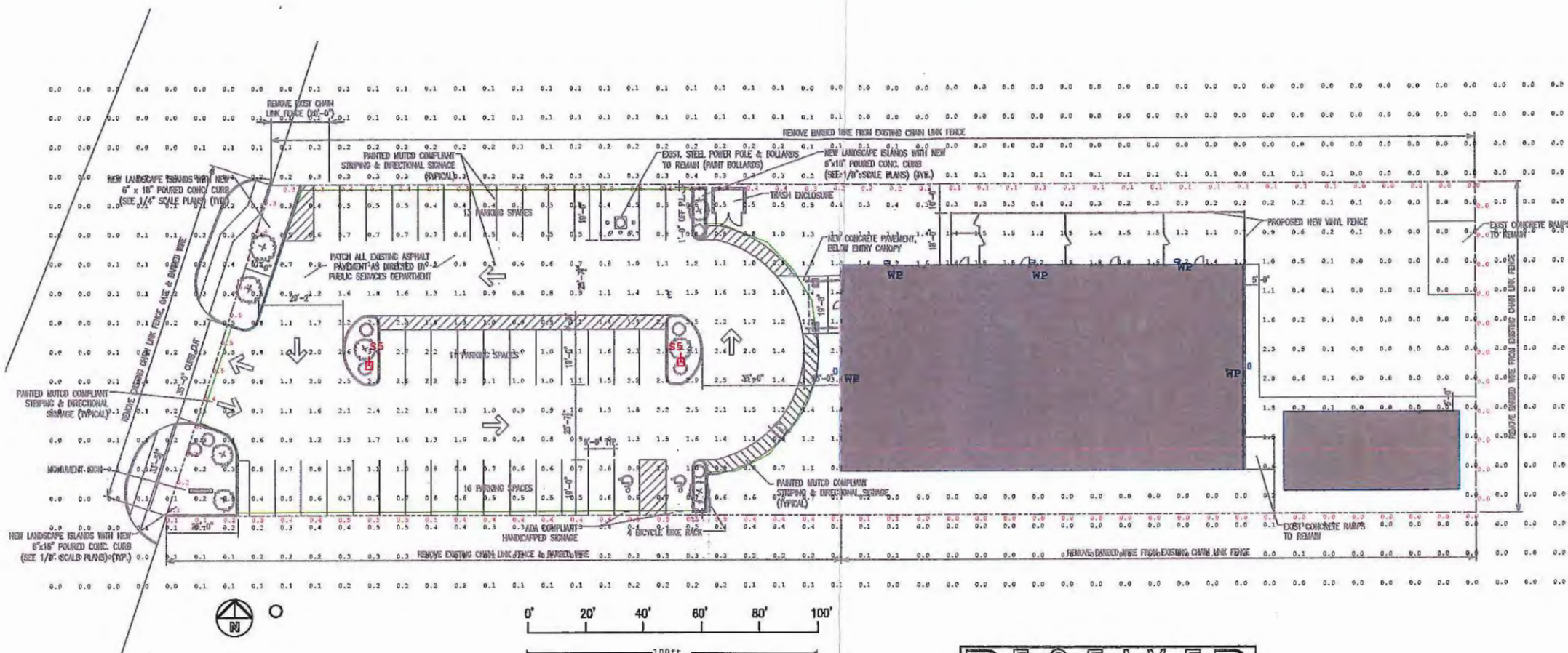
**SITE PLAN**  
SCALE: 1"=20'






**FLOOR PLAN**  
 SCALE: 1/16"=1'-0"

**RECEIVED**  
 MAY 09 2019  
 CITY OF KIRKWOOD  
 PUBLIC SERVICES DEPARTMENT



**RECEIVED**  
 MAR 12 2019  
 CITY OF KIRKWOOD  
 PUBLIC SERVICES DEPARTMENT

3.12.19  
 JEFFERY  
 PAUL  
 MUGG  
 NUMBER  
 A-5221

20' MOUNTING HEIGHT SHOWN (18' POLE + 2' CONCRETE BASE)  
 MAINTAINED LIGHT LEVELS

DISCLAIMER:  
 The lighting calculations contained herein are for estimation purposes only and are based upon information provided at the time of calculation. Actual results may differ due to variances in surface finishes and reflectance, supply voltage, and final fixture placement. LEC - Ward Burton & Co. will not be held responsible for light level differences encountered as a result of these variances.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	0.46	3.8	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.21	0.5	0.0	N.A.	N.A.
PARKING LOT CALCS	Illuminance	Fc	1.20	3.1	0.3	4.00	10.33

Luminaire Schedule							
Symbol	Qty	Label	Description	Lum. Lumens	LLF	Lum. Watts	Total Watts
☐	2	S5	VP-L-64L-135-4K7-5W-XXX-A-DB/SSS-B-18-40-A-1-B3-DB	17009	0.900	137.6	275.2
☐	5	WP	LNC2-12LU-4K-2-1 WALL MOUNTED @ 12' AFG	2466	0.900	27.6	138



#	Date	Comments

Drawn By: ESB  
 Checked By:  
 Date: 3/11/2019  
 Scale:

Filename: CAMP BOW ROW POINT 5 MAX SPILL.AGI

BILL 10764

ORDINANCE

AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A RESTAURANT AT 151 WEST JEFFERSON AVENUE SUBJECT TO CERTAIN CONDITIONS.

WHEREAS, Larry Fuse made application (PZ-2-20) for a Special Use Permit to operate a restaurant at 151 West Jefferson Avenue; and

WHEREAS, the Planning and Zoning Commission did on the 15<sup>th</sup> day of May, 2019, recommend the granting of said Special Use Permit subject to certain conditions and did find that granting of said permit would not substantially increase traffic hazards or congestion, would not substantially increase fire hazards, would not adversely affect the character of the neighborhood, would not adversely affect the general welfare of the community, and would not overtax public utilities, and that granting such permit would be consistent with the zoning laws; and

WHEREAS, the Council did on the 6<sup>th</sup> day of June, 2019, hold a public hearing with respect to such application after duly advertising and giving proper notice of such hearing and does find that the granting of such permit, subject to certain conditions, would not substantially increase traffic hazards or congestion, would not substantially increase fire hazards, would not adversely affect the character of the neighborhood, would not adversely affect the general welfare of the community, and would not overtax public utilities; and

WHEREAS, the Council does further find that the general welfare requires that such permit be subject to the conditions hereinafter set out.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. A Special Use Permit is hereby granted for a restaurant on the property known as 151 West Jefferson Avenue subject to the following conditions:

1. The restaurant shall be limited to twenty seats inside the restaurant with the additional ability for accessory outdoor seating according the requirements of the Kirkwood Municipal Code.

SECTION 2. The approval of this special use permit shall not authorize any person to unreasonably alter, increase, or redirect the surface water run off so as to cause harm to any person or property.

SECTION 3. The premises and improvements as approved by this Special Use Permit shall be in good working order and maintained in good repair at all times.

SECTION 4. The applicant by accepting and acting under the Special Use Permit herein granted accepts the permit subject to the reservations, restrictions, and conditions set forth in the Code of Ordinances and in this Ordinance and agrees to comply with each provision subject to

the penalties prescribed under Section 1-8 of the Code of Ordinances and subject to revocation of this permit in the event such provisions are not complied with.

SECTION 5. The applicant and his successors and assigns by accepting and acting under the approval herein granted accepts the approval subject to the condition that failure to abate any violation of this approval or any provisions of the Code of Ordinances of the City of Kirkwood within five (5) days after notice by hand delivery or first-class mail shall result in an administrative investigation fee of \$500 due to the City of Kirkwood. An invoice shall be issued. A Stop Work Order to cease all work on the premises except such work as directed by the Public Services Director to abate the violation may be issued for any work on the premises until the investigation fee is paid in full. The City may demand payment of said fee from the holder of the letter of credit, any bond, or escrow if not paid within 30 days of the invoice.

SECTION 6. The applicant further agrees by accepting and acting under this Special Use Permit herein granted that this Ordinance does not grant applicant any special rights, privileges, or immunities.

SECTION 7. This ordinance shall become null and void in the event the petitioner does not obtain a building permit for the construction approved by this ordinance within one year of the passage of this ordinance.

SECTION 8. This ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS    day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

Introduced:  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:



# Legislation Request

## Ordinance

Place On The Agenda Of: 6/6/2019

Step #1:

Strategic Plan Select... Goal # & Title

### Background To Issue:

The owner of Gelato Di Riso has applied for a Special Use Permit to open their gelato, pastry, and Italian coffee restaurant at the tenant space known as 151 West Jefferson Avenue. Due to the minor scope of the proposal, the P&Z Commission voted to recommend approval of the project based on Staff's prepared memo rather than assigning a sub-committee.

### Recommendations and Action Requested:

The P&Z Commission recommended approval of the project with conditions by a vote of 7-0. This request is for a public hearing to be held and City Council consideration to follow.

### Alternatives Available:

Cost: \$0.00 Account #: 0 Project #: Budgeted: YES  
If YES, Budgeted Amount: \$0.00 If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Jonathan Raiche Date: 5/20/2019 Authenticated: raichejd


*You can attach up to 3 files along with this request.*



2019-06-06 PZ-2-20 CC  
Packet.pdf  
Adobe Acrobat Document  
9.50 MB



2019-06-06 PZ-2-20  
Ordinance.doc  
Microsoft Word 97 - 2003  
Document  
37.5 KB

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Select...


Purchasing Director's Comments:

BY: Select...


Date:

Authenticated:

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

---

Step #3: If budgetary approval is required (Must have Finance Department's approval).

Select...

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: Select...

Date:

Authenticated:

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve

Diasapprove

Chief Administrative Officer's Comments:

BY:

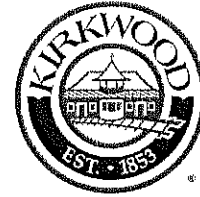


Date:

5-31-19

# MEMORANDUM

**TO:** PLANNING & ZONING COMMISSION  
**FROM:** JONATHAN D. RAICHE, CITY PLANNER *JDR*  
**SUBJECT:** PZ-2-20; 151 WEST JEFFERSON AVENUE  
GELATO DI RISO (SUP – RESTAURANT)  
**DATE:** MAY 8, 2019  
**CC:** BILL BENSING, PUBLIC SERVICES DIRECTOR



WHERE COMMUNITY AND SPIRIT MEET®

## **PROJECT DESCRIPTION:**

The new restaurant, Gelato Di Riso, is proposed for the tenant space at 151 West Jefferson Avenue. This tenant space is the eastern half of the 1,680sf building and was most recently occupied by a women's clothing and accessory boutique shop, Ginger & Mary Ann's. The applicant has indicated that they intend to sell gelato, Italian coffees, and small pastries with hours of operation from 7:30am – 10:30pm seven days a week. The applicant also indicated that they expect a maximum of two employees on any shift. The proposal describes four to five small tables located inside the tenant space with the option for two small tables outside. The applicant intends to have a maximum of 20 seats inside the restaurant. The outdoor seating described can be accommodated by the outdoor seating permitted within the Zoning Code (if on private property) and within the Streets & Sidewalks section of the municipal code (if on public sidewalks).

## **DISCUSSION:**

Zoning Matters signs will be posted on the property by May 10<sup>th</sup>, 2019. Section A-1000: Parking Regulations of the Zoning Code states that the change of use of any premises within the downtown area shall be exempt from additional parking and loading requirements. The subject building is under common ownership with the surface parking lot to the west. This surface parking lot currently provides a total of six parking spaces (five to the west and one to the north) which are divided equally for employees of the two tenant spaces. The owner and applicant have indicated that three of these spaces will be dedicated to the proposed restaurant.

## **RECOMMENDATION:**

Staff recommends this petition be **approved** with the following conditions:

1. A Special Use Permit shall be granted to allow for the operation of a restaurant in the tenant space known as 151 West Jefferson Avenue.
2. The restaurant shall be limited to twenty seats inside the restaurant with the additional ability for accessory outdoor seating according the requirements of the Kirkwood Municipal Code.

## **Attachments:**

Planning & Zoning Application  
Applicant Cover Letter  
Partial Site Exhibit & Survey

# CITY OF KIRKWOOD

## APPLICATION FOR PLANNING AND ZONING COMMISSION ACTION

DATE: 4/25/19

CASE NUMBER: PZ-2-20

PROJECT ADDRESS: 151 W JEFFERSON  
 ZONING DISTRICT: B-2 LOT SIZE: \_\_\_\_\_  
 LOCATOR NUMBER: 23M120912  
 PROJECT NAME: Belato Di Rico

### ACTION REQUESTED

- |                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Zoning Change From _____ to _____<br><input type="checkbox"/> Community Unit Plan, Type: _____<br><input checked="" type="checkbox"/> Special Use Permit, Category: <u>RESTAURANT</u><br><input type="checkbox"/> Subdivision Development, Number of Lots: _____<br><input type="checkbox"/> B4 Development Plan<br><input type="checkbox"/> B5 Development Plan | <input type="checkbox"/> Site Plan Review<br><input type="checkbox"/> Right-of-Way/Easement Vacation<br><input type="checkbox"/> Other: _____<br>Comments: _____<br>_____ |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

### PETITIONER INFORMATION

I (We) hereby certify that I (we) have legal interest in the hereinabove described property and that all information given herein is true and a statement of fact.

Name (Print): LARRY FUSE Signature: [Signature] Phone No.: (314) 575-0618  
 Mailing Address: 1944 BERRA COURT City: ST. LOUIS State: MO Zip: 63110  
 E-mail Address: larry@lorenzost Trattoria.com  
 Petitioner's Status:  Corporation  Partnership  Individual  
 Relationship of Petitioner to Property:  Owner  Tenant  Option Holder (Attach Copy of Contract)  Other

### AGENT INFORMATION

Agent's Name: LARRY FUSE Signature: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 E-mail Address: \_\_\_\_\_  
 (NOTE: The petitioner's agent, if listed, shall receive the official notice of public hearing)

### PROPERTY OWNERS

Signature required or submit proof petitioner has legal interest in property.

Name: <u>PAMELA DEBANDT</u> Signature: <u>[Signature]</u> Address: <u>704 KEARL AVE</u> City/State/Zip: <u>KIRKWOOD MO 63122</u> Phone: <u>314-221-8594</u>	Name: <u>CAROLINE WURM</u> Signature: <u>[Signature]</u> Address: <u>5312 DAGGETT</u> City/State/Zip: <u>ST L MO 63110</u> Phone: <u>314-497-3303</u>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------

### FOR CITY USE ONLY

Date Received: 4-25-19 Total Received: \$ 1000<sup>00</sup> Agenda Date: 5-15-19

- B-4/B-5 Development Plan (Preliminary): \$1,000 + \_\_\_\_\_ Acres @ \$100/Acre or portion over one acre) = \$ \_\_\_\_\_
- CUP, Preliminary (Multi Family): \$1,000 + \_\_\_\_\_ Dwelling units @ \$20/Each = \$ \_\_\_\_\_ = \$ \_\_\_\_\_
- CUP, Preliminary (Detached Single Family): \$1,000 + \_\_\_\_\_ Lots @ \$500/Lot = \$ \_\_\_\_\_
- Letter of Credit Extension: \$100
- Rezoning: \$1,000
- Site Plan Review: \$1,000
- Site Plan Review Amendment \$800 or Extension: \$300
- Site Plan Review, Mixed Use in B2 Zoning District (Preliminary): \$1,000 (includes SPR fee) + \$25/acre or portion over one acre
- Special Use Permit and Special Use Permit Amendments: \$1,000
- Subdivision, Preliminary (Detached Single Family): \_\_\_\_\_ Lots @ \$500/Lot = \$ \_\_\_\_\_
- Vacation, Easement: \$75
- Vacation, Right-of-way: \$100
- Zoning Code Amendment: \$1,000

### Final Subdivision Plat/Community Unit Plan/B-4or B-5 Development Plan

Date Received: \_\_\_\_\_ Total Received: \$ \_\_\_\_\_ Agenda Date: \_\_\_\_\_

- B-4 and B-5 Development Plan (Final) or B4 Development Plan Amendment (when public hearing is not required): \$1,000
- B-5 Development Plan Amendment (when public hearing is not required): \$500
- CUP Amendment, Type A or Type C: Without public hearing \$500; With public hearing \$800
- CUP Type C (Final): \$500 + 1-1/4% of \$ \_\_\_\_\_ = \$ \_\_\_\_\_
- CUP Type A or C Time Extension on Final: \$300
- Sidewalk Waiver on \_\_\_\_\_ feet @ \$30/Foot = \$ \_\_\_\_\_ = \$ \_\_\_\_\_
- Site Plan Review, Mixed use in B2 Zoning District (Final): \$500
- Site Plan, Mixed use in B2 Zoning District Amendment: \$300
- Subdivision Plat or CUP Type A (Final): \_\_\_\_\_ Lots @ \$100/Lot = \$ \_\_\_\_\_ + 1-1/4% of \$ \_\_\_\_\_ = \$ \_\_\_\_\_
- Subdivision Plat Development Plan Amendment: \$200

Gelato Di Riso  
5204 Wilson Ave Saint Louis, MO.63110

April 25, 2019

City of Kirkwood  
Planning and Zoning Commission  
139 South Kirkwood Road  
Kirkwood, MO. 63122

Dear Planning and Zoning Commission,

Gelato Di Riso is a family owned business currently located on The Hill in St. Louis, Missouri.

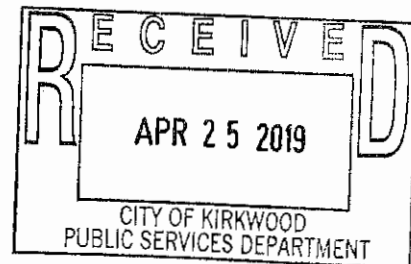
Our goal is to allow people to experience the culture of Northern Italy right here at home.

Expanding our business and opening a store in Kirkwood allows us the opportunity to provide for more people in the area. Our hopes are to get involved in the community and bring happiness to many. Our gelato is one of a kind and contains less air than American ice cream, making it more velvety in texture and rich in flavor. The new store will mainly be focused on serving gelato, italian coffees, and small pastries. We will be open seven days a week from 7:30am-10:30pm. There will be six to eight employees total and two people working together per shift. There will be approximately four to five small tables inside and depending on space we would like to have two tables outside.

Sincerely,



Larry Fuse, Jr.



Harrison Hill  
151 W. Jefferson Ave.  
Kirkwood, MO 63122  
314-221-8379 or 314-497-3301

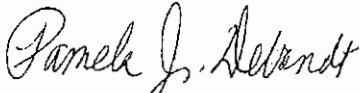
May 8, 2019

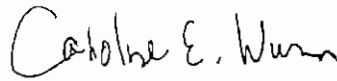
Dear Sir or Madam:

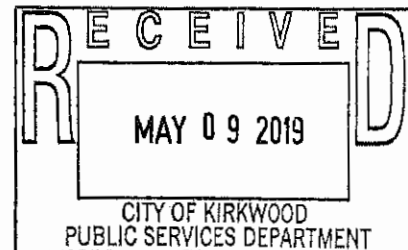
In regards to the lessee of 151 W. Jefferson Ave. the lease includes three parking spots: the northern 2 diagonal spots on the adjacent parking lot and 1 spot behind the building. After the lessee at 157 W. Jefferson (Christian Science Reading Room) is closed (4 p.m Monday-Friday and 1:00 p.m. on Saturday) this lessee may use the additional three diagonal-facing spots.

Please feel free to contact either of us if you have any further questions.

Sincerely,

  
Pamela J. Debandt

  
Caroline E. Wurm





# PROCEDURE FOR PUBLIC HEARING

Mayor: At this time the council will recess to conduct a public hearing regarding:

**A request for a Special Use Permit for a Restaurant at 151 W. Jefferson (Gelato Di Riso)**

Mayor: Mr. Hessel, do you wish to enter any exhibits into the record?

Mayor: Mr. Hawes, who will present this issue to the City Council?

**City Planner Jonathan Raiche**

Mayor: Georgia, has anyone completed a card to speak regarding this proposal?

Mayor: Is there anyone in the audience that did not complete a card that wishes to speak regarding this issue? (Please be sure to fill out a card before you leave so your name and address is reflected in the record)

Mayor: Hearing no further discussion, the council will take this matter under advisement and consider the hearing to be recessed.





# AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI  
COUNTY OF ST. LOUIS

} S.S.

Page 1 of 1

Before the undersigned Notary Public personally appeared **Chanel Jones** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **May 21, 2019** edition and ending with the **May 21, 2019** edition, for a total of 1 publications:

05/21/2019

## CITY OF KIRKWOOD NOTICE OF PUBLIC HEARING

Before the City Council of  
Kirkwood, Missouri

The Council of the City of Kirkwood will hold a public hearing in City Hall, 139 South Kirkwood Road, Kirkwood, Missouri at the hour of 7:00 p.m., Thursday, June 6, 2019 to consider the following:

1. *Amendments to the Zoning Code regarding regulation of Medical Marijuana related to Amendment 2 of the State Constitution - Citywide*
2. *A request for a Special Use Permit for a Pet Day Care and Commercial Kennel with Outdoor Use proposed for 902 S. Kirkwood Road (Camp Bow Wow)*
3. *A request for a Special Use Permit for a Restaurant at 151 W. Jefferson (Gelato Di Riso)*

Laurie Asche, CMC/MRCC  
City Clerk

The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.  
11747084 County May 21, 2019

*Chanel Jones*

Chanel Jones

Subscribed & sworn before me this 21<sup>st</sup> day of May, 2019  
(SEAL)

*Tynisha Robinson*  
Notary Public





## AFFIDAVIT OF PUBLICATION

**City of Kirkwood**

Attn: Laurie Asche  
City Clerk  
139 S. Kirkwood Rd.  
Kirkwood, MO 63122

I, Terry Cassidy, verify that the attached Public Hearing  
Notice was published in the Webster-Kirkwood Times on  
May 24, 2019

Terry Cassidy  
Advertising Consultant



## NOTICE OF PUBLIC HEARING before the City Council of Kirkwood, MO

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- 3. A request for a Special Use Permit for a Restaurant at 151 W. Jefferson (Gelato Di Riso)***

Laurie Asche, CMC/MRCC  
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321  
317<sub>317</sub>  
309  
305  
305

Harrison Square Condominium 338  
230  
220  
Kirkwood Methodist Church (201h)  
245 241 237  
Kirkwood United Methodist Church  
Preschool

128 132 136 325  
129  
Keane Group Building  
121  
115  
301

North Kirkwood Road

West Adams Avenue

West Adams Avenue

225  
221  
Kirkwood Masonic Temple 211ge

244 242 236 230 226  
243 237 231 225  
Bishop Edward J. O'Donnell Parish Center and Gymnasium  
215  
Saint Peter School

144 138 136 130  
138 136 130  
214  
100  
Edward Jones  
212  
204  
139 135 123 115 113 107  
161 157  
213  
Ice & Fuel  
207  
201

North Kirkwood Road

West Jefferson Avenue

West Jefferson Avenue

123  
117  
111  
103

124 234  
120  
112  
Deacon Jones Drive  
Saint Peter Rectory  
237  
Saint Peter Catholic Church  
Ursuline Hall

104 137 131 125 117 115  
157 153  
Kirkwood Fire House  
Great Harvest Bread Company  
113  
111  
100  
117  
113  
109  
Racanelli's Pizzeria  
101

North Kirkwood Road

North Clay Avenue



PROPERTY OWNER  
521 VILLA GARDENS DR  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
P.O. BOX 481  
GROVER, MO 63040

PROPERTY OWNER  
1221 GRANDVIEW DR  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
123 W ARGONNE DR  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
120 W JEFFERSON AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
40 E LOCKWOOD AVE  
SAINT LOUIS, MO 63119

PROPERTY OWNER  
702 BRIARFARM LN  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
1721 KENMONT RD  
SAINT LOUIS, MO 63124

PROPERTY OWNER  
115 W JEFFERSON AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
131 W ARGONNE DR  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
20 ARCHBISHOP MAY DR  
SAINT LOUIS, MO 63119

PROPERTY OWNER  
206 N CLAY AVE, A  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
137 W ARGONNE DR  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
704 PEARL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
651 PEARL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
151 W ARGONNE DR  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
704 PEARL AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
120 W ADAMS AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
153 W ARGONNE AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
1481 WILTON LN  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
1520 WINDRIDGE DR  
SAINT LOUIS, MO 63131

PROPERTY OWNER  
2052 BARRETT STATION RD  
SAINT LOUIS, MO 63131

PROPERTY OWNER  
6931 CHESHIRE LN  
SAINT LOUIS, MO 63123

PROPERTY OWNER  
206 W ARGONNE DR, STE 201  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
206 W ARGONNE DR, STE 200  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
24 KENNERLY MANOR DR  
SAINT LOUIS, MO 63128

PROPERTY OWNER  
114 W JEFFERSON AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
123 W JEFFERSON AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
121 W ADAMS AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
364 JEFFERSON RD  
SAINT LOUIS, MO 63119

PROPERTY OWNER  
135 W ADAMS AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
201 W ADAMS AVE  
SAINT LOUIS, MO 63122

PROPERTY OWNER  
4200 CARR LANN CT  
SAINT LOUIS, MO 63119



WHERE COMMUNITY AND SPIRIT MEET

May 16, 2019

Russell B. Hawes  
Chief Administrative Officer

At the May 15, 2019, meeting of the Planning and Zoning Commission, the following action was taken:

1. The Commission unanimously recommended approval of the final plat and development plans for an eight-lot Community Unit Plan known as Emmerson Estates Subdivision at 2017 Lily Avenue and 2040 Boaz Avenue.
2. The Commission unanimously recommended approval of Special Use Permits for a kennel/pet day care/outdoor use and the associated site plan or Camp Bow Wow at 902 South Kirkwood Road.
3. The Commission unanimously recommended approval of a Special Use Permit for a restaurant known as Gelato Di Riso at 151 West Jefferson Avenue.
4. By a vote of 5 to 2, the Commission recommended approval of amendments to the Zoning Code for medical marijuana facilities.

The next meeting will be held on June 19, 2019, at 7 p.m.

Respectfully submitted,

Allen Klippel, Chair  
Planning and Zoning Commission

# MEMORANDUM

**TO:** PLANNING & ZONING COMMISSION  
**FROM:** JONATHAN D. RAICHE, CITY PLANNER *JDR*  
**SUBJECT:** PZ-2-20; 151 WEST JEFFERSON AVENUE  
GELATO DI RISO (SUP – RESTAURANT)  
**DATE:** MAY 8, 2019  
**CC:** BILL BENSING, PUBLIC SERVICES DIRECTOR



WHERE COMMUNITY AND SPIRIT MEET®

## **PROJECT DESCRIPTION:**

The new restaurant, Gelato Di Riso, is proposed for the tenant space at 151 West Jefferson Avenue. This tenant space is the eastern half of the 1,680sf building and was most recently occupied by a women's clothing and accessory boutique shop, Ginger & Mary Ann's. The applicant has indicated that they intend to sell gelato, Italian coffees, and small pastries with hours of operation from 7:30am – 10:30pm seven days a week. The applicant also indicated that they expect a maximum of two employees on any shift. The proposal describes four to five small tables located inside the tenant space with the option for two small tables outside. The applicant intends to have a maximum of 20 seats inside the restaurant. The outdoor seating described can be accommodated by the outdoor seating permitted within the Zoning Code (if on private property) and within the Streets & Sidewalks section of the municipal code (if on public sidewalks).

## **DISCUSSION:**

Zoning Matters signs will be posted on the property by May 10<sup>th</sup>, 2019. Section A-1000: Parking Regulations of the Zoning Code states that the change of use of any premises within the downtown area shall be exempt from additional parking and loading requirements. The subject building is under common ownership with the surface parking lot to the west. This surface parking lot currently provides a total of six parking spaces (five to the west and one to the north) which are divided equally for employees of the two tenant spaces. The owner and applicant have indicated that three of these spaces will be dedicated to the proposed restaurant.

## **RECOMMENDATION:**

Staff recommends this petition be **approved** with the following conditions:

1. A Special Use Permit shall be granted to allow for the operation of a restaurant in the tenant space known as 151 West Jefferson Avenue.
2. The restaurant shall be limited to twenty seats inside the restaurant with the additional ability for accessory outdoor seating according the requirements of the Kirkwood Municipal Code.

## **Attachments:**

Planning & Zoning Application  
Applicant Cover Letter  
Partial Site Exhibit & Survey





WHERE COMMUNITY AND SPIRIT MEET

May 6, 2019

Larry Fuse  
Gelato Di Riso  
1944 Berra Court  
St. Louis, Missouri 63110

SENT VIA EMAIL: [larry@lorenzostrattoria.com](mailto:larry@lorenzostrattoria.com)

SUBJECT: PZ-2-20; 151 WEST JEFFERSON AVE. – GELATO DI RISO (SUP- RESTAURANT)

Mr. Fuse:

The City of Kirkwood Public Services Department is in receipt of your petition for a Special Use Permit to open a restaurant located at 151 West Jefferson Avenue. This item will be placed on the Planning and Zoning Commission agenda for its meeting at **7:00 p.m. on Wednesday, May 15, 2019** at Kirkwood City Hall, 139 South Kirkwood Road. City Staff will make an introduction presentation regarding the request at this meeting. You, or your representative, should attend this meeting to present any additional information on this item to the Commission and answer any questions the Commission members may have.

The Planning and Zoning Commission will review the application in accordance with the Zoning Code. The Public Services Department has the following comments concerning the application:

1. All work related to this petition must comply with all Kirkwood Ordinances including, but not limited to, building and fire codes.
2. Provide additional information regarding any agreement with the property owner related to the on-site parking that appears to be shared with the other building tenant. Please be sure to include if any spaces will be dedicated to employees and/or customers of your business.
3. An excerpt of the survey was provided with the application. If available, please provide the entire survey which will include the entirety of the subject property including the parking area.
4. Provide written confirmation/clarification that your proposed business will only be occupying the eastern half of the subject building. The address provided is for this specific tenant space, but the Site Plan provided does not indicate that there will still be two tenants in the building.

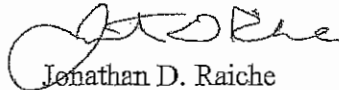
This is a preliminary review of the application. The Planning and Zoning Commission and Public Services Department will review the application in detail and provide further comments

as necessary. This preliminary review is not an approval or acceptance of any part of the application submitted.

The applicant is further advised that it is the applicant's responsibility to follow their petition through the entire process and to satisfy all submittal requirements and deadlines. Also note, this application and review does not grant the applicant any special rights, privileges, or immunities, and that all provisions of the Kirkwood Code of Ordinances shall apply.

Sincerely,

CITY OF KIRKWOOD



Jonathan D. Raiche

City Planner

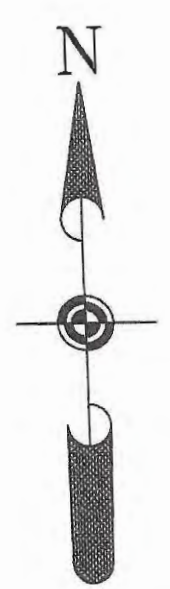
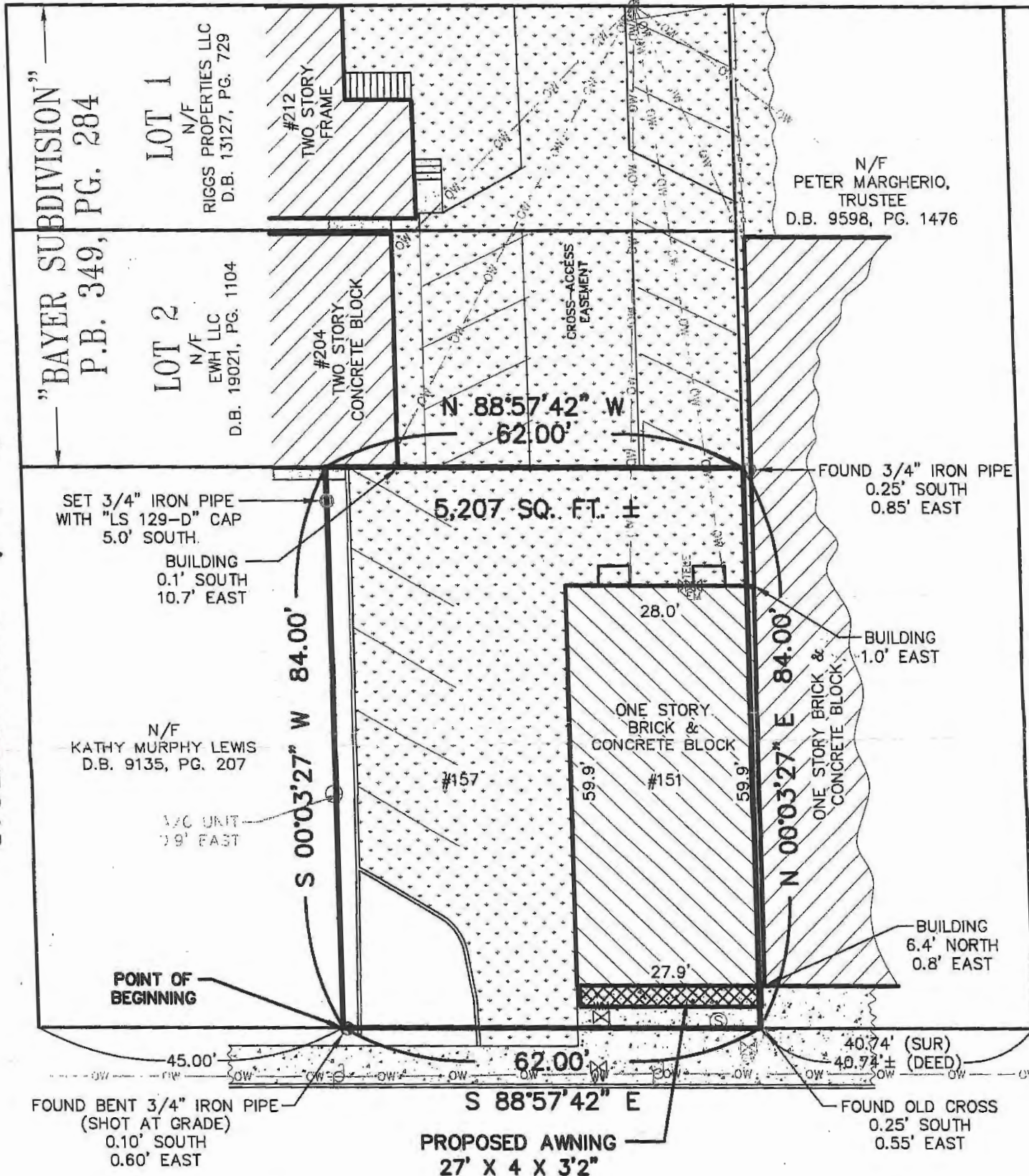
314-984-5926

[raichejd@kirkwoodmo.org](mailto:raichejd@kirkwoodmo.org)

# "AWNING EXHIBIT"

**ALLEY (14'W.)**

**NORTH CLAY (60'W.) AVENUE**

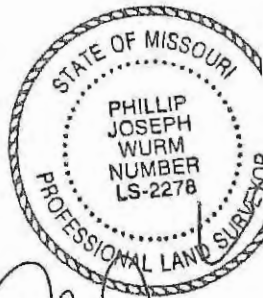
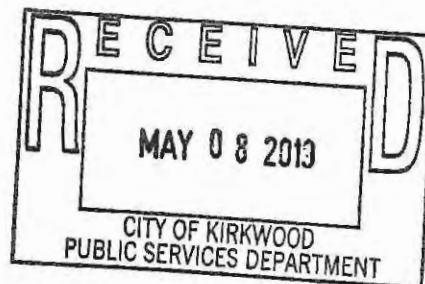


**WEST JEFFERSON (60'W.) AVENUE**

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



*9/21/12*  
*[Signature]*

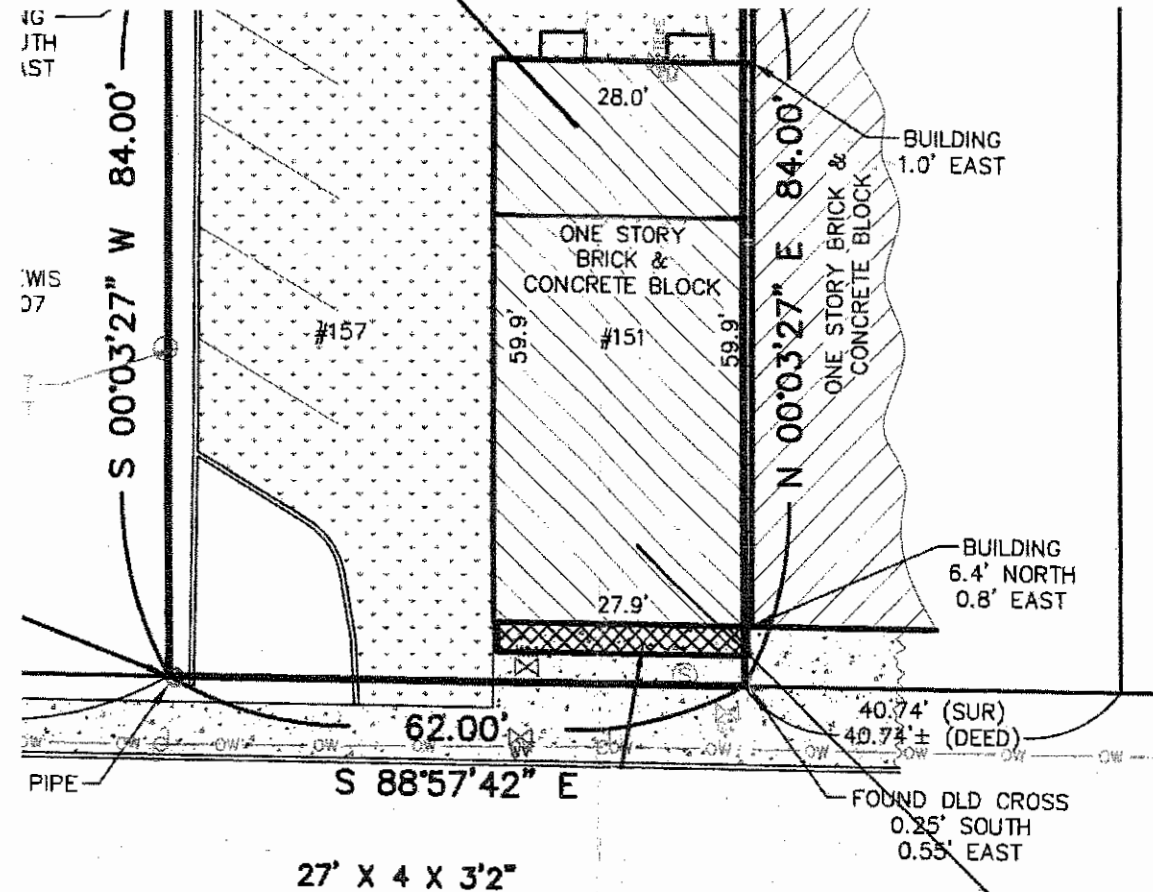
**JAMES SURVEYING CO., INC.**

10811 BIG BEND BOULEVARD  
KIRKWOOD, MO 63122

PHONE: (314) 822-1006; FAX: (314) 822-0006

PROJECT NAME:	AWNING EXHIBIT		
PROJECT ADDRESS:	151 W. JEFFERSON AVE., KIRKWOOD ST. LOUIS COUNTY MISSOURI		
REVISED:	DATE:	09-21-2012	ORDER NUMBER
ORIGINAL CERTIFICATE LICENSE NUMBER 000129	FIELD WORK:	CW	201537
	DRAWN BY:	NLO	

*Storage & employee usage*



**WEST JEFFERSON (60'W.) AVENUE**

*Gelato service & customers*

RECEIVED  
APR 25 2019  
CITY OF KIRKWOOD  
PUBLIC SERVICES DEPARTMENT

BILL 10765

ORDINANCE

AN ORDINANCE VACATING A 10' WIDE EASEMENT ON A TRACT OF LAND BEING PART OF ADJUSTED PARCEL 63 AND ADJUSTED PARCEL 64 OF PONCA TRAILS, A SUBDIVISION RECORDED IN PLAT BOOK 364, PAGE 28, IN TOWNSHIP 44 NORTH, RANGE 5 EAST, LOCATED IN THE CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI.

WHEREAS, the property owners at 52 and 56 Ponca Trails wish to vacate the existing easement, and

WHEREAS, the property owners have obtained a letter of approval to vacate the easement from the, Kirkwood Water Department, Missouri American Water, Ameren Missouri, Kirkwood Electric Department, Spire Missouri, AT&T Missouri, and the Metropolitan St. Louis Sewer District, and

WHEREAS, Charter has no facilities located in the easement, and

WHEREAS, the Engineering Department recommends approval of the vacation of the 10' wide utility easement on a tract of land being part of adjusted parcel 63 and adjusted parcel 64 of Ponca Trails, a subdivision recorded in Plat Book 364, Page 28, in Township 44 North, Range 5 East, located in the City of Kirkwood, St. Louis County, Missouri.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. There is hereby vacated a 10' wide public utility easement on a tract of land being on adjusted parcel 63 and adjusted parcel 64 of Ponca Trails, a subdivision recorded in Plat Book 364, Page 28, in Township 44 North, Range 5 East, located in the City of Kirkwood, St. Louis County, Missouri, and more particularly described as follows and as shown on Exhibits A and B (attached):

Commencing at the Southeast corner of said adjusted parcel 63, thence North 04 degrees 32 minutes 16 seconds East a distance of 10.02 feet to a point; thence South 88 degrees 38 minutes 20 seconds West a distance of 11.95 feet to the point of beginning; thence South 88 degrees 38 minutes 20 seconds West a distance of 10.02 feet to a point; thence North 04 degrees 30 minutes 05 seconds West a distance of 22.56 feet to a point; thence North 59 degrees 42 minutes 10 seconds West a distance of 108.47 feet to a point; thence North 30 degrees 17 minutes 50 seconds East a distance of 5.00 feet to a point; thence North 59 degrees 42 minutes 10 seconds West a distance of 2.50 feet to a point; thence North 30 degrees 17 minutes 50 seconds East a distance of 5.00 feet to a point; thence South 59 degrees 42 minutes 10 seconds East a distance of 116.19 feet to a point; thence South 04 degrees 30 minutes 05 seconds East a distance of 28.33 feet to a point of beginning and containing 1,378 square feet.

SECTION 2. A certified copy of this ordinance shall be recorded with the Recorder of Deeds, St. Louis County.

SECTION 3. This ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS DAY OF.

---

Mayor, City of Kirkwood

ATTEST:

---

City Clerk  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan NO      Goal # & Title

### Background To Issue:

A 10' wide easement exists as shown on the plats and legal descriptions of Exhibits "A" and "B" as a strip of land on parcels 63 and 64 of Ponca Trails, a subdivision recorded in plat book 364, page 28 in Township 44 North, Range 5 East, St. Louis County, Missouri. The property owners wish to vacate the existing easements. No utilities or public improvements exist in the easement. The property owners have obtained letters of approval to vacate the easement from the Kirkwood Water Department, Missouri American Water, Ameren Missouri, Kirkwood Electric Department, Spire, AT&T Missouri, and The Metropolitan St. Louis Sewer District. Charter has no facilities located in the easement.

### Recommendations and Action Requested:

It is recommended the council approve the vacation of the easements as shown on plats and legal descriptions of Exhibits "A" and "B".

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$0.00      Account #: 00000000000000      Project #: 0      Budgeted: YES

If YES, Budgeted Amount:      If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Ted Dunkmann

Date: 6/10/2019

Authenticated: dunkmatj

You can attach up to 3 files along with this request.



Exhibit A.pdf  
Adobe Acrobat Document  
79.0 KB



Exhibit B.pdf  
Adobe Acrobat Document  
24.9 KB



Utility Letters.pdf  
Adobe Acrobat Document  
10.0 MB

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Select...

Purchasing Director's Comments:

[Empty text box for Purchasing Director's Comments]

BY: Select...

Date:

Authenticated:

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

---

Step #3: If budgetary approval is required (Must have Finance Department's approval).

Select...

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

[Empty text box for Finance Director's Comments]

BY: Select...

Date:

Authenticated:

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve

Diasapprove

Chief Administrative Officer's Comments:

[Empty text box for Chief Administrative Officer's Comments]

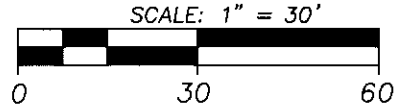
BY:



Date:

6-13-19

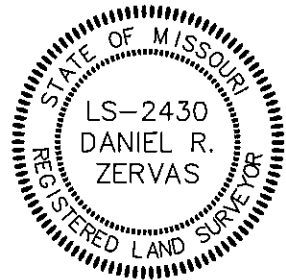
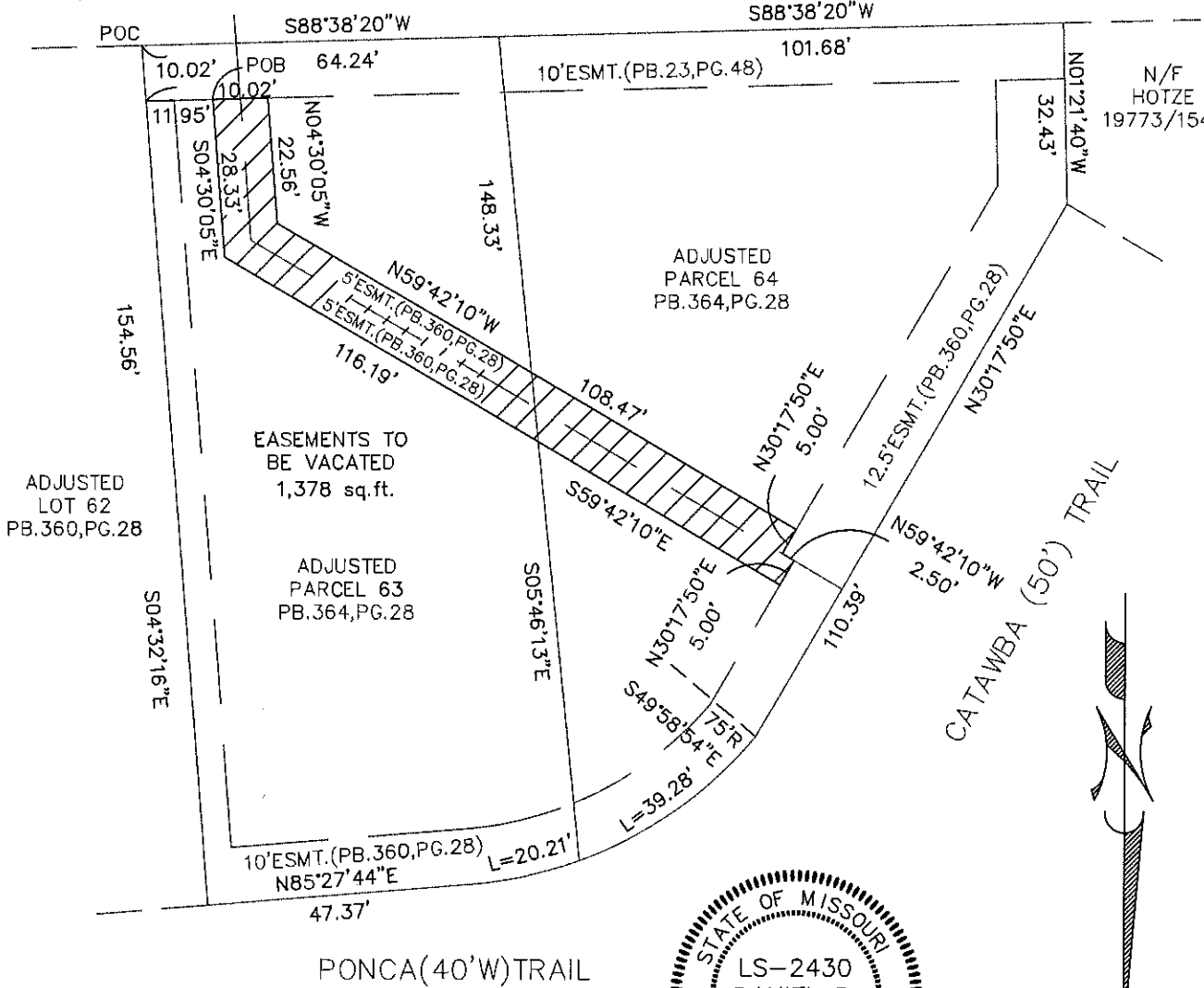




N/F  
CITY OF KIRKWOOD  
14925/27

LOT 10  
MERAMEC  
HIGHLANDS  
PB.351,PG.442

N/F  
HOTZE  
19773/1548



**EXHIBIT A**

INITIAL:

EASEMENT VACATION  
 PART OF ADJUSTED PARCEL 63 AND ADJUSTED PARCEL 64 OF  
 PONCA TRAILS, PLAT BOOK 364, PAGE 28, ST. LOUIS COUNTY, MO

LAND DESCRIPTION

A TRACT OF LAND BEING PART OF ADJUSTED PARCEL 63 AND ADJUSTED PARCEL 64 OF PONCA TRAILS A SUBDIVISION RECORDED IN PLAT BOOK 364 AT PAGE 28, IN TOWNSHIP 44 NORTH, RANGE 5 EAST, ST. LOUIS COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID ADJUSTED PARCEL 63, THENCE NORTH 04 DEGREES 32 MINUTES 16 SECONDS EAST A DISTANCE OF 10.02 FEET TO A POINT; THENCE SOUTH 88 DEGREES 38 MINUTES 20 SECONDS WEST A DISTANCE OF 11.95 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 38 MINUTES 20 SECONDS WEST A DISTANCE OF 10.02 FEET TO A POINT; THENCE NORTH 04 DEGREES 30 MINUTES 05 SECONDS WEST A DISTANCE OF 22.56 FEET TO A POINT; THENCE NORTH 59 DEGREES 42 MINUTES 10 SECONDS WEST A DISTANCE OF 108.47 FEET TO A POINT; THENCE NORTH 30 DEGREES 17 MINUTES 50 SECONDS EAST A DISTANCE OF 5.00 FEET TO A POINT; THENCE NORTH 59 DEGREES 42 MINUTES 10 SECONDS WEST A DISTANCE OF 2.50 FEET TO A POINT; THENCE NORTH 30 DEGREES 17 MINUTES 50 SECONDS EAST A DISTANCE OF 5.00 FEET TO A POINT; THENCE SOUTH 59 DEGREES 42 MINUTES 10 SECONDS EAST A DISTANCE OF 116.19 FEET TO A POINT; THENCE SOUTH 04 DEGREES 30 MINUTES 05 SECONDS EAST A DISTANCE OF 28.33 FEET TO THE POINT OF BEGINNING AND CONTAINING 1,378 SQUARE FEET.

END OF DESCRIPTION

# CITY OF KIRKWOOD

## APPLICATION FOR PLANNING AND ZONING COMMISSION ACTION

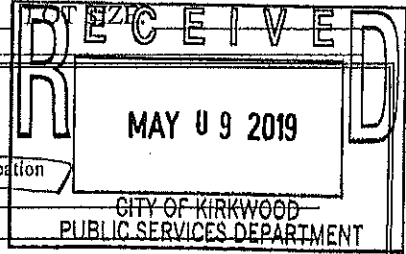
DATE: 5/6/19

CASE NUMBER: \_\_\_\_\_

PROJECT ADDRESS: \_\_\_\_\_

ZONING DISTRICT: \_\_\_\_\_

LOCATOR NUMBER: \_\_\_\_\_



### ACTION REQUESTED

- Zoning Change From \_\_\_\_\_ to \_\_\_\_\_
- Community Unit Plan, Type: \_\_\_\_\_
- Special Use Exception: \_\_\_\_\_
- Subdivision Development, Number of Lots: \_\_\_\_\_
- B4 Development Plan     B5 Development Plan

- Site Plan Review
- Right-of-Way/Easement Vacation
- Other: \_\_\_\_\_
- Comments: \_\_\_\_\_

### PETITIONER INFORMATION

Name: Ponca West, LLC      Signature: [Signature]      Phone No.: 314-526-7602  
 Street Address: Lot 63 & 64 (52 & 56 Ponca Trl) City: Kirkwood      State: MO Zip: 63122  
 E-mail Address: molanddev@sbcglobal.net      FAX No.: N/A  
 Petitioner's Status:  Corporation     Partnership     Individual  
 Relationship of Petitioner to Property:  Owner     Tenant     Option Holder (Attach Copy of Contract)     Other  
 I(We) hereby certify that I(we) have legal interest in the hereinabove described property and that all information given herein is true and a statement of fact.

### AGENT INFORMATION

Agent's Name: Mike Hank      Signature: [Signature]      Phone No.: 314-526-7602  
 Street Address: \_\_\_\_\_      City: \_\_\_\_\_      State: \_\_\_\_\_      Zip: \_\_\_\_\_  
 E-mail Address: \_\_\_\_\_      FAX No.: \_\_\_\_\_

(NOTE: The above-named person shall receive the official notice of public hearing)

### PROPERTY OWNERS

(Signature required or submit proof petitioner has legal interest in property)  
 Name: Ponca West, LLC      Name: \_\_\_\_\_  
 Signature: [Signature]      Signature: \_\_\_\_\_  
 Address: 5854 Crystal Tree Corners      Address: \_\_\_\_\_  
 C/S/Z: St. Louis MO 63128      C/S/Z: \_\_\_\_\_  
 Phone: 314-526-7602      Phone: \_\_\_\_\_

### FOR CITY USE ONLY

Date Received: 5-9-19      Total Received: \$ 75      Agenda Date: \_\_\_\_\_  
 Rezoning: \$1,000  
 Zoning Code Amendment: \$1,000  
 Special Use Permit: \$1,000  
 Site Plan Review: \$700  
 Site Plan Review Amendment or Extension: \$500  
 Preliminary Site Plan Review, Mixed Use in B2 Zoning District, more than 5 acres: \$1,000 (includes SPR fee) + \$25/acre or portion over one acre  
 Preliminary Community Unit Plan: \$1,000 + \_\_\_\_\_ Dwelling units @ \$20/Each = \$ \_\_\_\_\_ = \$ \_\_\_\_\_  
 Preliminary Subdivision: \_\_\_\_\_ Lots @ \$500/Lot = \$ \_\_\_\_\_  
 Preliminary B-4/B-5 Development Plan: \$1,000 + \_\_\_\_\_ Acres @ \$100/Acre or portion over one acre) = \$ \_\_\_\_\_  
 Basement Vacation: \$75  
 Right-of-way Vacation: \$100  
 Letter of Credit Extension: \$100

### Final Subdivision Plat/Community Unit Plan/B-4 or B-5 Development Plan

Date Received: \_\_\_\_\_      Total Received: \$ \_\_\_\_\_      Agenda Date: \_\_\_\_\_  
 Final Subdivision Plat/CUP Type A: \_\_\_\_\_ Lots @ \$100/Lot = \$ \_\_\_\_\_ + 1-1/4% of \$ \_\_\_\_\_ = \$ \_\_\_\_\_ +  
 Sidewalk Waiver on \_\_\_\_\_ @ \$30/Foot = \$ \_\_\_\_\_ = \$ \_\_\_\_\_  
 Final CUP Type C: \$500 + 1-1/4% of \$ \_\_\_\_\_ = \$ \_\_\_\_\_  
 Amend Approved Community Unit Plan Type A or Type C: \$500  
 Amend Final Development Plan of Approved Subdivision Plat: \$200  
 Final B-4/B-5 Development Plan or Amend Approved B4 Plan (when public hearing is not required): \$1,000  
 Amend Approved B5 Plan (when public hearing is not required): \$500  
 Final Site Plan Review, Mixed use in B2 Zoning District, more than 5 acres: \$500  
 Amend Approved Final Site Plan, Mixed use in B2 Zoning District, more than 5 acres: \$300

SUBCOMMITTEE ( \_\_\_\_\_ )

FOR SECURITY PURPOSES, THE FACE OF THIS DOCUMENT CONTAINS A COLORED BACKGROUND AND MICROPRINTING IN THE BORDER

PONCA WEST, LLC  
5854 CRYSTAL TREE CORNERS  
SAINT LOUIS, MO 63128  
(314) 842-4985

FIRST BANK  
12855 TESSON FERRY  
SAINT LOUIS, MO 63128

1386

May 6, 2019

PAY TO THE  
ORDER OF

City of Kirkwood

\$ 75.00

Seventy Five & 00/100

DOLLARS

Lot 63 & 64 Ponca  
MEMO EASEMENT VACATION



AUTHORIZED SIGNATURE

SECURITY FEATURES INCLUDED. DETAILS ON BACK

MEMBER

⑈001386⑈ ⑆081009428⑆ 9816815985⑈

PAY  
OR

City of Kirkwood  
\*\*\* CUSTOMER RECEIPT \*\*\*  
Oper: BLDNTER Type: RP Drawer: 1  
Date: 5/10/19 00 Receipt no: 19852

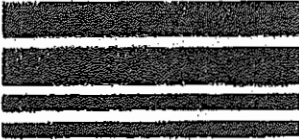
Description	Quantity	Amount
PZ BOARD/COMMISSION FEES	1.00	\$75.00
VACATE ESMNT PONCA TRL		

Tender detail  
CK CHECK 1386 \$75.00  
Total tendered \$75.00  
Total payment \$75.00

Trans date: 5/09/19 Time: 16:20:45

THANK YOU FOR YOUR PAYMENT

PAY  
OR



\* 2018071100682 \*

GERALD E SMITH, RECORDER OF DEEDS  
ST. LOUIS COUNTY MISSOURI  
41 SOUTH CENTRAL, CLAYTON, MO 63105

TYPE OF INSTRUMENT: PTL-R  
GRANTOR: UNION ELECTRIC CO ETAL  
TO:  
GRANTEE: PONCA WEST LLC

PROPERTY DESCRIPTION: PONCA TRAILS L: PT ADJ 63 64 PB: 360 PG: 27

Lien Number

Notation

Locator

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to the TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

STATE OF MISSOURI )  
SS.  
COUNTY OF ST. LOUIS )

Document Number  
00682

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 4 pages, (this page inclusive), was filed for record in my office on the 11 day of July 2018 at 02:40PM and is truly recorded in the book and at the page number printed above.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

RNL2  
Deputy Recorder



*Gerald E. Smith*  
Recorder of Deeds  
St. Louis County, Missouri

Mail to:

[Empty rectangular box for mailing address]

Destination code: 1990 P

RECORDING FEE 30.00  
(Paid at the time of Recording)

PROE

**REMS INFORMATION**

Agreement ID: UEC-201808-11640  
Project ID: 20824

**PARTIAL RELEASE OF EASEMENT**

This instrument made this 22<sup>nd</sup> day of June, 2018.

WHEREAS, UNION ELECTRIC COMPANY d/b/a AMEREN MISSOURI (hereinafter "Ameren Missouri") ("Grantor"), a Missouri corporation, is the holder, either as original grantee or as successor in interest to the original grantee, of that certain Easement granted by PONCA WEST, LLC ("Grantee"), dated February 14, 2012, and recorded at Plat Book 360, Page 27, in the Office of the Recorder of Deeds, for the County of St. Louis, State of Missouri, affecting the therein described property, to wit:

Part of Adjusted Lots 63 and 64 of Ponca Trails, a Boundary Adjustment Plat of Osage Hills Section E Lots 60 through 65, now known as A Resubdivision of Ponca Trails, St. Louis County, Missouri

WHEREAS, it is the purpose of Ameren Missouri to release that PART of its easement encumbering the PORTION of the premises, said portion being described as:

Five (5) foot wide strips of land being part of Adjusted Lots 63 and 64 of Ponca Trails, a Boundary Adjustment Plat of Osage Hills Section E Lots 60 through 65, as per plat thereof recorded in Plat Book 360, Page 27, St. Louis County, Missouri, now known as A Resubdivision of Ponca Trails, a subdivision as per plat thereof recorded in Plat Book 364, Page 28 of the St. Louis County, Missouri Records.

Said five (5) foot wide strips of land are further shown as hachured on the drawing attached hereto marked Exhibit "A" and made a part hereof.

NOW THEREFORE, Ameren Missouri, in consideration of One and No/100<sup>ths</sup> Dollar (\$1.00), the receipt of which is hereby acknowledged, does hereby remise and release only that PART of its aforesaid Easement, as hereinabove described. It is expressly understood and agreed that this Partial Release of Easement is executed only for the purpose of releasing that PART of said Easement particularly described above and that the easement on the remaining or unreleased portions of the premises described in said Easement are hereby reserved unto Grantee and remain in full force and effect.

IN WITNESS WHEREOF, the said Ameren Missouri has caused these presents to be executed the day and year first above written.

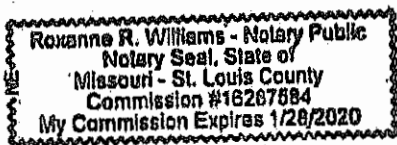
UNION ELECTRIC COMPANY  
d/b/a AMEREN MISSOURI

By: *Dennis W. Weisenborn*  
Dennis W. Weisenborn, Vice President

STATE OF MISSOURI }  
CITY OF ST. LOUIS } SS

I, the undersigned, a Notary Public in and for said City in the State aforesaid, do hereby certify that Dennis W. Weisenborn, personally known to me to be the same person whose name is subscribed to the foregoing instrument and to me personally known to be a Vice President of UNION ELECTRIC COMPANY d/b/a AMEREN MISSOURI, appeared before me this day in person and severally acknowledged that he signed and delivered said instrument as his free and voluntary act, and as the free and voluntary act of said Company, thereunto duly authorized, for the uses and purposes therein set forth.

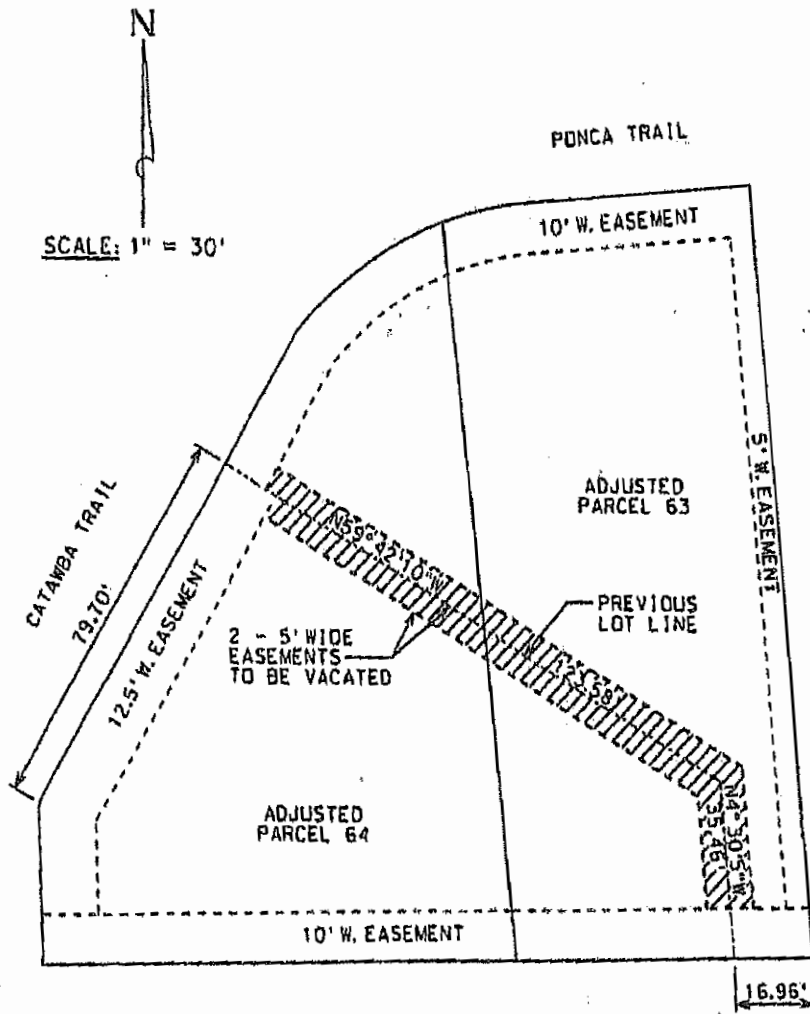
GIVEN under my hand and notarial seal this 22<sup>nd</sup> day of June, A.D., 2018.



*Roxanne R. Williams*  
Notary Public

This form of instrument was prepared by UNION ELECTRIC COMPANY d/b/a AMEREN MISSOURI Legal Department, P.O. Box 66149, St. Louis, Missouri 63166-6149.

RRW/sg  
Easement No. Easement Location - Ponca Trails, a Boundary Adjustment Plat of Osage Hills Section E Lots 60 through 65  
PB360/PG27  
redocs\eamement\rrw-ponca trails  
06/18/18



**EXHIBIT 'A'**

A TRACT OF LAND BEING PART OF SECTION 10,  
TOWNSHIP 44 NORTH, RANGE 5 EAST, CITY OF  
KIRKWOOD, ST. LOUIS COUNTY, MISSOURI.





WHERE COMMUNITY AND SPIRIT MEET

April 29, 2019

Mike Lawless  
Stonebridge Custom Homes, LLC  
605 East Outer 21  
Arnold, MO 63010

**RE: Proposed Vacation of Easement – Ponca Trail, Lot 63 and Lot 64**

Dear Mike,

The City of Kirkwood Water Department is in receipt of the follow-up for vacation request dated April 23, 2019. Upon completion of review, our Department has no objections to vacating easement rights at the above-referenced locations as defined in the attachments. Upon conclusion of review, our department has determined there to be no water conflicts. This vacation would only apply to the 5-foot easements as described in Exhibit "A"- New Re-Subdivision, Exhibit "A" of adjusted parcel 63 of a Resubdivision of Ponca Trail, and Exhibit "A" of adjusted Parcel 64 of a Resubdivision of Ponca Trail.

If you have any questions or concerns, please feel free to contact me at (314) 822-5810.

Sincerely,

A handwritten signature in cursive script that reads "Clarence A. Patterson".

Clarence A. Patterson  
Water Superintendent  
Phone: 314.822.5810  
Fax: 314.984.5920  
[patterca@kirkwoodmo.org](mailto:patterca@kirkwoodmo.org)

cc: Ted Dunkmann, City Engineer



WHERE COMMUNITY AND SPIRIT MEET

August 14, 2018

Mike Lawless  
Stonebridge Custom Homes, LLC  
605 East Outer 21  
Arnold, MO 63010

**Re: Proposed Vacation of Easement – Ponca Trail, Lot 63 and Lot 64**

Dear Mike,

The City of Kirkwood Water Department is in receipt of the vacation request dated July 18, 2018. Upon completion of review, our Department has no objections to vacating easement rights at the above referenced locations of as defined in attachments Exhibit "A" and Exhibit "B". Upon conclusion of review, our department has determined there to be no water conflicts. This vacation would only apply to the 5 – foot easements as described in Exhibit "A"- New Re-Subdivision and Exhibit "B"- Old Re- Subdivision

If you have any questions and/or comments regarding this letter, please contact me at (314) 822-5810.

Sincerely,

Clarence A. Patterson  
Water Superintendent  
Phone: 314.822.5810  
Fax: 314.984.5920  
[patterca@kirkwoodmo.org](mailto:patterca@kirkwoodmo.org)



\* 2 0 1 8 0 4 0 3 0 0 7 1 3 \*

GERALD E. SMITH, RECORDER OF DEEDS  
ST. LOUIS COUNTY MISSOURI  
41 SOUTH CENTRAL, CLAYTON, MO 63105

TYPE OF INSTRUMENT: PTL-R  
GRANTOR: SPIRE MISSOURI INC  
TO:  
GRANTEE: PONCA WEST LLC

PROPERTY DESCRIPTION: OSAGE HILLS SEC E PB: 360 PG: 28

Lien Number

Notation

Locator

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

STATE OF MISSOURI )  
SS.  
COUNTY OF ST. LOUIS )

Document Number  
00713

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 4 pages, (this page inclusive), was filed for record in my office on the 3 day of April 2018 at 03:43PM and is truly recorded in the book and at the page number printed above.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

RL  
Deputy Recorder



*Gerald E. Smith*  
Recorder of Deeds  
St. Louis County, Missouri

Mail to:

Spire  
700 Market St.  
St. Louis, MO 63101

Destination code: 4002

RECORDING FEE 30.00  
(Paid at the time of Recording)

**PARTIAL RELEASE OF EASEMENT**

THIS INSTRUMENT, made this 2<sup>ND</sup> day of April, 2018.

WITNESSETH THAT:

WHEREAS, there has heretofore been granted to SPIRE MISSOURI INC., a Missouri corporation, ("**GRANTOR**"), an easement ("Easements") in certain land located within Ponca Trails a boundary adjustment plat of Osage Hills Section E Lots 60-65, which easements are recorded in Plat Book 360, Page 28, of the St. Louis County Missouri Records wherein the nature and extent of the Easements and the lands affected are described; and

WHEREAS the present owner, PONCA WEST LLC ("**GRANTEE**") of the lands so affected, has requested that **GRANTOR** release the Easements and **GRANTOR** is willing to do so to the extent hereinafter described.

NOW THEREFORE, in consideration of One Dollar (\$1.00) in hand paid to **GRANTOR** by said **GRANTEE**, the receipt of which is hereby acknowledged, **GRANTOR** hereby RELEASES AND QUITCLAIMS to said **GRANTEE** all of **GRANTOR'S** right, title and interest in and to the Easements as shown hatched on the attached Boundary Adjustment Plat designated as Exhibit "A".

IN WITNESS WHEREOF, **GRANTOR** has caused this instrument to be signed by its Vice President, Operations Services and its corporate seal hereunto affixed the day and year first above written.

Approve to Form: 00219

Date: 3/29/2018

SPIRE MISSOURI INC.  
Craig R. Hoefler  
Craig R. Hoefler, Vice President Operations Services

Date: 04/02/2018

Attest: Ellen S. Theroff  
Ellen Theroff  
Corporate Secretary

Date: 3-29-18



STATE OF MISSOURI )  
CITY OF ST. LOUIS ) ss.

On the 2nd day of April, 2018, before me,

Jody Harness, a notary public in and for said state,

appeared Craig R. Hoeflerlin, to me personally known, who being by me duly sworn, did say that he is

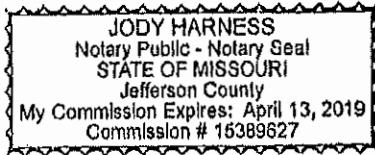
the Vice President – Operations Services of Spire Missouri Inc., and that said instrument was signed

and sealed in behalf of said corporation by authority of its Board of Directors and said Craig R. Hoeflerlin

acknowledged said instrument to be the free act and deed of said corporation.

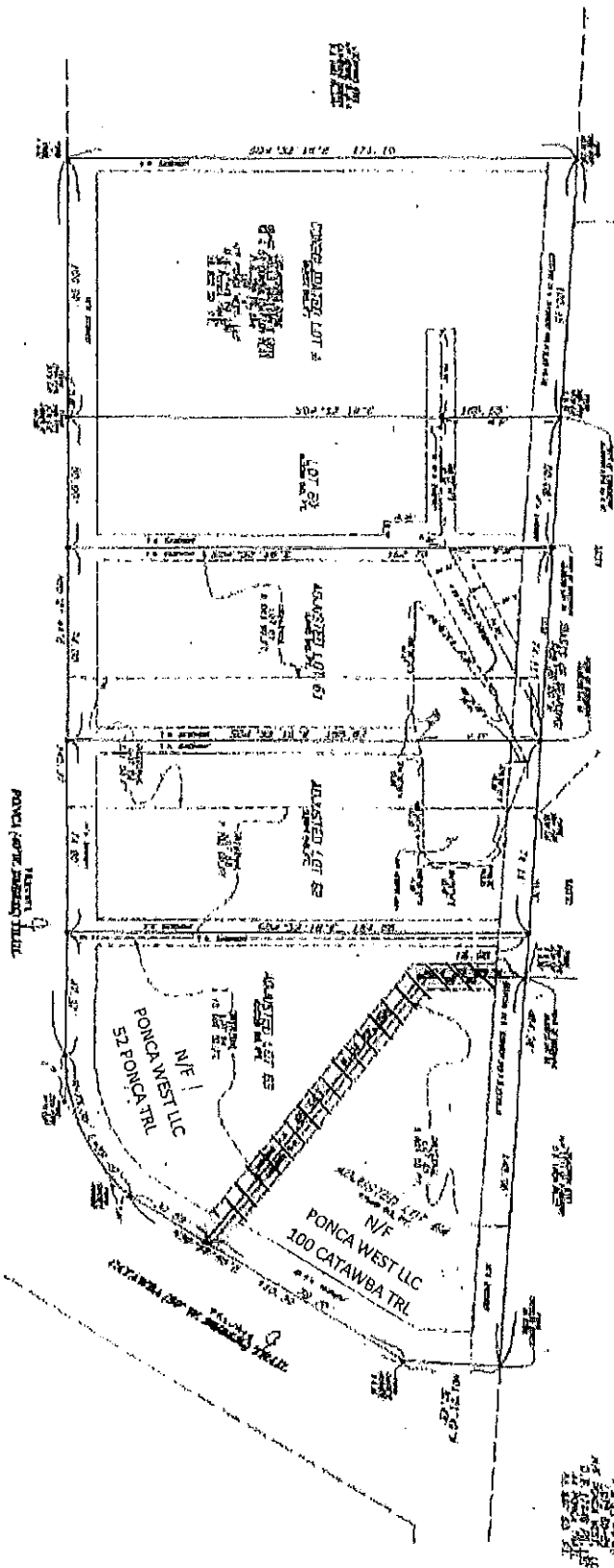
My Commission expires: April 13, 2019

Jody Harness  
Notary Public



**PONCA TRAILS**  
 A QUARTER SECTION PART OF LOWER HILLS SECTION 5  
 TOWNSHIP 20 S. RANGE 48 E. 3RD & 4TH RANGES  
 LOTS 58 & 59 CANTONMENT PLAT P. 5. 300 PG. 154.  
 MISSOURI

ADJACENT LANDS



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DATE RECORDED: 1/22/11  
 COUNTY: MISSOURI  
 BOOK: 22966  
 PAGE: 3694

THIS INSTRUMENT IS A PART OF A CONVEYANCE INSTRUMENT RECORDED IN BOOK 22966 PAGE 3694 OF THE PUBLIC RECORDS OF THE STATE OF MISSOURI.

BY: [Signature]  
 [Name]  
 [Title]

THIS INSTRUMENT IS A PART OF A CONVEYANCE INSTRUMENT RECORDED IN BOOK 22966 PAGE 3694 OF THE PUBLIC RECORDS OF THE STATE OF MISSOURI.

BY: [Signature]  
 [Name]  
 [Title]

THIS INSTRUMENT IS A PART OF A CONVEYANCE INSTRUMENT RECORDED IN BOOK 22966 PAGE 3694 OF THE PUBLIC RECORDS OF THE STATE OF MISSOURI.

BY: [Signature]  
 [Name]  
 [Title]

THIS INSTRUMENT IS A PART OF A CONVEYANCE INSTRUMENT RECORDED IN BOOK 22966 PAGE 3694 OF THE PUBLIC RECORDS OF THE STATE OF MISSOURI.

BY: [Signature]  
 [Name]  
 [Title]

THIS INSTRUMENT IS A PART OF A CONVEYANCE INSTRUMENT RECORDED IN BOOK 22966 PAGE 3694 OF THE PUBLIC RECORDS OF THE STATE OF MISSOURI.

BY: [Signature]  
 [Name]  
 [Title]

THIS INSTRUMENT IS A PART OF A CONVEYANCE INSTRUMENT RECORDED IN BOOK 22966 PAGE 3694 OF THE PUBLIC RECORDS OF THE STATE OF MISSOURI.

BY: [Signature]  
 [Name]  
 [Title]



EXHIBIT "A"



TALENT

2-1-12

[Signature]

GLASPER PROFESSIONAL SERVICES, INC. ENGINEERS & SURVEYORS	07033 J. E. H.	1/22/11 M. Y. G.	PONCA TRAILS RECREATION PLAY	PREPARED FOR	RECORDED	MISSOURI
--------------------------------------------------------------	-------------------	---------------------	---------------------------------	--------------	----------	----------



MISSOURI  
AMERICAN WATER

April 24, 2019

Mike Lawless  
Stonebridge Custom Homes, LLC.  
1462 Summertree Springs Avenue  
St. Louis, MO 63088

RE: **Easement Vacation – Lot 63 and 64 of Ponca Trails**

Dear Mr. Lawless:

We are in receipt of your email request, dated April 23, 2019, concerning the vacation of an easement 10' wide on Lots 63 and 64 of Ponca Trails Subdivision. **Missouri American Water** has no objection to the proposed vacation of said easement, as shown highlighted on the attached drawing because we have no water main installed within said easement. Further, there is no language on said plat granting an easement to Missouri-American Water Company.

Should you have any questions, please contact me at (314) 996 -2324.

Sincerely,

Terrance Green  
Engineering Specialist  
Right of Way and Developer Services

Missouri-American Water

727 Craig Road  
St. Louis, MO 63141  
USA

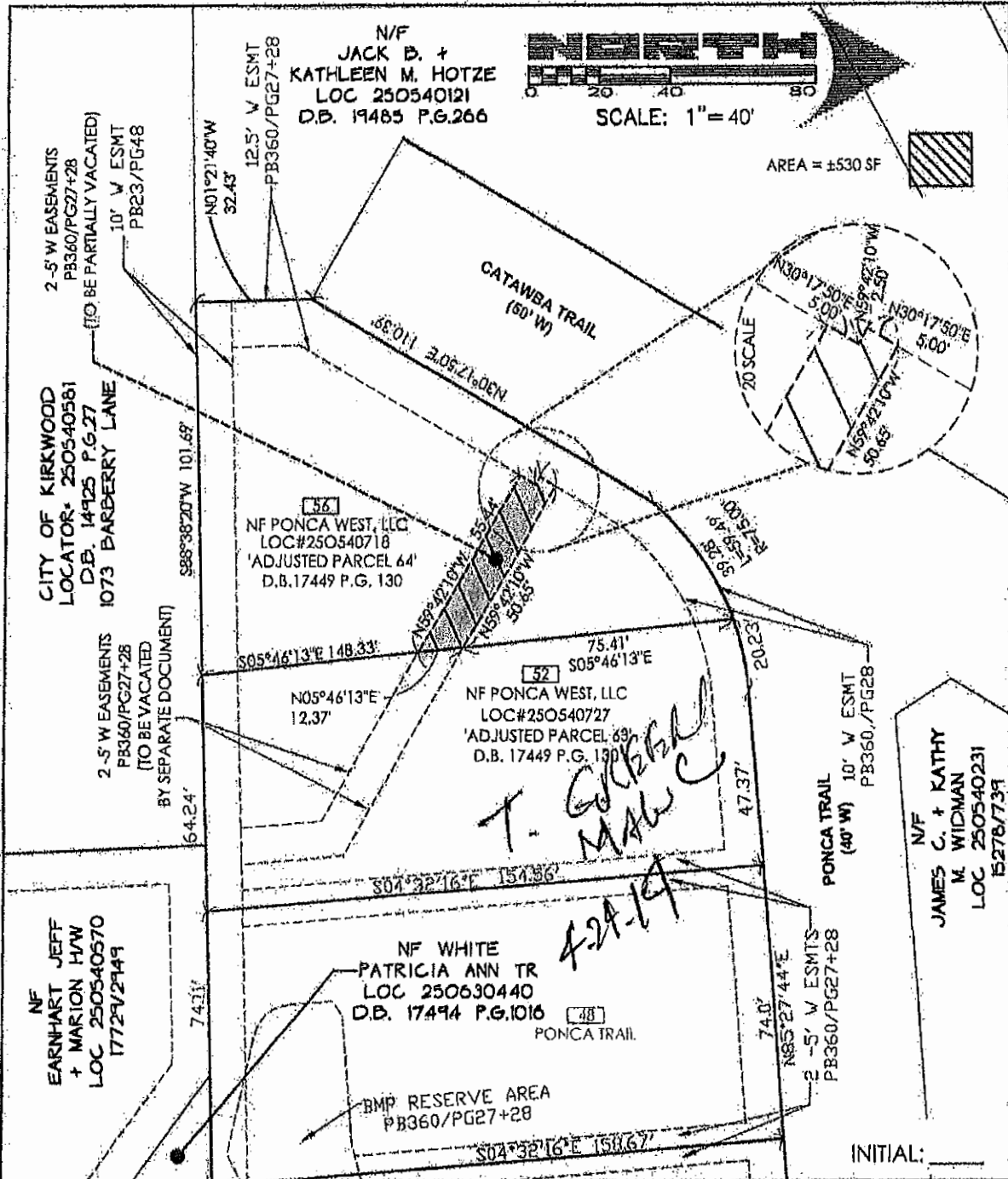
T +1 314 996 2324  
F +1 314 569 3972  
E

[terrance.green@amwater.com](mailto:terrance.green@amwater.com)  
| [www.amwater.com](http://www.amwater.com)

WE KEEP LIFE FLOWING™

727 Craig Road  
St. Louis, MO 63141

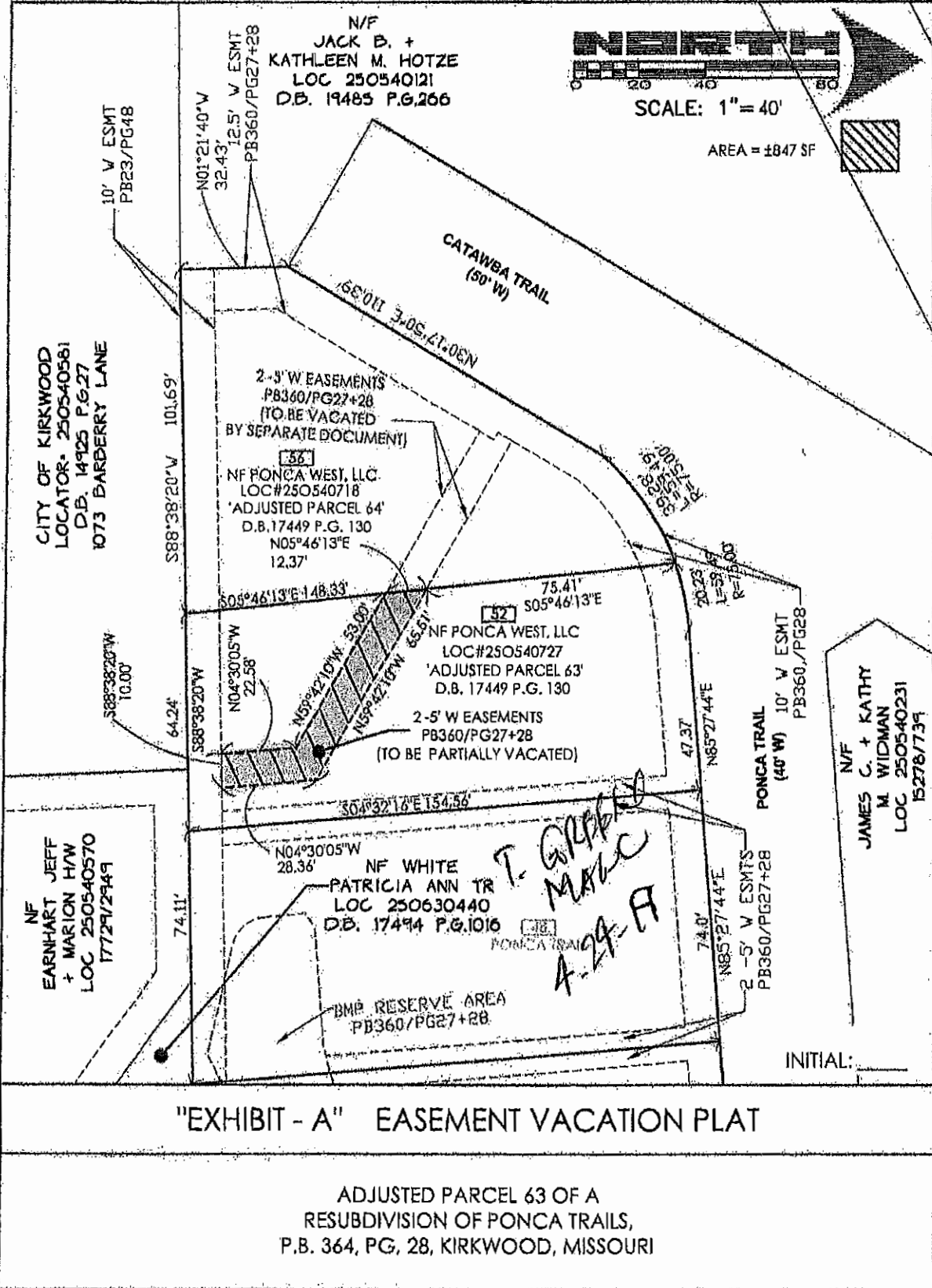
[amwater.com](http://amwater.com)



"EXHIBIT - A" EASEMENT VACATION PLAT

ADJUSTED PARCEL 64 OF A  
RESUBDIVISION OF PONCA TRAILS, P.B. 364,  
PG, 28, KIRKWOOD, MISSOURI





"EXHIBIT - A" EASEMENT VACATION PLAT

ADJUSTED PARCEL 63 OF A  
RESUBDIVISION OF PONCA TRAILS,  
P.B. 364, PG, 28, KIRKWOOD, MISSOURI



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GERALD E. SMITH, RECORDER OF DEEDS  
ST. LOUIS COUNTY MISSOURI  
41 SOUTH CENTRAL, CLAYTON, MO 63105

**COPY**

TYPE OF INSTRUMENT: ESMT  
GRANTOR: METROPOLITAN ST LOUIS SEWER DISTRICT  
TO:  
GRANTEE: PONCA WEST LLC  
PROPERTY DESCRIPTION: RESUBD OF PONCA TRAILS ADJ PARCEL 63 PB 384 PG 28

Lien Number

Notation

Locator  
250540727

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

STATE OF MISSOURI )  
SS.  
COUNTY OF ST. LOUIS )

Document Number  
00518

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 4 pages, (this page inclusive), was filed for record in my office on the 20 day of July 2017 at 12:06PM and is truly recorded in the book and at the page number printed above.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

EW  
Deputy Recorder



*Gerald E. Smith*  
Recorder of Deeds  
St. Louis County, Missouri

Mail to:

Metropolitan St. Louis Sewer District  
2350 Market St.  
St. Louis, MO 63103

Destination code: 4002

RECORDING FEE 30.00  
(Paid at the time of Recording)

1500

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3 INCH AREA ABOVE - LEAVE BLANK (FOR RECORDERS OFFICE USE ONLY)

**DOCUMENT TYPE:** Easement Vacation

**DATE OF DOCUMENT:** July 17, 2017

**GRANTOR:** Metropolitan St. Louis Sewer District  
**Address:** 2350 Market Street  
St. Louis, Missouri 63103

**GRANTEE:** Ponca West LLC  
**Address:** 52 Ponca Trail  
St. Louis, MO 63122

**PROPERTY ADDRESS:** 52 Ponca Trail

**COUNTY LOCATOR #:** 250540727

**CITY OF ST. LOUIS PARCEL #:**

**CITY/MUNICIPALITY:** Kirkwood

**LEGAL DESCRIPTION:** Adjusted Parcel 63 of the Resubdivision of Ponca Trails  
Plat Book 364, Page.28

# Book:22616 - Page:2195

Ponca Trail & Catawba Trail (Ponca Trails -- 44 Ponca Trail) -- Lot 63  
P-0028383-02

## EASEMENT VACATION

TO WHOM IT MAY CONCERN:

KNOW ALL MEN BY THESE PRESENTS, that Metropolitan St. Louis Sewer District (MSD) does hereby vacate any right, title, or interest to the portion of the easement as recorded in Plat Book 360, Pages 27-28 of the St. Louis County Records Office and shown hachured on the attached "Easement Vacation Plat" and marked Exhibit "A" and made a part hereof. The owners of the subject property have requested MSD to vacate the portion of the subject easement, and this District has no further use for said portion of easement as shown on the attached plat.

IN WITNESS WHEREOF, the said Metropolitan St. Louis Sewer District has caused these presents to be signed by its Director of Engineering this 17<sup>th</sup> day of July, 2017.

Metropolitan St. Louis Sewer District

By 

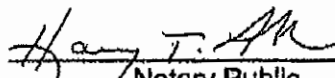
Richard L. Unverferth PE  
Director of Engineering

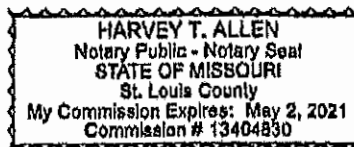
STATE OF MISSOURI     )  
                                  ) SS.  
COUNTY OF ST. LOUIS    )

On this 17<sup>th</sup> day of July, 2017, before me appeared Richard L. Unverferth, to me personally known, who being by me duly sworn, did say he is Director of Engineering of The Metropolitan St. Louis Sewer District and that said Instrument was signed in behalf of said corporation by authority of its Board of Trustees, and said Richard L. Unverferth acknowledged said instrument to be the free act and deed of said corporation.

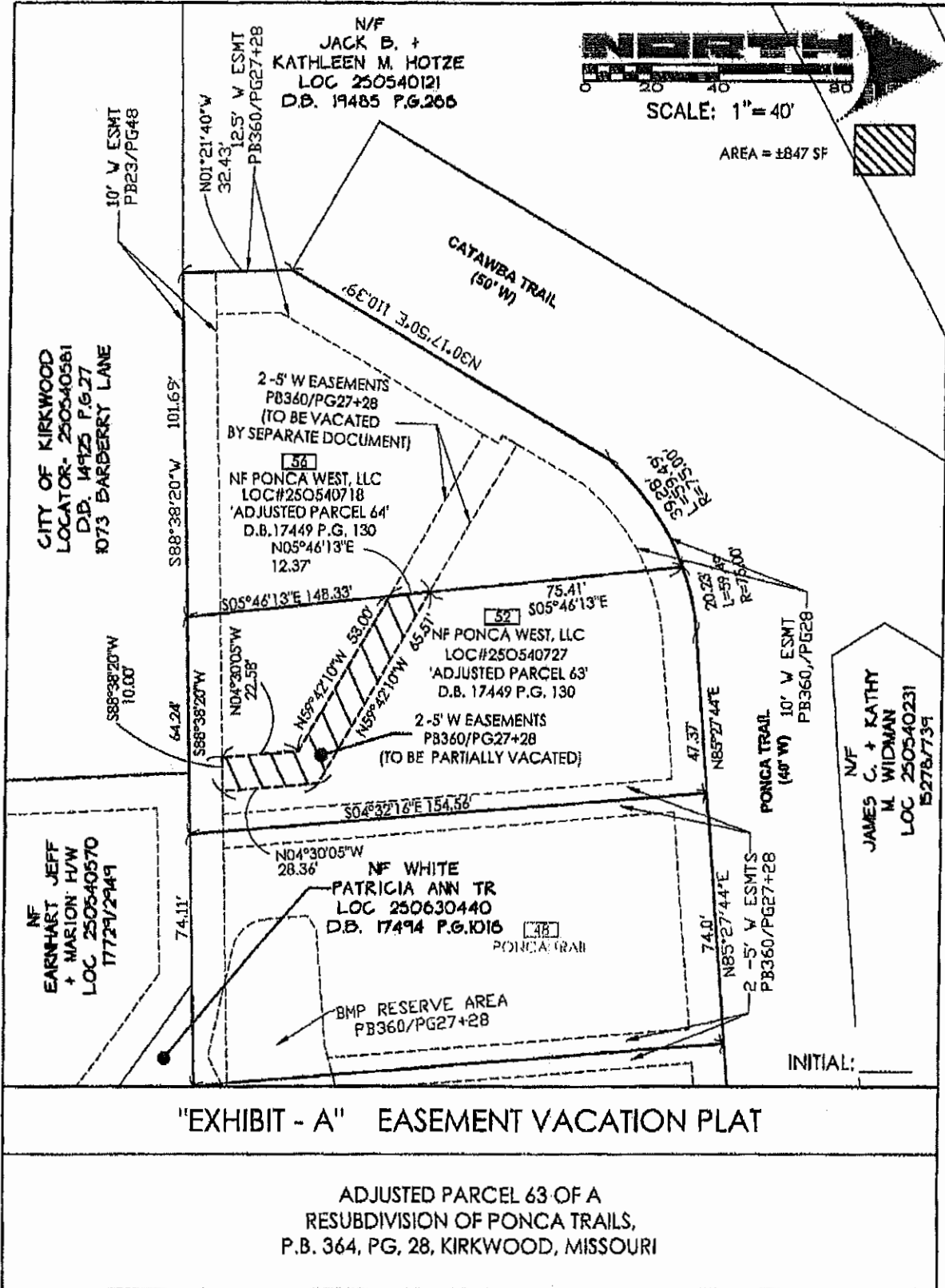
IN TESTIMONY WHEREOF, I have herewith set my hand and affixed my notarial seal the day and year first above written.

My Commission expires May 2, 2021.

  
Notary Public



PONCA TRAIL & CATAWBA TRAIL (PONCA TRA  
P-28383-02



"EXHIBIT - A" EASEMENT VACATION PLAT

ADJUSTED PARCEL 63 OF A  
 RESUBDIVISION OF PONCA TRAILS,  
 P.B. 364, PG. 28, KIRKWOOD, MISSOURI



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GERALD E. SMITH, RECORDER OF DEEDS  
ST. LOUIS COUNTY MISSOURI  
41 SOUTH CENTRAL, CLAYTON, MO 63105

**COPY**

TYPE OF INSTRUMENT ESMT	GRANTOR METROPOLITAN STL SEWER DISTRICT	TO	GRANTEE PONCA WEST LLC
PROPERTY DESCRIPTION: RESUB OF PONCA TRAILS ADJ 84 PB 384 PG 28			

Lien Number

Notation

Locator

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

STATE OF MISSOURI )  
                          SS.  
COUNTY OF ST. LOUIS )

Document Number  
**00519**

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 4 pages, (this page inclusive), was filed for record in my office on the 20 day of July 2017 at 12:08PM and is truly recorded in the book and at the page number printed above.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

SP  
Deputy Recorder



*Gerald E. Smith*  
Recorder of Deeds  
St. Louis County, Missouri

Mail to:

Metropolitan St. Louis Sewer District  
2350 Market St.  
St. Louis, MO 63103

Destination code: 4002

RECORDING FEE 30.00  
(Paid at the time of Recording)

1900

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3 INCH AREA ABOVE - LEAVE BLANK (FOR RECORDERS OFFICE USE ONLY)

**DOCUMENT TYPE:** Easement Vacation

**DATE OF DOCUMENT:** July 17, 2017

**GRANTOR:** Metropolitan St. Louis Sewer District  
**Address:** 2350 Market Street  
St. Louis, Missouri 63103

**GRANTEE:** Ponca West LLC  
**Address:** 56 Ponca Trail  
St. Louis, MO 63122

**PROPERTY ADDRESS:** 56 Ponca Trail

**COUNTY LOCATOR #:** 250540718

**CITY OF ST. LOUIS PARCEL #:**

**CITY/MUNICIPALITY:** Kirkwood

**LEGAL DESCRIPTION:** Adjusted Parcel 64 of the Resubdivision of Ponca Trails  
Plat Book 364, Page 28

Ponca Trail & Catawba Trail (Ponca Trails -- 44 Ponca Trail) - Lot 64  
P-0028383-02

**EASEMENT VACATION**

TO WHOM IT MAY CONCERN:

KNOW ALL MEN BY THESE PRESENTS, that Metropolitan St. Louis Sewer District (MSD) does hereby vacate any right, title, or interest to the portion of the easement as recorded in Plat Book 360, Pages 27-28 of the St. Louis County Recorders Office and shown hachured on the attached "Easement Vacation Plat" and marked Exhibit "A" and made a part hereof. The owners of the subject property have requested MSD to vacate the portion of the subject easement, and this District has no further use for said portion of easement as shown on the attached plat.

IN WITNESS WHEREOF, the said Metropolitan St. Louis Sewer District has caused these presents to be signed by its Director of Engineering this 17<sup>th</sup> day of July, 2017.

Metropolitan St. Louis Sewer District

By *Richard L. Unverferth*

Richard L. Unverferth PE  
Director of Engineering

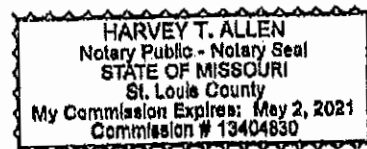
STATE OF MISSOURI    )  
                                  ) SS.  
COUNTY OF ST. LOUIS )

On this 17<sup>th</sup> day of July, 2017, before me appeared Richard L. Unverferth, to me personally known, who being by me duly sworn, did say he is Director of Engineering of The Metropolitan St. Louis Sewer District and that said instrument was signed in behalf of said corporation by authority of its Board of Trustees, and said Richard L. Unverferth acknowledged said instrument to be the free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have herewith set my hand and affixed my notarial seal the day and year first above written.

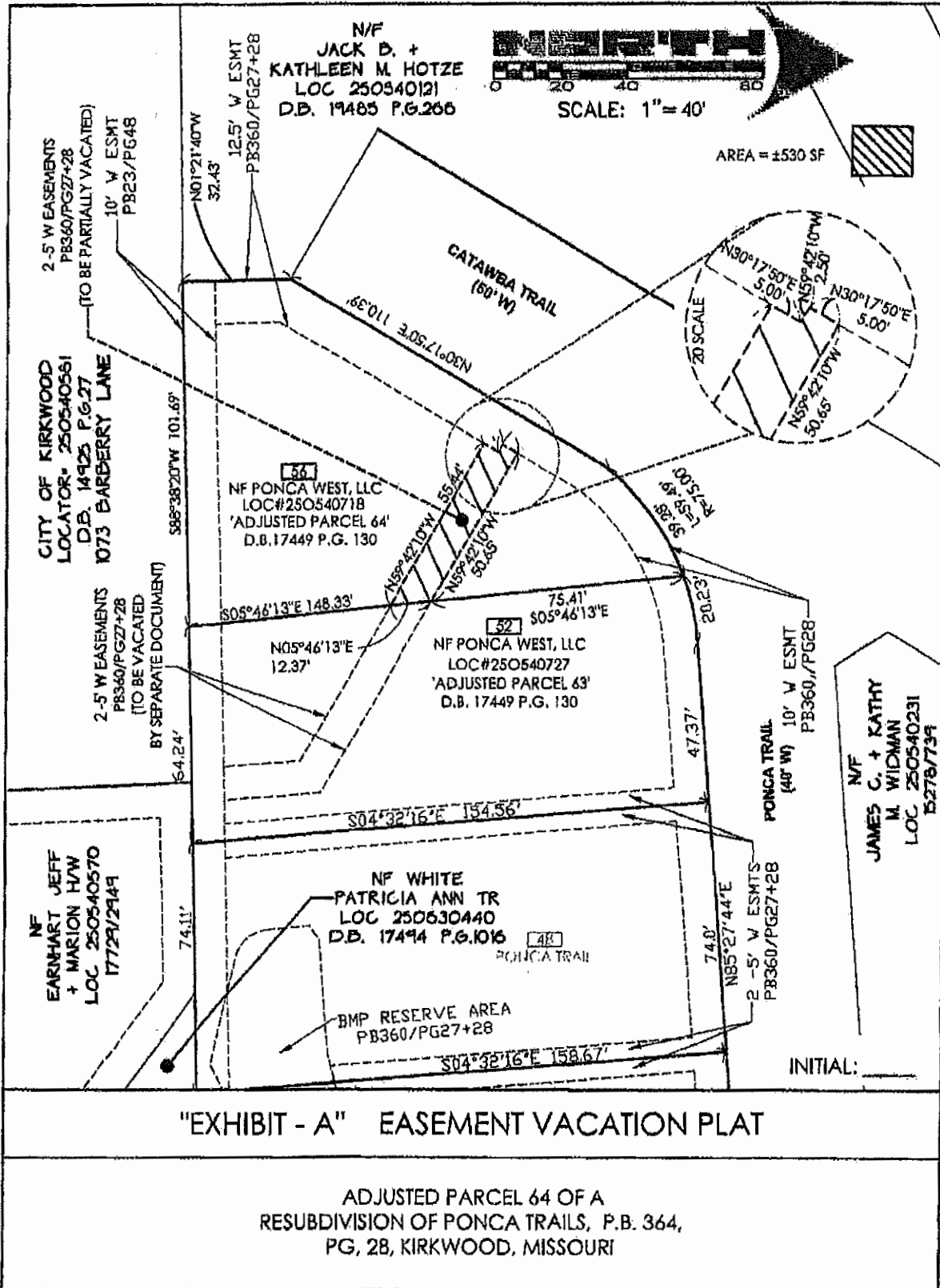
My Commission expires May 2, 2021.

*Harvey T. Allen*  
Notary Public





PONCA TRAIL & CATAWBA TRAIL (PONCA TRAIL)  
P-28383-02



"EXHIBIT - A" EASEMENT VACATION PLAT

ADJUSTED PARCEL 64 OF A  
RESUBDIVISION OF PONCA TRAILS, P.B. 364,  
PG. 28, KIRKWOOD, MISSOURI

4/6/2018

Print

**Subject:** RE: Vacation of easement - Ponca Trails - no involvement with Kirkwood Electric 4-5-18  
**From:** Mark Petty (Pettyma@kirkwoodmo.org)  
**To:** molanddev@sbcglobal.net;  
**Cc:** michaelproperties@yahoo.com; dunkmatj@kirkwoodmo.org; Pettyma@kirkwoodmo.org;  
**Date:** Thursday, April 5, 2018 1:34 PM

Kirkwood Electric does not have any distribution in this area and thus is not involved in the easement request -- you'll need to consult with Ameren Missouri on this location because this is in the portion of Kirkwood that they serve

**From:** Missouri Land Development [mailto:molanddev@sbcglobal.net]  
**Sent:** Tuesday, April 03, 2018 2:39 PM  
**To:** Mark Petty  
**Cc:** Mike Lawless  
**Subject:** Vacation of easement - Ponca Trails

Hi Mark,

Due to the reconfiguration of lot 63 and lot 64 what was recorded as a perimeter easement is now a useless easement running through the middle of our lots. We are herein requesting that your company vacate this easement as promptly as possible on lots 63 and 64 of Ponca Trail Drive. The new re-subdivision (exhibit A) is herein attached as well as the old one so that you can clearly see why we need to vacate this easement. If you have any questions please do not hesitate to call me

Thank you

Mike Lawless/caf

Project Manager

Property Acquisition

Stonebridge Custom Homes, LLC



Virus-free. [www.avg.com](http://www.avg.com)

at&t

Right of Way  
12861 Manchester Rd.,  
Rm 2-E-310  
Des Peres, MO 63131  
314-288-1278

March 21, 2018

Mike Lawless  
Stonebridge Custom Homes, LLC  
5854 Crystal Tree Corners  
St. Louis, MO 63129

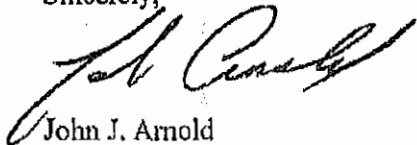
**RE: Release two, 5' wide utility easements within Lots 63 and 64 of Ponca Trails Resubdivision, recorded in Plat Book 23, Page 48 of the St. Louis County, Missouri records. Commonly known as: 52 and 56 Ponca Trail, St. Louis, MO, respectively.**

Dear Mr. Lawless,

After a review of our records, Southwestern Bell Telephone Company (d/b/a AT&T Missouri), has no objection to vacating the easements referenced above and as shown hachured on the attached Exhibit "A". As a result, I have enclosed a "Release of Easement" document. Please return a recorded copy *when* available.

If you should have any questions, please contact me on 636.479.0058 or via email at [john.j.arnold@att.com](mailto:john.j.arnold@att.com).

Sincerely,



John J. Arnold  
Mgr, OSP Planning & Engineering Design

Enclosure



**SOUTHWESTERN BELL TELEPHONE COMPANY  
RELEASE OF EASEMENT**

Executed: 3/21/2018

THIS RELEASE OF EASEMENT, entered into by SOUTHWESTERN BELL TELEPHONE COMPANY, d/b/a AT&T MISSOURI, (12851 MANCHESTER RD., RM 2-E-310, DES PERES, MO 63131), GRANTOR, AND PONCA WEST, LLC, 5854 CRYSTAL TREE CORNERS, ST. LOUIS, MO 63128, GRANTEES, wherein GRANTOR in consideration of One Dollar (\$1.00) and other valuable consideration, receipt of which is hereby acknowledged, does by these presents ABANDON, RELEASE, RELINQUISH AND DISCLAIM to GRANTEES, as is, all or a specific portion of a certain easement for telecommunication purposes hereinafter described that affects land owned by GRANTEES situated in The City of Kirkwood, ST. LOUIS COUNTY, MISSOURI, and described as follows:

A TRACT OF LAND BEING PART OF LOTS 63 AND 64 OF PONCA TRAILS RESUBDIVISION, RECORDED IN PLAT BOOK 23, PAGE 48 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS. COMMONLY KNOWN AS: 52 AND 56 PONCA TRAIL, ST. LOUIS. PARCEL ID #'S 250540727 AND 25054018, RESPECTIVELY.

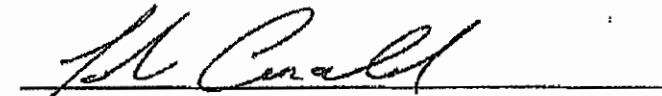
**Said land of GRANTEES being subject to:** Two, 5' wide easements recorded in Plat Book 23, Page 48 of the St. Louis County, Missouri records.

**The area of said easement to be hereby released is described as follows:** The area shown hachured (//////////) on the easement vacation plat marked Exhibit "A", attached hereto and made a part thereof.

TO HAVE AND TO HOLD same, together with all rights and appurtenances to the same belonging, unto GRANTEE(S), their heirs, successors and assigns forever.

IN WITNESS WHEREOF, GRANTOR has caused this Release of Easement to be executed by its duly authorized officers this 21<sup>st</sup> day of March, 2018.

SOUTHWESTERN BELL TELEPHONE  
COMPANY (d/b/a AT&T MISSOURI)



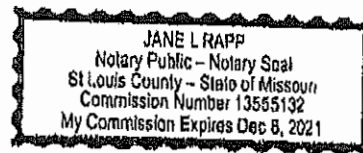
Name: JOHN J. ARNOLD

Title: MGR., OSP PLNG & ENGRG DESIGN

THE STATE OF MISSOURI  
COUNTY OF ST. LOUIS

BEFORE ME, the undersigned authority, on this day personally appeared JOHN J. ARNOLD, known to me to be the person whose name is subscribed to the foregoing instrument as the MGR., OSP PLANNING AND ENGINEERING DESIGN of SOUTHWESTERN BELL TELEPHONE COMPANY (d/b/a AT&T Missouri), a corporation, and acknowledged to me that he executed the same for purposes and considerations therein expressed in the capacity stated, and as the act and deed of said corporation.

Given under my hand and seal of office this the 21<sup>st</sup> day of March, 2018.

  
Notary Public

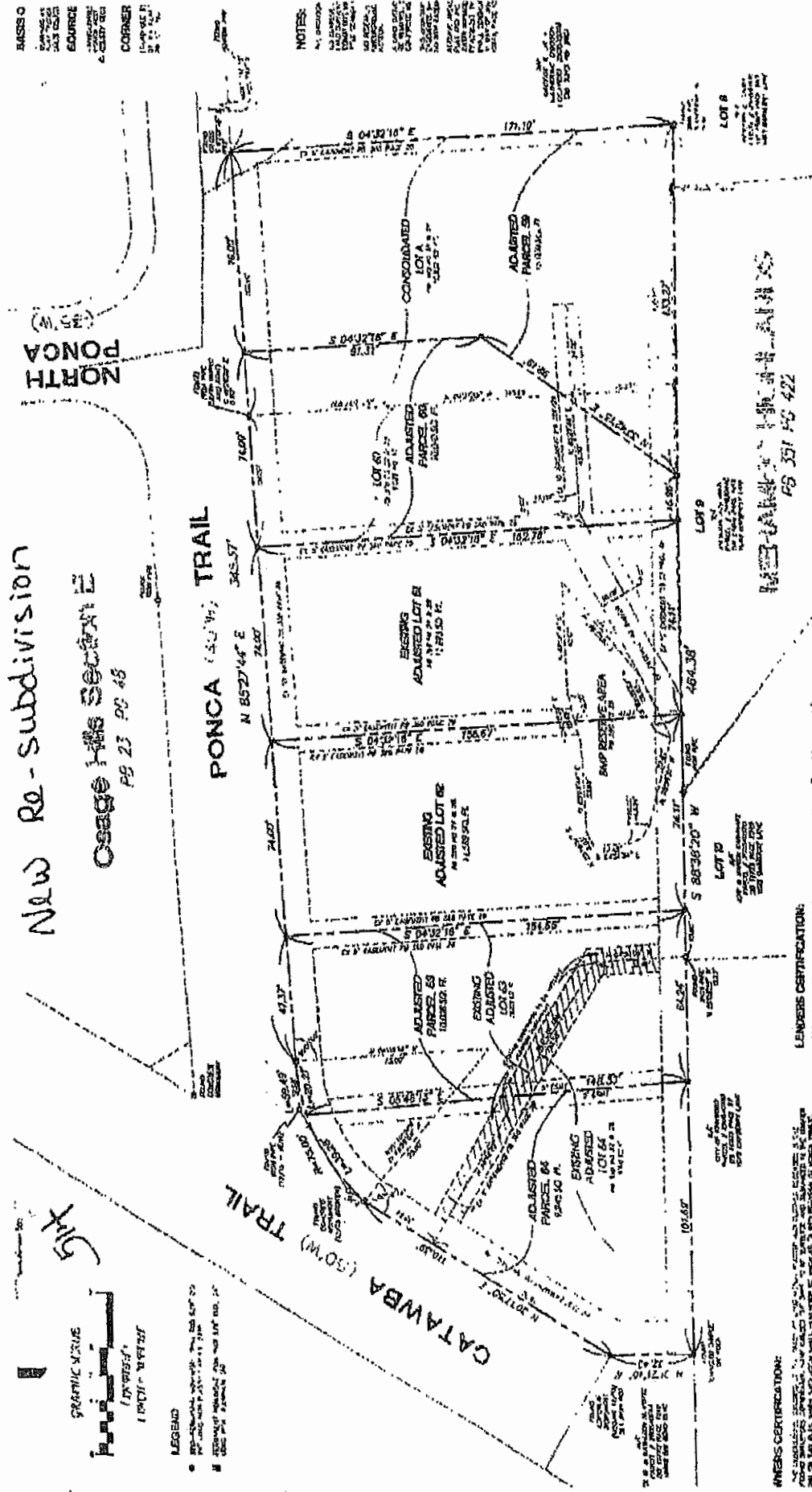
# New Re-subdivision

## Osage Hills Section E

Pg 23 PG 48

- RAISS O
- CONVEYANCE
- COURSE
- ADJUSTED
- CORNER

NOTES:  
1. ALL ADJUSTED PARCELS ARE TO BE CONVEYED TO THE COUNTY AND STATE BY DEED.



LEGEND:  
● ADJUSTED PARCELS  
■ EXISTING ADJUSTED PARCELS

OWNERS CERTIFICATION:  
I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original plat as shown to me by the County and State.

OWNERS CERTIFICATION:  
I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original plat as shown to me by the County and State.

LENDERS CERTIFICATION:  
I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original plat as shown to me by the County and State.

LENDERS CERTIFICATION:  
I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original plat as shown to me by the County and State.

NOTARIAL PUBLIC  
STATE OF MISSOURI  
My Comm. Expires 12/31/2010

EXHIBIT "A"

BILL 10766

ORDINANCE

AN ORDINANCE REAPPROPRIATING \$40,548 FROM THE REAPPROPRIATIONS ACCOUNT TO ACCOUNT #301-1401-600.75.12, PROJECT #WA1802, FROM FISCAL YEAR 2018/2019 TO FISCAL YEAR 2019/2020 FOR THE ADA TRANSITION PLAN.

WHEREAS, the ADA Transition Plan funds were not reallocated to the correct project number for the Fiscal Year 2019/2020 Budget, and

WHEREAS, funds in the amount of \$40,548 needs to be reappropriated from the Reappropriations Account to Account #301-1401-600.75.12, Project #WA1802, for fiscal year 2019/2020.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$40,548 are hereby reappropriated from the Reappropriations Account to Account #301-1401-600.75.12, Project #WA1802, for fiscal year 2019/2020 for the ADA Transition Plan.

SECTION 2. This Ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS DAY OF.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan NO Goal # & Title

### Background To Issue:

The City contracted with Oates and associates in FY19 to develop a ADA transition plan for Kirkwood's public sidewalks. In FY19 \$108,095 was expended on this project leaving a balance of \$40,548 to complete the project in FY20. Engineering requested that these funds be reallocated in the FY 20 Budget process, unfortunately the request was under the incorrect project number. Therefore staff is requesting that \$40,548 be reappropriated from the FY19 budget into the FY20 budget.

### Recommendations and Action Requested:

It is recommended that the City Council authorize the reappropriation of \$40,548 from the Reappropriation fund to account 301-1401-600.75-12 PW1902 to complete the ADA transition plan.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$40,548.00 Account #: 30114016007512 Project #: Budgeted: NO

If YES, Budgeted Amount: If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Bill Bensing

Date: 6/6/2019

Authenticated: bensinwe

You can attach up to 3 files along with this request.

📎 File Attachment

📎 File Attachment

📎 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

### Approve

Purchasing Director's Comments:



BY: David Weidler


Date: 6/11/2019

Authenticated: weidledc

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

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Step #3: If budgetary approval is required (Must have Finance Department's approval).

Appropriation

From Account # or Fund Name: Reappropriations

To Account # or Fund Name: 301-1401-600.75-12 PW1802

Finance Director's Comments:

Missed reappropriation

BY: John Adams

Date: 6/11/2019

Authenticated: adamsjr

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve

Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

BILL 10767

ORDINANCE

AN ORDINANCE APPROPRIATING \$10,758 FROM THE GENERAL FUND FUND BALANCE TO ACCOUNT #101-1101-411.68.01, FOR THE PURCHASE OF 11 IPAD PROS AND APPLE SMART KEYBOARD FOLIOS FOR THE CITY COUNCIL AND CITY STAFF.

WHEREAS, the current iPads utilized by the City Council and City staff are approximately seven years old and a number of concerns have been reported regarding the iPads, and

WHEREAS, it is recommended that the current iPads be replaced with the iPad Pro and Apple Smart Keyboard Folio, and

WHEREAS, funds in the amount of \$10,758 needs to be appropriated from the General Fund Fund Balance to Account #101-1101-411.68.01.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$10,758 are hereby appropriated from the General Fund Fund Balance to Account #101-1101-411.68.01 for the purchase of 11 iPad Pros and Apple Smart Keyboard Folios for the City Council and City staff.

SECTION 2. This Ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS DAY OF.

---

Mayor, City of Kirkwood

ATTEST:

---

City Clerk  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan Select... Goal # & Title

### Background To Issue:

The mayor and city clerk have reported council member concerns with current IPADs. They are at least 7 years old. MIS Director Kevin Campe was asked his opinion and he suggests replacing the current tablets with the IPAD Pro and Apple Smart Keyboard Folio. The IPAD Pro costs \$799 each and the Smart Keyboard is \$179. There are 11 IPADs in use by council and staff so the total replacement cost would be \$10,758.00.

### Recommendations and Action Requested:

Appropriate \$10,758 from the General Fund fund balance to 101-1101-411.68-01 as replacement of these tablets was not budgeted in the current fiscal year.

### Alternatives Available:

Purchase less expensive IPAD Air tablets at a cost of \$7,458, or defer purchase and place in budget of FY2021.

Does this project have a public information component?  Yes  No

Cost: \$10,758.00 Account #: 10111014116801 Project #: Budgeted: NO

If YES, Budgeted Amount: \$0.00 If NO, or if insufficient funding (Complete Step #3).

Department Head Comments:

BY: Georgia Ragland

Date: 6/11/2019

Authenticated: raglangl

You can attach up to 3 files along with this request.



20190611172110014.pdf  
Adobe Acrobat Document  
716 KB

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. (**Must have Purchasing Director's approval**).

Approve

Purchasing Director's Comments:

[Empty text box for Purchasing Director's Comments]


BY: David Weidler


Date: 6/12/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Appropriation

From Account # or Fund Name: General Fund fund balance

To Account # or Fund Name: 10111014116801

Finance Director's Comments:

[Empty text box for Finance Director's Comments]

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

[Empty text box for Chief Administrative Officer's Comments]

BY: 

Date: 6-13-19

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**INTEROFFICE MEMORANDUM**

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**TO:** RUSS HAWES, CAO

**FROM:** KEVIN CAMPE, IT DIRECTOR

**SUBJECT:** IPADS

**DATE:** 6-11-19

---

There are two styles of IPADS that I would suggest. The IPAD Air and the IPAD Pro.

The IPAD Air is a 10.5" screen and has 64 gig of storage which is plenty for what we are going to be using them for. The IPAD Air still has a "HOME" button so people will be familiar with the operation of the device. The cost of the device is \$499.00 per unit. The device is still charged using lightning cable connection. This device does support the new Smart Keyboard Folio from Apple which allows the keyboard to pull power from the IPAD thus eliminating the need to charge the keyboard separately. This device supports version 1 of the Apple Pencil but not the new version. This may not be a big deal if they do not use the pencils.

The IPAD Pro is a 11" screen and has 64 gig of storage like the IPAD Air. The IPAD Pro no longer has a "HOME" button. You just swipe up from the bottom to get to your apps. Little bit of a learning curve for some maybe. The cost of the device is \$799.00 per unit. The device is charged using USB-C so the charging cable will be different than a normal Iphone. This may reduce the issue of using wrong charger. This device supports the Smart Keyboard. This device support the new version of pencil, which they may or may not use/need. This device has a slightly faster processor than the IPAD Air.

There are two other keyboards that might be worth looking at. The BRYDGE keyboard and the LOGITECH SLIM are both much better keyboards according to all the reviews and even look like they are better in the photos, but they both require charging on their own. The BRYDGE states 12 month use on a charge based on 2 hours of use per day. The LOGITECH states 3 months use on a single charge based on 2 hours of user per day. If they do a lot of typing the reviewers indicate that the Apple keyboard just does not have the feel of a real keyboard. The cost of the keyboards are 179.00 for the APPLE, 169.00 for the BRYDGE and 119.00 for the LOGITECH. The LOGITECH has a nice feature to secure the pencil which the other 2 do not.

In my opinion based on how long we keep these devices in use, I would suggest the IPAD PRO even though there may be a slight learning curve with the loss of the HOME button. As far as the keyboards go, if they do not use them a lot, I would stick with the APPLE keyboard so as to reduce the items needing charged. If they type a lot, then I believe they may be happier with one of the other keyboards. The upside is that the IPAD PRO charging cable could be used to charge either the keyboard or the IPAD. I have attached info on the keyboards to the memo.

## iPad Accessories

Browse all ▾

# Smart Keyboard Folio for 11-inch iPad Pro - US English

\$179.00

★★★★★

Language

US English ▾

Add to Bag



Pickup:

Today at Apple

Kenwood Towne Centre

[Check another store](#)



Order by 10am, delivers:

Today 10am - 12pm -

Fastest

Thu, Jun 13 - Free

[Delivery options for 45212](#)



Need some help? [Contact us.](#)



## Product Information



### Overview

The Smart Keyboard Folio for the 11-inch iPad Pro is a full-size keyboard when you need it to be, provides elegant front and back protection when you don't, and allows for convenient viewing angles. And with no charging or pairing required, just attach the keyboard and start typing.

## Compatibility



for iPad Pro 2018



### BRYDGE PRO

\$169.99

147 Reviews

#### SELECT SIZE

Brydge 12.9 Pro

#### COLOR

Space Gray

ADD TO CART

For iPad Pro 11" and 12.9" (2018)

Wireless Bluetooth Keyboard

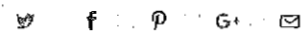
0-180° Viewing Angles

Adjustable Backlit Keys

Dual Connectivity (USB-C + Bluetooth 4.1)

12-Month Battery Life Per Charge

See Expected Shipping Dates Below



### SHIPPING UPDATE



1 BRYDGE PRO 12.9 SPACE GRAY



BRYDGE PRO 12.9 SILVER



BRYDGE PRO 11.0 SPACE GRAY



BRYDGE PRO 11.0 SILVER

(/en-us)

?c/DisplayShoppingCartPage/locale.en\_US/)

# SLIM FOLIO PRO FOR iPad Pro 11-INCH AND 12.9-INCH (3RD GEN)

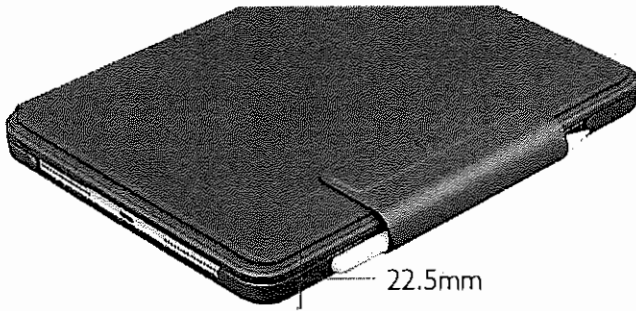
Backlit keyboard case with *Bluetooth*



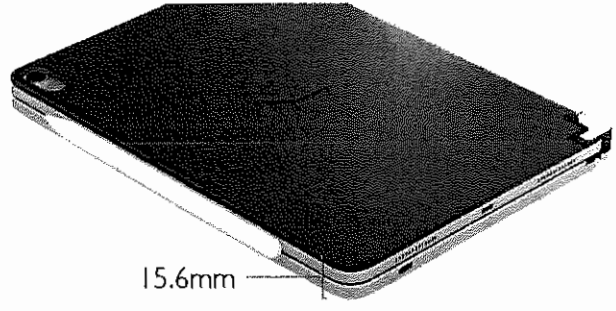
**WORK LIKE A PRO**



for iPad Pro 2018



Logitech Slim Folio Pro



Brydge I 1.0 Pro

### PRE-ORDER NOW OR GET NOTIFIED WHEN IN-STOCK & SHIPPING

Email

First Name

Last Name

#### WHICH IPAD PRO ARE YOU?

12.9-inch iPad Pro  11-inch iPad Pro

CONFIRM OPT-IN

SUBSCRIBE

By completing this form you are signing up to receive our emails and can unsubscribe at any time.

We use email and targeted online advertising to send you product updates, promotional offers and other marketing communications based on the information we collect about you. View our [Terms and Conditions](#), [Privacy Policy](#) and [Cookie Policy](#) for more information.

### BRYDGE PRO - REVIEWS

Power

4.7

147 Reviews, 181 Q&As

Write A Review

Ask A Question

**REVIEWS** QUESTIONS

Filter Reviews

Sign Up!

BILL 10768

ORDINANCE

AN ORDINANCE APPROPRIATING FUNDS IN THE AMOUNT OF \$32,078 FROM THE SANITATION FUND FUND BALANCE TO ACCOUNT #509-2315-482.75.05, PROJECT #SA2002, ACCEPTING THE BID OF US BANCORP IN THE AMOUNT OF \$660,385.51 OVER FIVE YEARS PENDING BUDGETARY APPROVAL FOR ROLL-OFF CARTS FINANCING FOR THE SANITATION DIVISION AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for Roll-Off Carts Financing for the Sanitation Division, and

WHEREAS, the most responsible bid received was that of US Bancorp in the amount of \$660,385.51 over five years for Roll-Off Carts Financing and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement and the Director of Public Services, and

WHEREAS, funds in the amount of \$32,078 need to be appropriated from the Sanitation Fund Fund Balance to Account #509-2315-482.75.05, Project #SA2002.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$32,078 are hereby appropriated from the Sanitation Fund Fund Balance to Account #509-2315-482.75.05, Project #SA2002.

SECTION 2. The bid of US Bancorp in the amount of \$660,385.51 over five years, pending budgetary approval, for Roll-Off Carts Financing for the Sanitation Division is hereby accepted and approved.

SECTION 3. The Mayor is hereby authorized and directed to enter into a contract with US Bancorp in the amount of \$660,385.51 over five years, pending budgetary approval, for Roll-Off Carts Financing for the Sanitation Division.

SECTION 2. This Ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS DAY OF.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan YES

Goal # & Title Goal No.2 Objective B. item 3. Automate Solid Waste Collections

Background To Issue:

The appropriation of funds are required to allow for the purchase and delivery carts to begin the automation of solid waste collections as outlined in the City's strategic plan.

Recommendations and Action Requested:

It is recommended that the City Council approve the appropriation of \$32,078 from the Sanitation Fund Balance to 509-2315-482.75-05 Project SA2002 to automate solid waste collections. There is currently 100,000 approved in the current fiscal years budget for the carts. We ask council to approve the five year lease financing program that consists of five payments of \$132,077.10 for total payments after five years of \$630,147.00. The interest rate is 2.40% and the bank is USBank.

Alternatives Available:

N/A

Does this project have a public information component?  Yes  No

Cost: \$132,078.00 Account #: 50923154827505 Project #: SA2002 Budgeted: NO

If YES, Budgeted Amount: If NO, or if insufficient funding (Complete Step #3).

Department Head Comments:

BY: Bill Bensing

Date: 6/6/2019

Authenticated: bensinwe

*You can attach up to 3 files along with this request.*



USBGLF City of Kirkwood -  
Finance Proposal - 061019.pdf  
Adobe Acrobat Document  
58.0 KB

File Attachment

File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. (Must have Purchasing Director's approval).

Approve

Purchasing Director's Comments:

BY: David Weidler


Date: 6/12/2019


Authenticated: weidledc

*You can attach up to 3 files along with this request.*



12981 Resolution Letter.pdf  
Adobe Acrobat Document  
230 KB

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Appropriation

From Account # or Fund Name: Sanitation Fund -Fund Balance 32,078

To Account # or Fund Name: 509-2315-482.75-05 SA2002 32,078

Finance Director's Comments:

I recommend approving the appropriation and the five year financing plan.

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19



All of us serving you®

Government Leasing and Finance

June 10, 2019

City of Kirkwood  
212 S. Taylor Avenue  
Kirkwood, MO 63122

At your request, U.S. Bancorp Government Leasing and Finance, Inc. ("USBGLF") has prepared for your consideration the following proposal for financing ("Proposal"). **This is only a proposal and does not represent a commitment by U.S. Bancorp Government Leasing and Finance, Inc.**

<b>Customer:</b>	City of Kirkwood						
<b>Lessor:</b>	U.S. Bancorp Government Leasing and Finance, Inc.						
<b>PROPERTY:</b>	Roll-Off Carts						
<b>EXPIRATION:</b>	August 29, 2019						
<b>LEASE QUOTE:</b>	<b>Amount</b>	<b>Rate</b>	<b>Payments</b>	<b>Factor</b>	<b>Pmts / Year</b>	<b>Term</b>	<b>Adv. / Arr.</b>
1. (a)	630,147.00	2.40%	132,077.10	0.2095973	1	60 Months	Advance
1. (b)	630,147.00	2.45%	135,442.00	0.2149371	1	60 Months	Arrears
2.	630,147.00	2.39%	33,521.32	0.0531960	4	60 Months	Arrears

**Notes: There are no fees associated with this offer including the establishment and use of a U.S. Bank, N.A. escrow account should one be required. Prepayment permitted in full at any time after 12 months at the lesser of the break funding charge or 103% of remaining principal balance. Other prepayment options are available by request.**

The Lease will be structured as a tax-exempt municipal lease, with title in the Lessee's name and USBGLF holding a security interest in the equipment during the term. The lease is "triple-net" with the Lessee responsible for taxes, maintenance and insurance. Documentation will be provided by USBGLF, including (i) standard representations, warranties and covenants by the Lessee pertaining to the accuracy of information, organization, authority, essential use, compliance with laws, pending legal action, location and use of collateral, insurance, financial reporting and financial covenants; and (ii) standard USBGLF provisions pertaining to events of default and remedies available upon default. This offer is subject to the execution of all documentation by the Lessee within a reasonable time and in form and substance acceptable to Lessee, USBGLF and USBGLF's counsel, including terms and conditions not outlined in this Proposal.

This Proposal is conditioned on there being no material adverse change in the financial condition of the Lessee. Additionally, the terms and conditions outlined herein are subject to final review and approval (including collateral and essential use review) by USBGLF's business, legal, credit, and equipment risk management personnel.

Sincerely,

*Tasha Barreau*

Tasha Barreau  
Vice President  
U.S. Bancorp Government Leasing & Finance, Inc.  
303-330-4160 / [Tasha.barreau@usbank.com](mailto:Tasha.barreau@usbank.com)

## Government Leasing and Finance

**Payment Tables**

(Assumes funding June 28, 2019)

1. (a)

<b>Totals</b>	660,385.51	630,147.00	30,238.51	0.00
<b><u>Date</u></b>	<b><u>Payment</u></b>	<b><u>Principal</u></b>	<b><u>Interest</u></b>	<b><u>Prepayment Balance</u></b>
28-Jun-2019	132,077.10	132,077.10	0.00	513,011.99
28-Jun-2020	132,077.10	120,123.42	11,953.68	389,284.87
28-Jun-2021	132,077.10	123,006.39	9,070.72	262,588.29
28-Jun-2022	132,077.10	125,958.54	6,118.56	132,850.99
28-Jun-2023	132,077.10	128,981.55	3,095.56	0.00

1. (b)

<b>Totals</b>	677,209.99	630,147.00	47,062.99	0.00
<b><u>Date</u></b>	<b><u>Payment</u></b>	<b><u>Principal</u></b>	<b><u>Interest</u></b>	<b><u>Prepayment Balance</u></b>
28-Jun-2020	135,442.00	120,003.40	15,438.60	525,447.91
28-Jun-2021	135,442.00	122,943.48	12,498.52	398,816.13
28-Jun-2022	135,442.00	125,955.59	9,486.40	269,081.87
28-Jun-2023	135,442.00	129,041.51	6,400.49	136,169.11
28-Jun-2024	135,442.00	132,203.02	3,238.97	0.00

## Government Leasing and Finance

2.

<b>Totals</b>	670,426.46	630,147.00	40,279.46	0.00
<b>Date</b>	<b>Payment</b>	<b>Principal</b>	<b>Interest</b>	<b>Prepayment Balance</b>
28-Sep-2019	33,521.32	29,756.19	3,765.13	618,402.53
28-Dec-2019	33,521.32	29,933.99	3,587.34	587,570.52
28-Mar-2020	33,521.32	30,112.84	3,408.48	556,554.29
28-Jun-2020	33,521.32	30,292.77	3,228.56	525,352.74
28-Sep-2020	33,521.32	30,473.77	3,047.56	493,964.76
28-Dec-2020	33,521.32	30,655.85	2,865.48	462,389.24
28-Mar-2021	33,521.32	30,839.02	2,682.31	430,625.05
28-Jun-2021	33,521.32	31,023.28	2,498.04	398,671.07
28-Sep-2021	33,521.32	31,208.64	2,312.68	366,526.17
28-Dec-2021	33,521.32	31,395.12	2,126.21	334,189.20
28-Mar-2022	33,521.32	31,582.70	1,938.62	301,659.02
28-Jun-2022	33,521.32	31,771.41	1,749.92	268,934.47
28-Sep-2022	33,521.32	31,961.24	1,560.08	236,014.39
28-Dec-2022	33,521.32	32,152.21	1,369.11	202,897.62
28-Mar-2023	33,521.32	32,344.32	1,177.00	169,582.97
28-Jun-2023	33,521.32	32,537.58	983.75	136,069.26
28-Sep-2023	33,521.32	32,731.99	789.33	102,355.31
28-Dec-2023	33,521.32	32,927.56	593.76	68,439.92
28-Mar-2024	33,521.32	33,124.30	397.02	34,321.89
28-Jun-2024	33,521.32	33,322.22	199.10	0.00

June 12, 2019

To: Russell B. Hawes, Chief Administrative Officer

**For Your Consideration:** Roll-Off Carts Financing, Bid #12981

Sealed bids were publicly opened on January 25, 2019. The bid tabulation is as follows:

<b>Vendor</b>	<b>Interest Rate</b>
US Bancorp	2.40%
UMB Bank	2.57%
Clayton Holdings, LLC	2.99%
LJ Hart & Company	3.25%

Bid requests were also sent to Leasing 2 Inc., Lindell Bank, Reliance Bank, Santander Bank, Systems Financing Corporation, The Larson Group, and Wells Fargo Equipment Finance; however they did not submit bids.

The bids were provided to Bill Bensing, Director of Public Services, John Adams, Director of Finance, and David Weidler, Director of Procurement, for evaluation. It is recommended that the bid be awarded to US Bancorp, as their bid is the lowest responsive and responsible bid meeting specifications. Payments are proposed annually for five (5) years. Under the anticipated agreement the City will make annual payments of \$132,077.10 for the Roll-Off Cart. The total expense for the Roll-Off Carts is \$660,385.51.

Funds are available in account number 509-2315-482.75-05, project number SA2002, in the amount of \$100,000.00 Additional funds in the amount of \$32,078.00 are requested to be appropriated from the Sanitation Fund Balance to account number 509-2315-482.75-05, project number SA2002. Funds are scheduled in the capital budget in the same account for future years in the amount of \$132,078.00 a year, pending budgetary approval.

Attached is a request from to Bill Bensing, Director of Public Services, for an ordinance to appropriate \$32,078.00 from the Sanitation Fund Balance to account number 509-2315-482.75-05, project number SA2002, and authorizing a contract with US Bancorp in the amount of \$660,385.51 over five (5) years for Roll-Off Carts Financing.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement



BILL 10769

ORDINANCE

AN ORDINANCE APPROPRIATING \$100,000 FROM THE CAPITAL FUND TO ACCOUNT #301-1401-600.75.12, PROJECT #PW2002, FOR INFILL SIDEWALK ON EAST MONROE AVENUE.

WHEREAS, an appropriation of funds are required to move forward with the design and construction of infill sidewalk on East Monroe Avenue, and

WHEREAS, funds in the amount of \$100,000 needs to be appropriated from the Capital Fund to Account #301-1401-600.75.12, Project #PW2002.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$100,000 are hereby appropriated from the Capital Fund to Account #301-1401-600.75.12, Project #PW2002, for infill sidewalk on East Monroe Avenue.

SECTION 2. This Ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS DAY OF.

---

Mayor, City of Kirkwood

ATTEST:

---

City Clerk  
1<sup>st</sup> Reading:  
2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/20/2019

### Step #1:

Strategic Plan YES

Goal # & Title Goal 5 Objective C: Increase Community Accessibility/Mobility

### Background To Issue:

The City Council has requested that a section of infill sidewalk on E. Monroe Ave. from Woodlawn to Gilbert that was identified in the Kirkwood Pedestrian and Bicycle Plan, be advanced for design and construction into the FY20 budget. The appropriation of funds are required to move forward with the design and construction of this project.

### Recommendations and Action Requested:

It is recommended that the City Council approve the appropriation of \$100,000 from the Capital fund to account 301-1401-600.75-12 PW2002 for the design and construction of infill sidewalk on E. Monroe Ave.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$100,000.00 Account #: 30114016007512 Project #: PW2002 Budgeted: NO

If YES, Budgeted Amount: If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

Appropriation request under separate ordinance request

BY: Bill Bensing

Date: 6/11/2019

Authenticated: bensinwe

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. (Must have Purchasing Director's approval).

### Approve


Purchasing Director's Comments:


BY: David Weidler


Date: 6/12/2019

Authenticated: weidledc

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Select...

From Account # or Fund Name: Capital Fund

To Account # or Fund Name: 301-1401-600.75-12 PW2002

Finance Director's Comments:

Council directed appropriate additional 100,000 to infrastructure

Infrastructure budget FY2019/2020 before appropriation 6,257,368

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve

Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

BILL 10770

ORDINANCE

AN ORDINANCE APPROVING THE FINAL DEVELOPMENT PLAN FOR A COMMUNITY UNIT PLAN TYPE A AND FINAL SUBDIVISION PLAT OF AN EIGHT-LOT SUBDIVISION ON THE PROPERTIES KNOWN AS 2017 LILY AVENUE AND 2040 BOAZ AVENUE IN THE CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI.

WHEREAS, the City Council did on the 19<sup>th</sup> day of January, 2019, approve the preliminary plan and plat by adopting resolution 9-2019; and

WHEREAS, Ingargiola Development LLC made application (PZ-13-19) for Final Plan/Plat approval for a Community Unit Plan Type A for an eight-lot subdivision known as Emmerson Estates upon properties known as 2017 Lily Avenue and 2040 Boaz Avenue, and

WHEREAS, the Planning and Zoning Commission did on the 15<sup>th</sup> day of May, 2019, recommend approval of the final development plan for the Community Unit Plan Type A and final subdivision plat by adopting the subcommittee report dated May 15, 2019, attached hereto and incorporated by reference herein, and

WHEREAS, the City Council did on the 20<sup>th</sup> day of June, 2019, hold an open meeting with respect to said application.

NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The final development plan for a Community Unit Plan Type A and the final subdivision plat on the properties known as 2017 Lily Avenue, and 2040 Boaz Avenue in the City of Kirkwood, St. Louis County, Missouri, is hereby approved.

SECTION 2. The approval of said final development plan and final subdivision plat are subject to the following conditions:

1. The subdivision shall be developed and all improvements shall be consistent with the Final Development Plans prepared by Wind Engineering Company (37 Sheets) stamped "Received April 12, 2019 City of Kirkwood Public Services Department", Partial Revised Final Development Plan Sheets (C5.1, C16.1, C17.1A, and C17.1B), the Final Landscape Plan prepared by Hall & Associates LLC stamped "Received April 12, 2019 City of Kirkwood Public Services Department", and the Final Record Plat prepared by Wind Engineering Company stamped "Received May 1, 2019 City of Kirkwood Public Services Department".
2. A performance guarantee in an amount of \$637,100 is required and has been submitted in the form of a letter of credit. The purpose of this is to guarantee the completion of public

improvements, to replace public improvements damaged by construction activities and to guarantee significant trees designated to be saved.

3. The sidewalk requirement shall be reduced to only the north side of the extended Lily Avenue as the Lily Avenue extension is a cul-de-sac street that serves less than 9 single-family residential lots.
4. Lily Avenue shall be reconstructed to twenty-six (26) feet in width from the entrance of the subdivision to the intersection of Emerson Avenue.
5. The primary construction route shall be via Boaz.
6. A separate flood plain development permit is required.
7. Per Appendix B, Article X, a waiver to allow for above-ground water detention is approved.
8. Storm water management plans and sanitary sewer plans have been approved by Metropolitan Sewer District (MSD). Storm water greater than one c.f.s. shall not be directed across the driveway entrances.
9. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the petitioner shall install the necessary mains and accessories.
10. The subdivision shall meet adopted fire hydrant standards and fire apparatus access roads requirements as governed by the 2009 International Fire Code.
11. A grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
12. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation shall be maintained during the construction activities. Failure to maintain these devices authorizes the Public Services Department to issue a Stop Work Order for the building permit until such devices are restored.
13. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time, or on the site unless actively in use for the site development and building construction.
14. Tree protection fencing shall be installed and maintained in accordance with the Tree Study as designated on the Landscape Plan. Failure to maintain the tree-protection fencing during the demolition and construction activities shall authorize the Public

Services Department to issue a stop work order for the grading, foundation, or building permit until the fencing is restored.

15. No grading shall create a slope greater than 3 (horizontal) to 1 (vertical).
16. Any existing street, curbs, or sidewalks that are damaged shall be reconstructed to City standards.
17. If a subdivision identity sign is to be installed, it shall meet the requirements of Article 1-1/2 Sign Code of Section 5 of the General Code of Ordinances. Its design shall be approved by the Architectural Review Board prior to the issuance of a sign permit.

SECTION 3. The easements designated for public use on such plat are hereby accepted and dedicated for public use.

SECTION 4. The location of the residential structures shall be reviewed by staff following the submittal of an "Application for Site Plan Review for New Single Family Residences" and following approval of the Final Subdivision Plat for this project.

SECTION 5. The approval of this subdivision shall not authorize any person to increase or unreasonably alter, increase, or redirect the surface water run off so as to cause harm to any person or property. The applicant assumes all responsibility and liability for storm water run-off.

SECTION 6. The premises and improvements as approved by this Ordinance shall be in good working order and maintained in good repair at all times.

SECTION 7. That the applicant by accepting and acting under the Subdivision approval herein granted accepts the subdivision approval subject to the reservations, restrictions, and conditions set forth in the Code of Ordinances and in this Ordinance and agrees to comply with each provision subject to the penalties prescribed under Section 1-8 of the Code of Ordinances.

SECTION 8. The applicant and his successors and assigns by accepting and acting under the approval herein granted accepts the approval subject to the condition that failure to abate any violation of this approval or any provisions of the Code of Ordinances of the City of Kirkwood within five (5) days after notice by hand delivery or first-class mail shall result in an administrative investigation fee of \$500 due to the City of Kirkwood. An invoice shall be issued. A Stop Work Order to cease all work on the premises except such work as directed by the Public Works Director to abate the violation may be issued for any work on the premises until the investigation fee is paid in full. The City may demand payment of said fee from the holder of the letter of credit, any bond, or escrow if not paid within 30 days of the invoice.

SECTION 9. That the City Clerk is authorized to execute such plat on behalf of the City, and the Council does hereby authorize that such plat and a copy of this ordinance be recorded at the office of the Recorder of Deeds for St. Louis County, Missouri, at the expense of the applicant, within 90 days of the passage of this ordinance. A copy of said recorded plat shall be

filed in the Public Services Director's Office within 90 days of City Council Approval of the Final Plat.

SECTION 10. Within ten days after recording, one PDF digital version and one mylar copy of the recorded plat shall be submitted to the Public Services Department.

SECTION 11. This ordinance shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS \_\_\_\_TH DAY OF \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

1<sup>st</sup> Reading:

2<sup>nd</sup> Reading:

# Legislation Request

## Ordinance

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan NO Goal # & Title

### Background To Issue:

Ingargiola Development, the new owner/developer for this subdivision, was approved for preliminary approval by City Council in January and is now seeking final approval. The applicant has provided the required performance guarantee and has received MSD approval for their proposed plans. The final plans are consistent with the preliminary plans previously approved.

### Recommendations and Action Requested:

The Planning & Zoning Commission recommended approval of the final plans and plat by a vote of 7-0 at their May 15, 2019 meeting.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$0.00

Account #: 0

Project #:

Budgeted: YES

If YES, Budgeted Amount: \$0.00

If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Jonathan Raiche

Date: 6/13/2019

Authenticated: raichejd

You can attach up to 3 files along with this request.



2019-05-15 PZ-13-19 Final CUP  
Report.pdf  
Adobe Acrobat Document  
6.05 MB



2019-06-20 PZ-13-19 CC Plans  
Reduced.pdf  
Adobe Acrobat Document  
17.6 MB



2019-06-20 PZ-13-19  
FinalPlat&Plan Ord.doc  
Microsoft Word 97 - 2003  
Document  
42.0 KB

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. (Must have Purchasing Director's approval).



Select...


Purchasing Director's Comments:

BY: Select...


Date:

Authenticated:

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Select...

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: Select...

Date:

Authenticated:

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY:



Date:

6-14-19

**CITY OF KIRKWOOD  
PLANNING AND ZONING COMMISSION  
SUBCOMMITTEE REPORT  
May 15, 2019**

**PETITION NUMBER:** PZ-13-19

**ACTION REQUESTED:** COMMUNITY UNIT PLAN TYPE A (EMMERSON ESTATES – 8 LOTS) – FINAL DEVELOPMENT PLAN AND PLAT

**PROPERTY OWNER:** INGARGIOLA DEVELOPMENT LLC

**PETITIONER:** INGARGIOLA DEVELOPMENT LLC

**PETITIONER'S AGENT:** WIND ENGINEERING CO.

**PROPERTY LOCATION:** 2017 LILY AVENUE AND 2040 BOAZ AVENUE

**ZONING:** R-3 SINGLE FAMILY DISTRICT

**DRAWINGS SUBMITTED:** FINAL DEVELOPMENT PLANS PREPARED BY WIND ENGINEERING COMPANY (37 SHEETS) STAMPED "RECEIVED APRIL 12, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

FINAL LANDSCAPE PLAN PREPARED BY HALL & ASSOCIATES LLC STAMPED "RECEIVED APRIL 12, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

REVISED FINAL DEVELOPMENT PLAN SHEETS (C5.1, C16.1, C17.1A, C17.1B) PREPARED BY WIND ENGINEERING COMPANY STAMPED "RECEIVED MAY 3, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

FINAL RECORD PLAT PREPARED BY WIND ENGINEERING COMPANY STAMPED "RECEIVED MAY 1, 2019 CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

**DESCRIPTION OF REQUEST:**

The applicant has purchased the subject property from the previous developer and is seeking approval of a Community Unit Plan, Type A to develop an eight lot single-family subdivision that is substantially similar to the previous developer's plan. The entire proposed subdivision has been approved as R-3 zoning and pieces were annexed into the City of Kirkwood from unincorporated St. Louis County in 2015.

A boundary adjustment with the neighbor at 421 Emmerson has been accomplished. This boundary adjustment is reflected on the plans and will affect the back yard areas of lots 1, 2, and 3. In addition to the rezoning approval, the previous developer received approval of the Preliminary Development Plans and received a recommendation for approval from the Planning & Zoning Commission for the Final Development Plan. Before receiving City Council approval for the final plans, however, the developer withdrew the request. The current developer received approval of the Preliminary Development Plans and Plat in January of this year.

May 15, 2019

The subject property was consolidated into a single property of approximately 4.6 acres in size, and is zoned R-3 Single-Family Zoning District. In consolidating the previous lots and withdrawing the subdivision request, the previous developer was allowed to begin construction on one home. The one home under construction is located on proposed lot 4 and is proposed to be completed by the new developer.

The CUP process allows for a developer to request reductions in various zoning requirements due to adverse natural physical conditions. The subject site contains a combination of steep slopes, a natural watercourse, and flood plain.

The proposal reflects a Subdivision Code waiver to allow for above ground detention as previously approved with the Preliminary Development Plan and Plat. Similarly, the plans submitted also reflect that sidewalks may only be required on one side of a proposed cul-de-sac street if said street serves less than nine lots and approved by the City Council with recommendation from the Planning & Zoning Commission. Due to the topography of the site and the proximity to I-270, Staff has no issue with this proposal. This request was also reviewed and recommended for approval during the Preliminary Development Plan and Plat process.

**SITE OVERVIEW:**

The terrain of the site is steep with an elevation change from 556 feet to 470 feet or a difference of 86 feet across the property from the south to the north with an active creek along the northern property line. The eight lots will vary in size from 11,328 to 33,795 square feet with an average lot area of 16,698 square feet. As permitted by the CUP Type A process, this complies with underlying density of the R-3 Zoning District which requires a minimum lot size of 15,000.

The development will be accessed via an extended 40' right-of-way of Lily Avenue which will terminate in a cul-de-sac. A storm water facility will be located within the common ground which will be located north of lots 6, 7 and 8. The common ground will be 43,902 square feet and accessed via a twenty foot wide easement located between lots 5 and 6. The portion of the Boaz right-of-way adjacent to the subject site was vacated by Ordinance 10426 and the southern half is being assumed in to the subject site with this proposal.

Setbacks will be varied from the underlying zoning district standards, but are consistent with the previous proposal. These reduced setbacks are to allow the placement of new homes to work with existing grades and be placed further away from the existing creek. A comparison of proposed setbacks to the regular R-3 District requirements can be seen below:

	<b>PROPOSED CUP</b>		<b>REQUIRED R-3 DISTRICT</b>
Front:	25 Feet	Front:	40 Feet
Side:	8 to 12 Feet	Side:	12 Feet
Rear:	15 to 35 Feet	Rear:	35 Feet

Lot widths have also been varied. The minimum lot width required of an R-3 zoned lot is 100 feet. The eight proposed lots, when taken at the building line, will have widths that range from approximately 75 feet (cul-de-sac) to 110 feet.

**LANDSCAPING**

The Final Landscape Plan is substantially similar to the Preliminary Landscape Plan with a revision to reflect the boundary adjusted area and to include the required buffer along I-270. A list of the major requirements and how they are met in this proposal can be seen below:

- **Frontage Tree Plantings:**
  - Required: 1 tree for each 50 feet of street frontage for 15 total.
  - Provided: 15 provided along new roadway plus 2 additional in the cul-de-sac.
- **Overall Subdivision Density:**
  - Required: 1 tree per 2,000 square feet of site area less street right-of-way for 89 total.
  - Provided: 103 new individual trees, 16 saved trees, plus woodland on Lot 8 and in Common Ground.
- **Individual Lot Density (to be confirmed for boundary adjusted area by revised plans):**
  - Required: 1 tree per 4,000 square feet of lot area.
  - Provided: Each lot varies, but all lots are proposed to meet the minimum requirement. See the proposed landscape plan for details.
- **Individual Lot Coverage(to be confirmed for boundary adjusted area by revised plans):**
  - Required: Each lot has a minimum canopy area of 350 square feet per 1,000 square feet of lot area (35%).
  - Provided: Each lot varies, but all lots are proposed to meet the minimum requirement. See the proposed landscape plan for details.

**COMPREHENSIVE PLAN:**

This property is designated as Suburban Residential by the EnVision Kirkwood 2035 Comprehensive Plan. The development types described in this land use designation include the following:

- Single-family residential (1-2 dwelling units per acre)
- Community Unit Plan Development (2-6 dwelling units per acre) that accommodates natural features and cluster designs

The proposed development is approximately 2 units per acre of net site area after the proposed right-of-way is deducted and it is consistent with the development policies presented by the Plan.

**LAND USE AND ZONING:**

The subject property is currently zoned R-3 Single-Family District and the existing property contains one home that is under construction. Surrounding land uses and zoning include the following:

- To the north: Adjacent to the subject property are single-family residences zoned R-1 and R-3.
- To the south: Adjacent to the subject property is a single-family residence zoned R-3 and the right-of-way line for Interstate 270.
- To the east: Adjacent to the subject property are single-family residences zoned R-1 and R-3.
- To the west: Adjacent to the subject property is I-270 and the western municipal boundary of the City of Kirkwood.

**OUTSTANDING DEPARTMENT/OUTSIDE AGENCY COMMENTS:**

- Water: 1. Water main to be installed per Kirkwood specifications.
- Building: 1. New structures are required to meet the IRC 2015.
- Engineering: 1. MSD approval required.

**DISCUSSION:**

A Zoning Matters sign was placed on the property on April 29, 2019. A subcommittee meeting was held at the subject site on May 7th. For a list of attendees at this meeting, see Exhibit B. The applicant's engineer explained that they expected MSD's approval within approximately two weeks and did not anticipate any issues with that based on comments from MSD. The Subcommittee discussed that their recommendation would include a condition that final MSD approval be provided prior to City Council consideration.

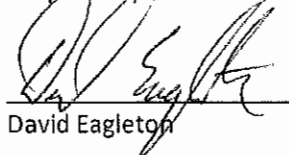
As previously mentioned, the developer is requesting approval to provide above ground storm water detention. In accordance with Article X of the Subdivision Code, a waiver from the Subdivision Code is being requested to allow storm water management facilities above ground versus underground. Metropolitan Sewer District requires water quality and detention facilities to be open and above ground and neither the subcommittee nor City Staff has any objection to the waiver request.

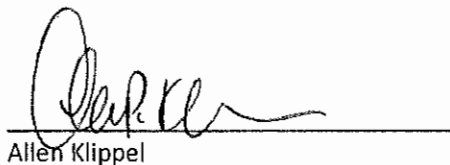
**RECOMMENDATION:**

The Subcommittee recommends granting the waiver from the Subdivision Code for above ground detention and approving the Final Development Plan and Final Plat for the Community Unit Plan with the following conditions:

1. The subdivision shall be constructed to be consistent with the plans referenced in the "Drawing Submitted" portion of this report.
2. The sidewalk requirement shall be reduced to only the north side of the extended Lily Avenue as the Lily Avenue extension is a cul-de-sac street that serves less than 9 single-family residential lots.
3. Lily Avenue shall be reconstructed to twenty-six (26) feet in width from the entrance of the subdivision to the intersection of Emmerson Avenue.
4. The primary construction route shall be via Boaz.
5. Storm water management plans and sanitary sewer plans shall be approved by Metropolitan Sewer District (MSD) prior to review of the final development plans by the City Council. Storm water greater than one c.f.s. shall not be directed across the driveway entrances.
6. A separate flood plain development permit is required.
7. Per Appendix B, Article X, a waiver to allow for above ground water detention is approved.
8. The applicant shall comply with all standard conditions as listed on Exhibit A.

Respectfully submitted,

  
David Eagleton

  
Allen Klippel

May 15, 2019

**EXHIBIT A  
STANDARD CONDITIONS**

1. The location of the residential structures shall be reviewed by staff following the submittal of an "Application for Site Plan Review for New Single Family Residences" and following approval of the Final Subdivision Plat for this project.
2. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the petitioner shall install the necessary mains and accessories.
3. The subdivision shall meet adopted fire hydrant standards and fire apparatus access roads requirements as governed by the 2009 International Fire Code.
4. A grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
5. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation shall be maintained during the construction activities. Failure to maintain these devices authorizes the Public Services Department to issue a Stop Work Order for the building permit until such devices are restored.
6. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time, or on the site unless actively in use for the site development and building construction.
7. Tree protection fencing shall be installed and maintained in accordance with the Tree Study as designated on the Landscape Plan. Failure to maintain the tree-protection fencing during the demolition and construction activities shall authorize the Public Services Department to issue a stop work order for the grading, foundation, or building permit until the fencing is restored.
8. No grading shall create a slope greater than 3 (horizontal) to 1 (vertical).
9. Any existing street, curbs, or sidewalks that are damaged shall be reconstructed to City standards.
10. If a subdivision identity sign is to be installed, it shall meet the requirements of Article II Sign Code of Chapter 5 of the General Code of Ordinances. Its design shall be approved by the Architectural Review Board prior to the issuance of a sign permit.
11. The applicant, by accepting and acting under the approval granted, accepts the approval subject to the reservations, restrictions, and conditions set forth in the Code of Ordinances and in the report and agrees to comply with each provision subject to the penalties prescribed under Section 1-8 of the Code of Ordinances and subject to revocation of this approval in the event such provisions are not complied with.

**EXHIBIT B**  
**SUBCOMMITTEE MEETING ATTENDEES**  
**May 7, 2019**

P&Z Subcommittee Meeting

Project:

PZ-13-19, Emerson Estates

Date:

5/7/19 @ 8am

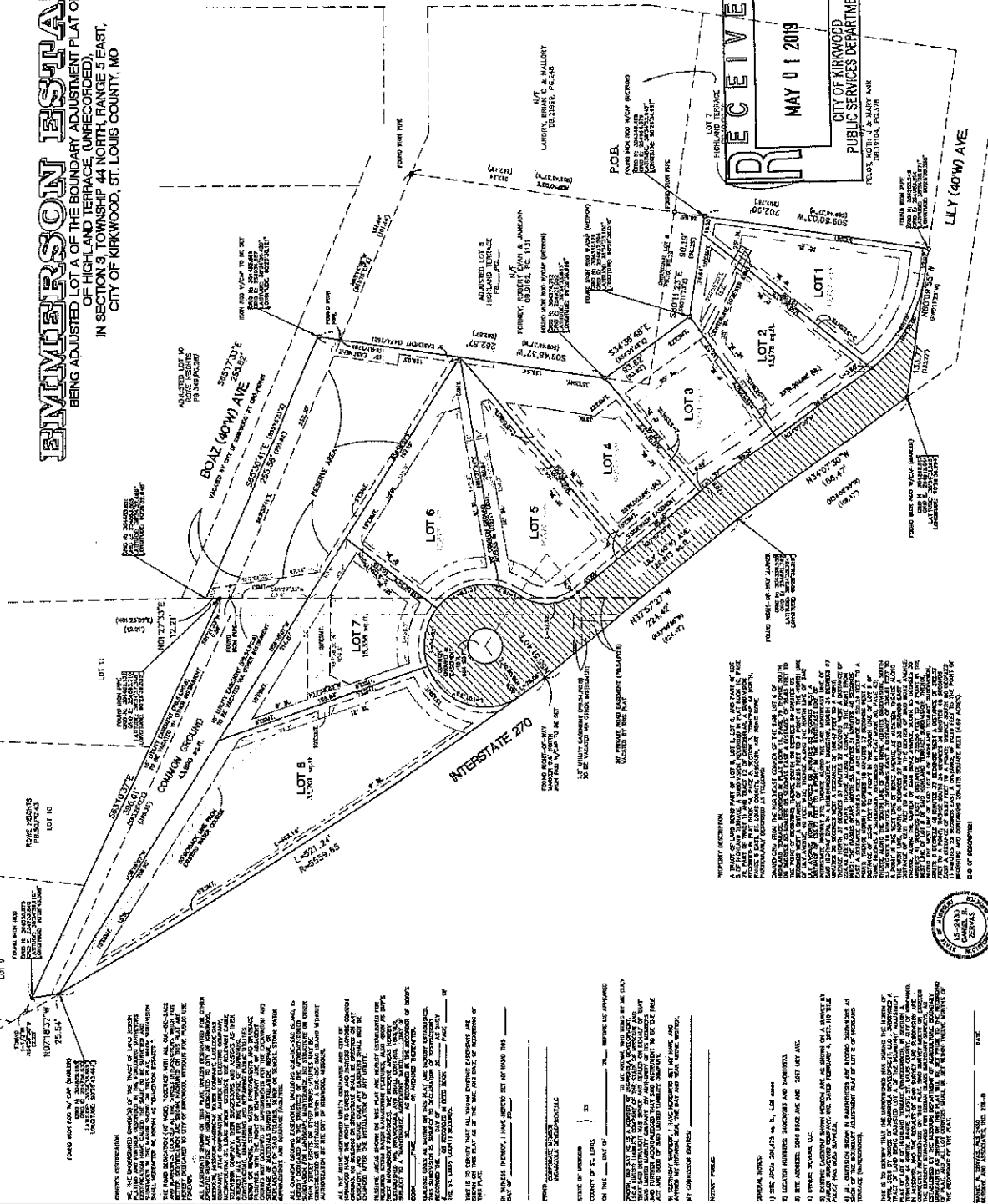
Location:

2017 City Ave

Name	Organization
David Engleken	P & Z
Olu Klippel	P & Z
John Malone	INGARGIOLA Development
Frank Ingargiola	
DAN WIND	Wind Engineering Co.
Bob Lesmeister	Missouri Holding LLC
Jonathan Richo	City of Kirkwood
Ted Dukmann	City of Kirkwood

# EMERSON ESTATES

BEING ADJUSTED LOT A OF THE BOUNDARY ADJUSTMENT PLAT OF LOT 8 OF HIGHLAND TERRACE (UNRECORDED), IN SECTION 9, TOWNSHIP 44 NORTH, RANGE 5 EAST, CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO.



**MONUMENT LEGEND**

- RECORDED AND UNRECORDED EASEMENTS
- UNRECORDED EASEMENTS
- EASEMENT FOR RECORD
- ◇ EASEMENT FOR RECORD
- △ EASEMENT FOR RECORD
- ▽ EASEMENT FOR RECORD
- ◇ EASEMENT FOR RECORD
- △ EASEMENT FOR RECORD
- ▽ EASEMENT FOR RECORD
- ◇ EASEMENT FOR RECORD
- △ EASEMENT FOR RECORD
- ▽ EASEMENT FOR RECORD

**UNRECORDED EASEMENTS**

THE UNRECORDED EASEMENTS SHOWN ON THIS PLAT ARE THE PROPERTY OF THE CITY OF KIRKWOOD AND ARE THE PROPERTY OF THE CITY OF KIRKWOOD. THE UNRECORDED EASEMENTS SHOWN ON THIS PLAT ARE THE PROPERTY OF THE CITY OF KIRKWOOD AND ARE THE PROPERTY OF THE CITY OF KIRKWOOD.

STATE OF MISSOURI, COUNTY OF ST. LOUIS, CITY OF KIRKWOOD, MISSOURI  
 I, \_\_\_\_\_, being duly sworn, depose and say that I am the duly authorized representative of the City of Kirkwood, Missouri, and that the foregoing plat is a true and correct copy of the original plat as recorded in the office of the Recorder of Deeds for the County of St. Louis, Missouri, and that the same has been approved by the City Council of the City of Kirkwood, Missouri, and that the same is a true and correct copy of the original plat as recorded in the office of the Recorder of Deeds for the County of St. Louis, Missouri, and that the same has been approved by the City Council of the City of Kirkwood, Missouri.

RECEIVED

MAY 01 2019

CITY OF KIRKWOOD  
PUBLIC SERVICES DEPARTMENT

REC'D, 40TH & MARK AVENUE

<b>EMERSON ESTATES</b>			
<b>RECORD PLAT</b>			
<b>BURDINE AND ASSOCIATES, INC.</b> Registered Land Surveyors			
1528 South Blvd. St. Louis, MO 63103	REC'D BY: <b>DJB</b>	RECORDED BY: <b>DJB</b>	PLAT NO.: <b>18202</b>
	DATE: <b>4-29-2019</b>		SHEET NO.: <b>1</b> OF <b>1</b>

**PROPERTY DESCRIPTION**  
 A PART OF LAND BEING PART OF LOT 8, LOT 9, LOT 10 AND PART OF LOT 11, BEING ADJUSTED LOT A OF THE BOUNDARY ADJUSTMENT PLAT OF LOT 8 OF HIGHLAND TERRACE (UNRECORDED), IN SECTION 9, TOWNSHIP 44 NORTH, RANGE 5 EAST, CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO. THE UNRECORDED EASEMENTS SHOWN ON THIS PLAT ARE THE PROPERTY OF THE CITY OF KIRKWOOD AND ARE THE PROPERTY OF THE CITY OF KIRKWOOD.



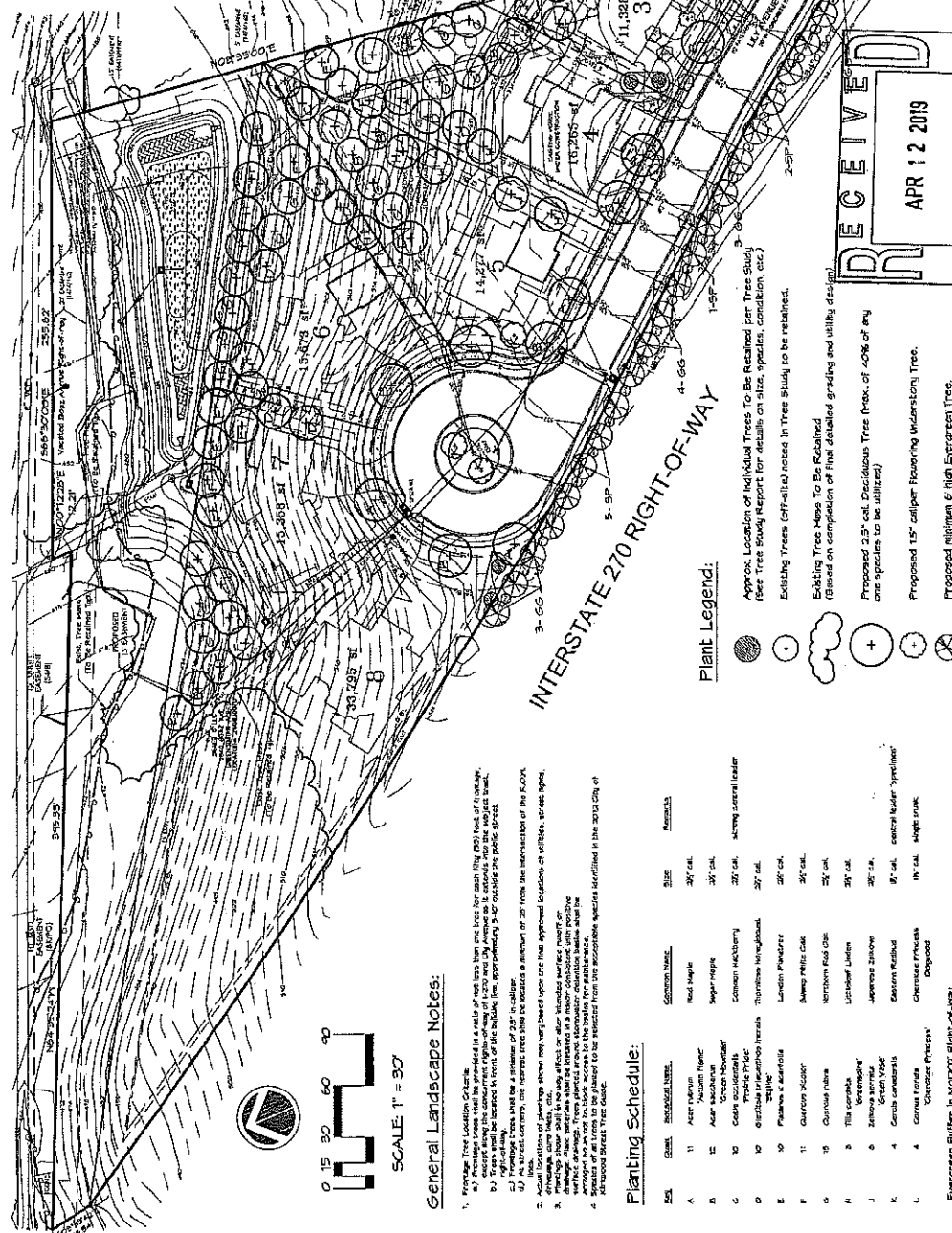
**OWNER'S CERTIFICATION**  
 I, the undersigned, being duly sworn, depose and say that the foregoing plat is a true and correct copy of the original plat as recorded in the office of the Recorder of Deeds for the County of St. Louis, Missouri, and that the same has been approved by the City Council of the City of Kirkwood, Missouri, and that the same is a true and correct copy of the original plat as recorded in the office of the Recorder of Deeds for the County of St. Louis, Missouri, and that the same has been approved by the City Council of the City of Kirkwood, Missouri.

**RECORDING NOTES:**  
 1) ST. LOUIS COUNTY RECORDS: 2019-05-01-18202  
 2) ST. LOUIS COUNTY RECORDS: 2019-05-01-18202  
 3) ST. LOUIS COUNTY RECORDS: 2019-05-01-18202  
 4) ST. LOUIS COUNTY RECORDS: 2019-05-01-18202



**Required Total Tree Density Calculations:**

1. Total area of site is 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)
2. Total area of site to be planted is 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)
3. The area of site to be planted is 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)
4. Approximate minimum tree (T) limit for each (R) foot of road.
5. Street trees proposed on Hwy 270 are 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)
6. Tree density calculations for individual lots are as follows:
  - Lot 1: 13.724 / 13.724 = 1.000 trees per acre
  - Lot 2: 13.724 / 13.724 = 1.000 trees per acre
  - Lot 3: 13.724 / 13.724 = 1.000 trees per acre
  - Lot 4: 13.724 / 13.724 = 1.000 trees per acre
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  - Lot 98: 13.724 / 13.724 = 1.000 trees per acre
  - Lot 99: 13.724 / 13.724 = 1.000 trees per acre
  - Lot 100: 13.724 / 13.724 = 1.000 trees per acre
7. Total number of trees required for the project is 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)
8. Total number of trees to be planted on Hwy 270 is 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)
9. Total number of trees to be planted on lots is 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)
10. Total number of trees to be planted on site is 13.724 acres (13.724 x 43,560 = 598,000 sq. ft.)



**General Landscape Notes:**

1. All trees to be planted shall be a minimum of 18 inches in caliper at the time of planting.
2. All trees to be planted shall be a minimum of 18 inches in caliper at the time of planting.
3. All trees to be planted shall be a minimum of 18 inches in caliper at the time of planting.
4. All trees to be planted shall be a minimum of 18 inches in caliper at the time of planting.

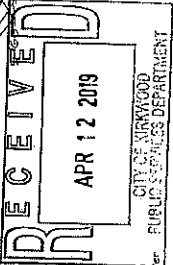
**Planting Schedule:**

Code	Common Name	Size	Remarks
A	Alder	30' cal.	
B	Alder	30' cal.	
C	Common Hackberry	30' cal.	Along lateral leader
D	Flowering Dogwood	30' cal.	
E	Flowering Dogwood	30' cal.	
F	Flowering Dogwood	30' cal.	
G	Flowering Dogwood	30' cal.	
H	Flowering Dogwood	30' cal.	
I	Flowering Dogwood	30' cal.	
J	Flowering Dogwood	30' cal.	
K	Flowering Dogwood	30' cal.	
L	Flowering Dogwood	30' cal.	

Prepared For:  
INGARGIOLA DEVELOPMENT, LLC  
4614 Sappington Road  
St. Louis, Missouri 63126  
Phone: 314-780-5450

**Plant Legend:**

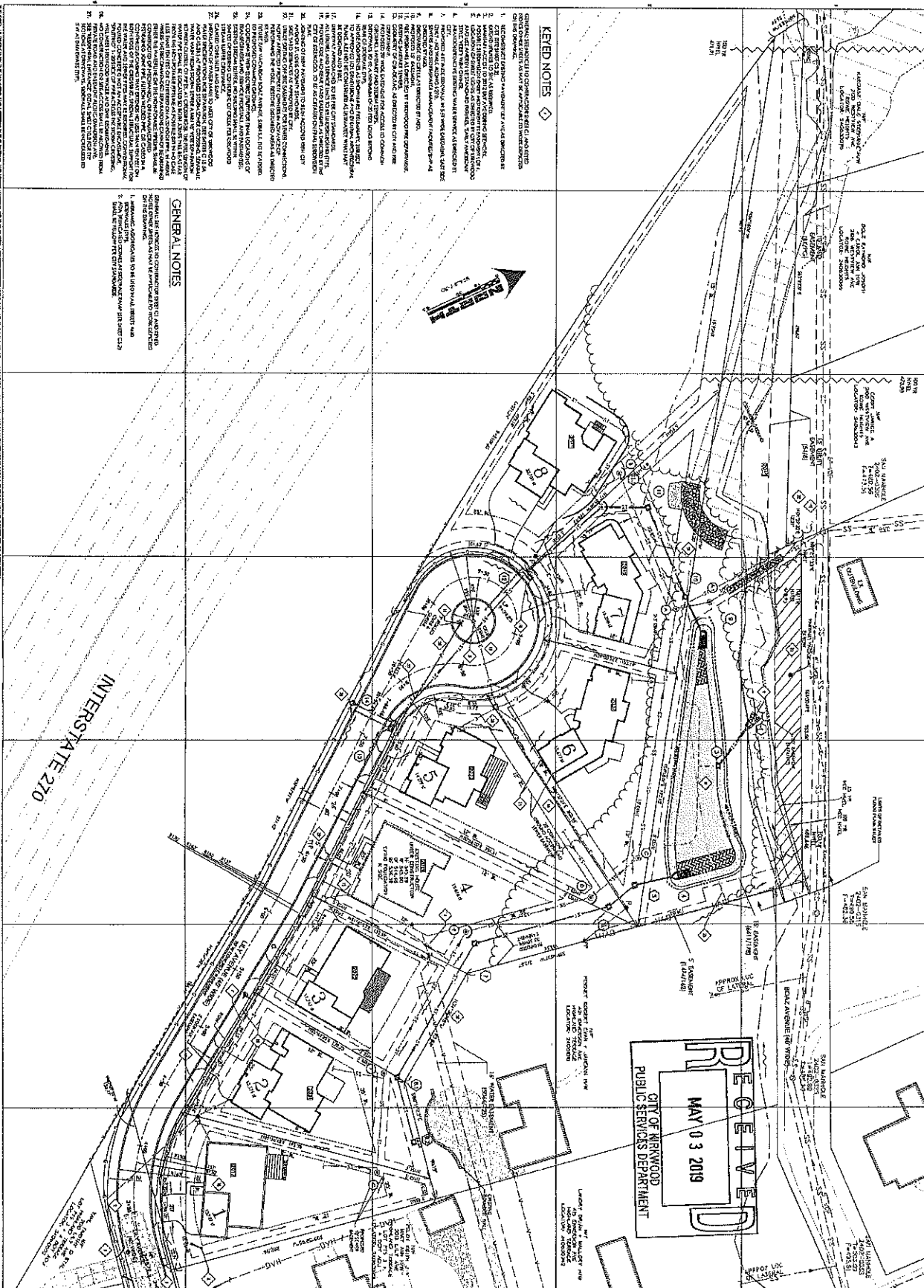
- Existing Tree (off-site) to be retained.
- Proposed Tree (off-site) to be retained.
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Project Engineer:  
Landscape Architect's Certification  
This is to certify that the work shown on this plan was prepared by me or under my direct supervision and I am a duly licensed landscape architect in the state of Missouri.  
Signature: [Signature]  
Title: [Title]  
WIND ASSOCIATES, L.L.C. 1200 N. 112th St. Suite 100  
Overland Park, MO 66204  
Phone: 913-666-7800  
Email: info@windllc.com

EMERSON ESTATES  
Final Landscape Plan  
HALL + ASSOCIATES, L.L.C.  
LANDSCAPE ARCHITECTURE  
4340 SOUTHWEST AVENUE, SUITE 200, OVERLAND PARK, MO 66204  
Phone: 913-666-7800  
www.hallandassociates.com

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**KEYED NOTES**

1. GENERAL NOTES TO BE CONSULTED FOR ALL NOTES ON THIS DRAWING.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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<p><b>WIND ENGINEERING COMPANY</b>          10/22/18          DW          DW          CS1</p>	<p><b>REVISIONS</b></p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>10/22/18</td> <td>ISSUED FOR PERMIT</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	10/22/18	ISSUED FOR PERMIT
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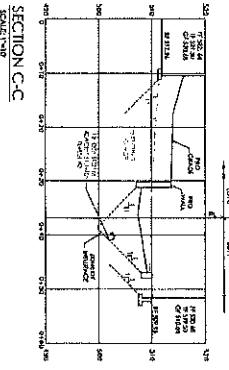
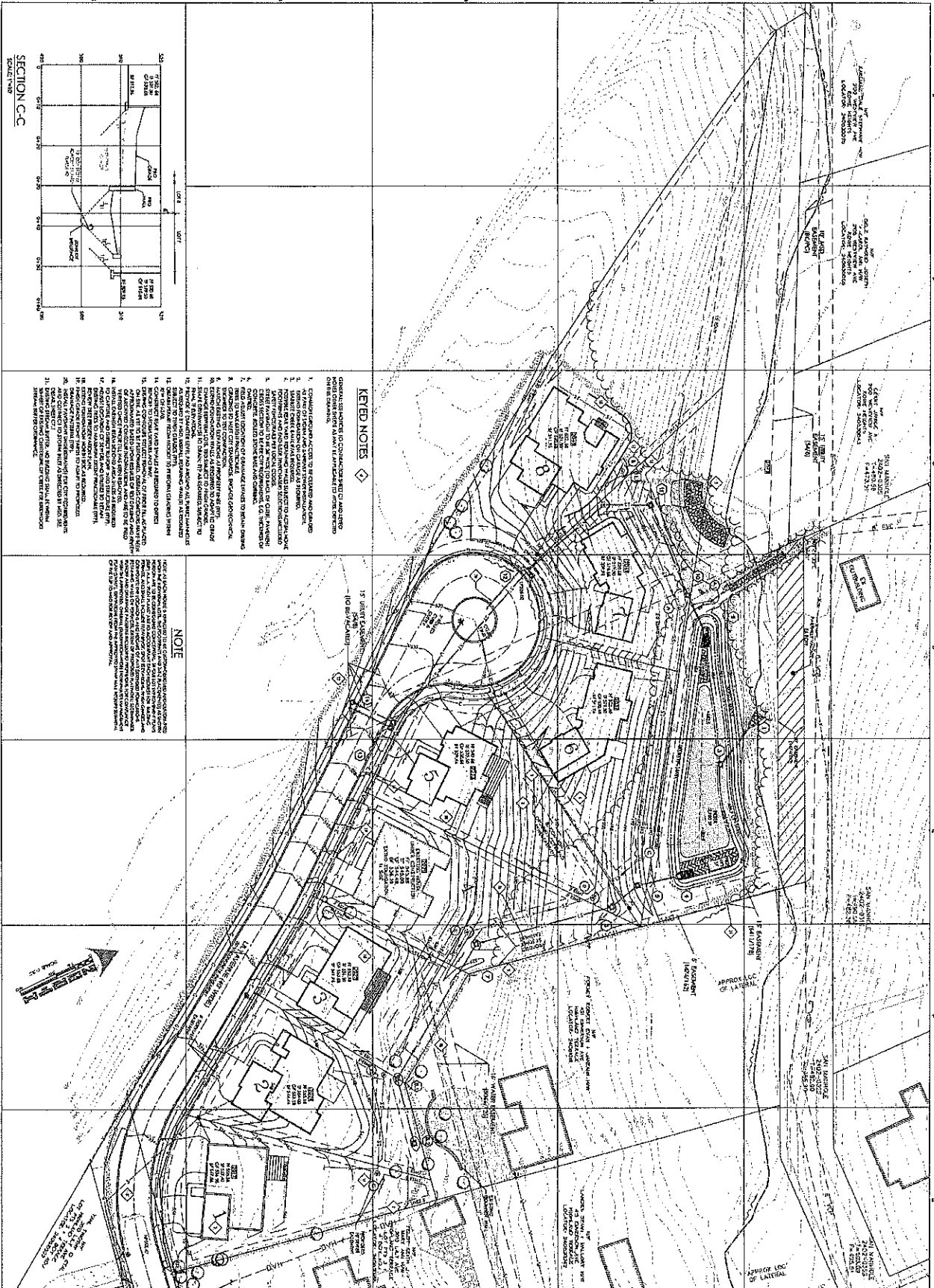
**EMMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 FLAT (GEOMETRIC) PLAN

<p>122 N. Kirkwood Road          Kirkswood, MO 63122          Telephone: 314-665-5100          Fax: 314-665-7593          Email: <a href="mailto:info@windeng.com">info@windeng.com</a>          C.O.A. #E-1607-D</p>	<p>Prepared by:  <b>MR. FRANK INSABOGLIA</b>          INSABOGLIA DEVELOPMENT LLC          8111 S. Kirkwood Rd.          St. Louis, MO 63126          Tel: (314) 766-8800          Email: <a href="mailto:frank@insaboglia.com">frank@insaboglia.com</a></p>
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**DISCLAIMER**

THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE USER OF THIS PLAN ASSUMES ALL LIABILITY FOR ANY CONSTRUCTION DEFECTS OR DAMAGES.





**KEYED NOTES**

1. GENERAL NOTES AND SPECIFICATIONS SHALL APPLY UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES.
3. ALL UTILITIES SHALL BE DEEPENED AND PROTECTED TO A MINIMUM OF 48 INCHES.
4. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED.
5. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES.
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16. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED.
17. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES.
18. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED.
19. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES.
20. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED.
21. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES.

**NOTE**

THESE GRADING PLANS AND FINISH DRAWINGS ARE BASED UPON THE INFORMATION PROVIDED BY THE CLIENT AND THE SURVEYOR. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED. THE ENGINEER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE GRADING PLANS AND FINISH DRAWINGS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



REVISIONS/REVISED	
NO.	DATE

DATE: 10/23/18
DRAWN BY: D.W.
CHECKED BY: D.W.
PROJECT NO: C161

**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
GRADING PLAN-FINISH TURF

1920 N. Johnson Road  
Kirkwood, MO 63122  
Phone: 314.685.9100  
Fax: 314.685.9101  
Email: info@windgroup.com

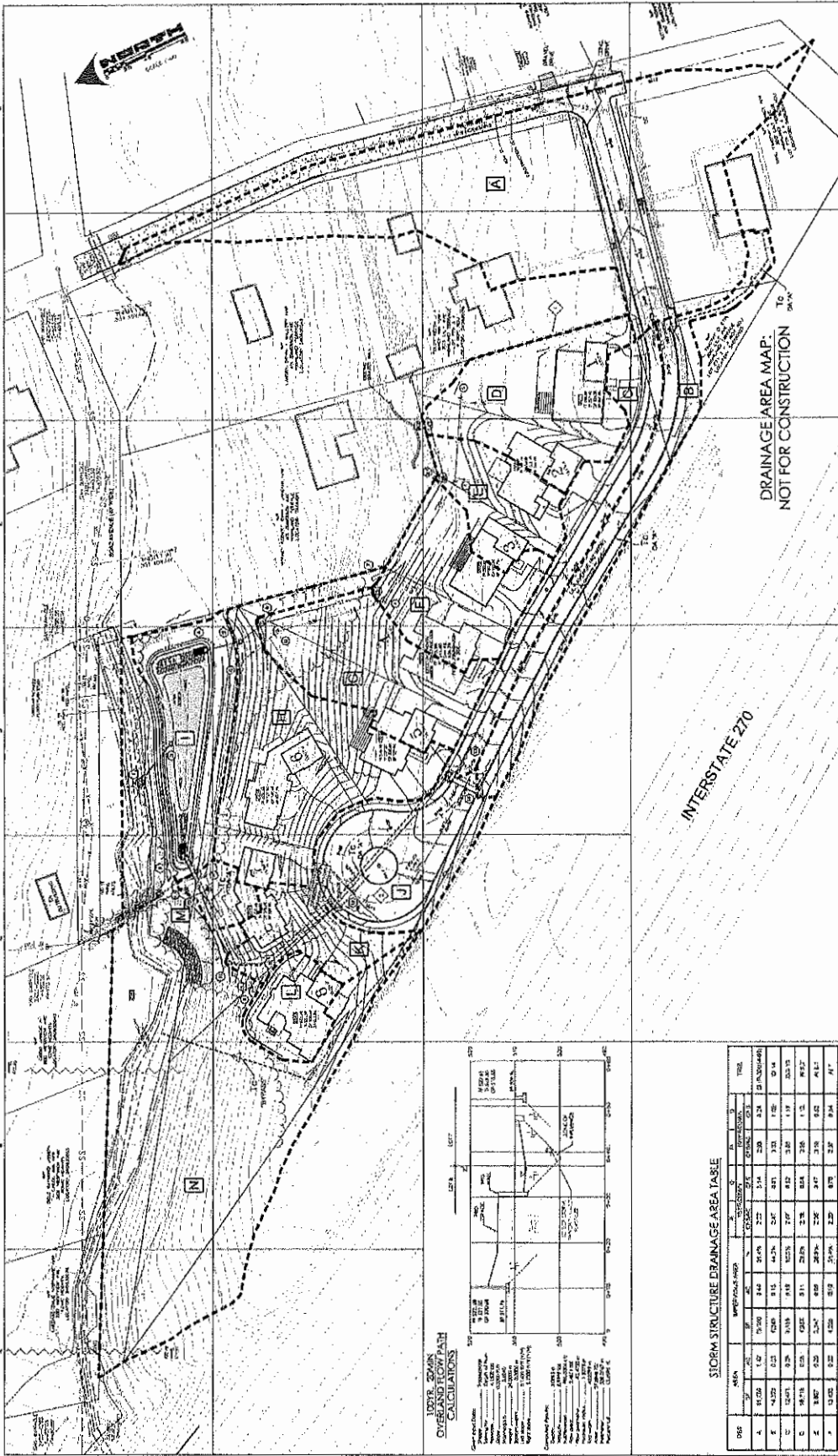
WIND GROUP  
A Division of  
The McGraw-Hill Companies

**DISCLAIMER**

THIS PLAN AND SPECIFICATIONS ARE PREPARED BY THE ENGINEER AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE GRADING PLANS AND FINISH DRAWINGS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

MR. TRANK INDIANOLA  
INDIANOLA DEVELOPMENT LLC  
11111 E. 11th St.  
Kirkwood, MO 63122  
Phone: 314.685.9100  
Fax: 314.685.9101  
Email: info@windgroup.com

Professional Engineer  
Dan G. Wind, No. 19534  
State of Missouri  
10/23/18



**DRAINAGE AREA MAP:  
 NOT FOR CONSTRUCTION**

**COMPOSITE ON CALCULATIONS**

EXISTING CONDITIONS	SF	AC	%	CN (C) OR (D)	COMPOSITE
WOODS (Soils: Woods are predominate from grading, and later and brush)	77,787	7.78	38.62%	CN	78.87
HAZARDOUS AREA (Paved)	13,726	0.44	1.03%	67	
OPEN SPACE (Paved, Grass/Asph)	117,794	11.78	50.35%	96	
<b>RECORDED CONDITIONS</b>	<b>SF</b>	<b>AC</b>	<b>%</b>	<b>CN (C) OR (D)</b>	<b>COMPOSITE</b>
WOODS (Soils: Woods are predominate from grading, and later and brush, previously cover the soil)	47,986	0.90	21.18%	CN	82.61
US 20 RESIDENTIAL DISTRICT	158,038	15.80	75.84%	79	86

**KEYED NOTES**

1. THIS MAP IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
2. THE DRAINAGE AREAS SHOWN ON THIS MAP ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND ARE NOT TO BE USED FOR CONSTRUCTION.
3. THE DRAINAGE AREAS SHOWN ON THIS MAP ARE NOT TO BE USED FOR CONSTRUCTION.

**SITE DIFFERENTIAL RUN-OFF TABLE**

COVER	AREA (SQ FT)	AREA (AC)	R. 5000		R. 10000		R. 10000 (C. 10000)	
			IMP. (INCHES)	EFF. (AC)	IMP. (INCHES)	EFF. (AC)	IMP. (INCHES)	EFF. (AC)
EX	1,845	0.04	1.00	0.04	1.00	1.00	0.04	
PD	2,500	0.06	1.00	0.06	1.00	1.00	0.06	
DIFFERENTIAL	4,345	0.10	1.00	0.10	1.00	1.00	0.10	

**UNSATURATED OVERLAND FLOW CALCULATIONS**

NO.	AREA (SQ FT)	AREA (AC)	PERCENTAGE	TIME (MIN)
1	10,000	0.23	2.3%	15
2	20,000	0.46	4.6%	30
3	30,000	0.69	6.9%	45
4	40,000	0.92	9.2%	60
5	50,000	1.15	11.5%	75
6	60,000	1.38	13.8%	90
7	70,000	1.61	16.1%	105
8	80,000	1.84	18.4%	120
9	90,000	2.07	20.7%	135
10	1,000,000	23.0	230%	1,000

**STORM STRUCTURE DRAINAGE AREA TABLE**

NO.	AREA (SQ FT)	AREA (AC)	PERCENTAGE	TIME (MIN)
1	10,000	0.23	2.3%	15
2	20,000	0.46	4.6%	30
3	30,000	0.69	6.9%	45
4	40,000	0.92	9.2%	60
5	50,000	1.15	11.5%	75
6	60,000	1.38	13.8%	90
7	70,000	1.61	16.1%	105
8	80,000	1.84	18.4%	120
9	90,000	2.07	20.7%	135
10	1,000,000	23.0	230%	1,000





**EMMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 Title Sheet

123 N. KIRKWOOD RD.  
 ST. LOUIS, MISSOURI 63105  
 MR. FRANK REYNOLDS  
 MUNICIPAL ENGINEER

WIT: [Signature] [Signature]

**REVISIONS TABLE**

NO.	DATE	DESCRIPTION
1	10/23/18	PREPARED FOR PERMITTING
2		
3		
4		
5		
6		
7		
8		
9		
10		

**WIND ENGINEERING**

PROJECT NO. 1812

DATE: 10/23/18

BY: DZ

CHECKED BY: DW

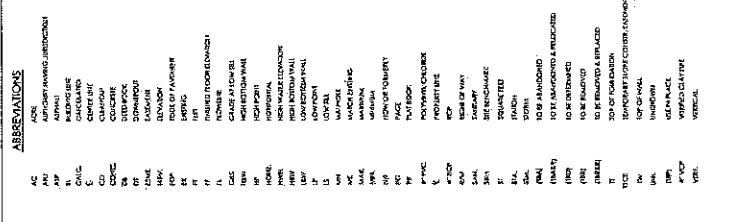
SCALE: 1:1

CITY OF KIRKWOOD  
 PUBLIC SERVICES DEPARTMENT

**INDEX OF REFERENCES**

ALL LOTS SHOWN ON THIS PLAN ARE SUBJECT TO THE CITY OF KIRKWOOD SUBDIVISION MAP NO. 1015, DATED 09/25/07, AND THE CITY OF KIRKWOOD SUBDIVISION MAP NO. 1016, DATED 10/23/07.

APR	APPOINTMENT
C	CONTRACT
DZ	DRAWN
DW	DESIGNED
DR	DRAWING
GR	GRADING
IR	IRREGULAR
ME	MEASUREMENT
MO	MOTION
OR	ORDER
PL	PLAN
PR	PROPOSED
RD	ROAD
SI	SUBDIVISION
SP	SECTION
ST	STREET
TP	TOWNSHIP
UN	UNKNOWN
UT	UTILITY



**RESERVED FOR AGENCY REVIEW**

**RECEIVED**

APR 12 2019

CITY OF KIRKWOOD  
 PUBLIC SERVICES DEPARTMENT

**PERMITS DATA**

LOCAL AREA OF TRACT: 47 AC  
 LOCAL HIGHWAY: 248.000000  
 LOCAL ADDRESS: 425 EMMERSON AVE, 2040 BOAZ AV  
 DISTRICT: 3  
 CITY CODE: 2107.01  
 COUNTY: 2107.01

APPLICANT: 2107.01  
 PROJECT: 2107.01  
 WATER SOURCE: 2107.01  
 SANITATION: 2107.01  
 FIRE PROTECTION: 2107.01  
 UTILITIES: 2107.01  
 SECOND DIVERSITY OF TRACT: 2107.01  
 SECOND DIVERSITY OF TRACT: 2107.01  
 SECOND DIVERSITY OF TRACT: 2107.01

**DESIGNATION**

PROPOSED

RESERVED

WATER TAP SIZE

PROPOSED

RESERVED

WATER TAP SIZE

**MED NOTE**

THIS PLAN IS A PRELIMINARY SUBDIVISION MAP FOR THE PROPOSED EMMERSON ESTATES SUBDIVISION. THE CITY OF KIRKWOOD ENGINEERING DEPARTMENT HAS REVIEWED THIS PLAN FOR CONFORMANCE WITH THE CITY OF KIRKWOOD SUBDIVISION MAP ACT, CHAPTER 404, R.S.MO. THIS PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF KIRKWOOD ENGINEERING DEPARTMENT AND THE CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT.

**SITE IMPROVEMENT PLANS FOR EMMERSON ESTATES**  
 an eight (8) lot single family subdivision  
 as a COMMUNITY UNIT PLAN  
 located at  
 425 EMMERSON AVE, 2040 BOAZ AVE,  
 2017-2029 LILY AVE  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO 63122  
 SECTION 3, TOWNSHIP 44 NORTH, RANGE 5 EAST

**DENSITY CALCULATIONS**

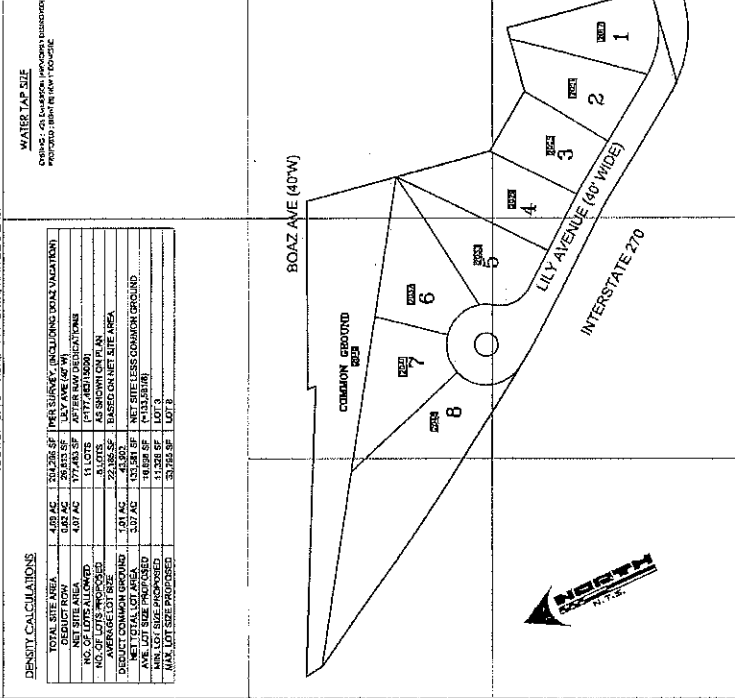
LOT	AREA (SQ FT)	MIN. LOT AREA (SQ FT)	MAX. LOT AREA (SQ FT)
1	2017	17,423	37,000
2	2019	17,423	37,000
3	2021	17,423	37,000
4	2023	17,423	37,000
5	2025	17,423	37,000
6	2027	17,423	37,000
7	2029	17,423	37,000
8	2031	17,423	37,000

**WATER TAP SIZE**

PROPOSED

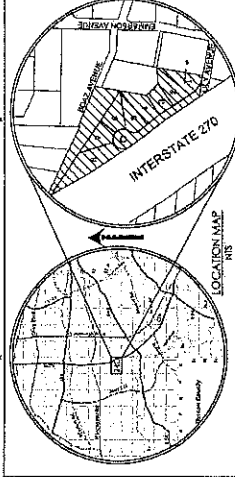
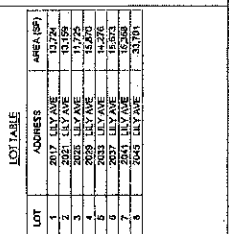
RESERVED

WATER TAP SIZE



**LOT TABLE**

LOT	ADDRESS	AREA (SQ FT)
1	2017 LILY AVE	17,423
2	2019 LILY AVE	17,423
3	2021 LILY AVE	17,423
4	2023 LILY AVE	17,423
5	2025 LILY AVE	17,423
6	2027 LILY AVE	17,423
7	2029 LILY AVE	17,423
8	2031 LILY AVE	17,423



**GENERAL NOTES**

1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE CITY OF KIRKWOOD UTILITY RECORDS AND FIELD SURVEYS. THE ENGINEER HAS MADE A REASONABLE ATTEMPT TO LOCATE ALL UTILITIES, BUT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
2. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED BELOW THE SURFACE OF THE GROUND.
3. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED ABOVE THE SURFACE OF THE GROUND.
4. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED ON THE SURFACE OF THE GROUND.
5. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED OFF THE SURFACE OF THE GROUND.
6. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED IN THE ADJACENT AREAS.
7. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED IN THE SUBSURFACE OF THE ADJACENT AREAS.
8. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED IN THE SUBSURFACE OF THE ADJACENT AREAS.
9. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED IN THE SUBSURFACE OF THE ADJACENT AREAS.
10. THE ENGINEER HAS NOT BEEN ADVISED OF ANY UTILITIES THAT MAY BE LOCATED IN THE SUBSURFACE OF THE ADJACENT AREAS.

**NOTICE TO CONTRACTOR**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF KIRKWOOD ENGINEERING DEPARTMENT AND THE CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE ST. LOUIS COUNTY ENGINEERING DEPARTMENT AND THE ST. LOUIS COUNTY PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MISSOURI DEPARTMENT OF TRANSPORTATION AND THE MISSOURI DEPARTMENT OF REVENUE.

**UTILITIES SERVICE PROVIDERS**

**TELEPHONE**

TELEPHONE COMPANY: [Name]  
 ADDRESS: [Address]  
 PHONE: [Phone]

**ELECTRIC**

ELECTRIC COMPANY: [Name]  
 ADDRESS: [Address]  
 PHONE: [Phone]

**WATER**

WATER COMPANY: [Name]  
 ADDRESS: [Address]  
 PHONE: [Phone]

**FIRE**

FIRE DEPARTMENT: [Name]  
 ADDRESS: [Address]  
 PHONE: [Phone]

**SEWER**

SEWER DEPARTMENT: [Name]  
 ADDRESS: [Address]  
 PHONE: [Phone]

**GAS**

GAS COMPANY: [Name]  
 ADDRESS: [Address]  
 PHONE: [Phone]

**RESERVED FOR AGENCY REVIEW**

**RECEIVED**

APR 12 2019

CITY OF KIRKWOOD  
 PUBLIC SERVICES DEPARTMENT



DISCLAIMER
The City of Kirwood, Missouri, and the Board of Public Works, do not warrant the accuracy or completeness of the information contained herein. The information is provided for informational purposes only and should not be relied upon for any legal or financial decision.

EMMERSON ESTATES
CONSTRUCTION NOTES
CITY OF KIRWOOD, ST. LOUIS COUNTY, MO
1221 N. WOODBINE
KIRWOOD, MISSOURI 63091
WIND ENGINEERING COMPANY
10723/18

Table with 2 columns: Item, Description. Includes items like 1.0 GENERAL, 2.0 SITE PREPARATION AND GRADING, etc.

Table with 2 columns: Item, Description. Includes items like 1.0 GENERAL, 2.0 SITE PREPARATION AND GRADING, etc.

PROJECT DIRECTORY

Table with 2 columns: Description, Name. Lists various construction projects and the firms responsible for them.

CONSTRUCTION NOTES - CONT.

C. SEWERS AND DRAINAGE (CONT)
1. ALL SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SEWER AND DRAINAGE CODES OF THE CITY OF KIRWOOD, MISSOURI.

CONSTRUCTION NOTES - CONT.

B. SITE PREPARATION AND GRADING (CONT)
1. ALL EXISTING UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO ANY EXCAVATION OR GRADING OPERATIONS.

CONSTRUCTION NOTES - CONT.

A. GENERAL (It may also be Common across multiple work lots)
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE CITY OF KIRWOOD, MISSOURI CODES.

D. OTHER UTILITIES
1. ALL EXISTING UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO ANY EXCAVATION OR GRADING OPERATIONS.

E. FENCING
1. ALL FENCING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE CITY OF KIRWOOD, MISSOURI CODES.

F. EXCAVATIONS IN PUBLIC RIGHT OF WAY OR PAVED AREAS
1. ALL EXCAVATIONS IN PUBLIC RIGHT OF WAY OR PAVED AREAS SHALL BE PERMITTED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.

G. MISCELLANEOUS
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE CITY OF KIRWOOD, MISSOURI CODES.

H. LANDSCAPING
1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE CITY OF KIRWOOD, MISSOURI CODES.

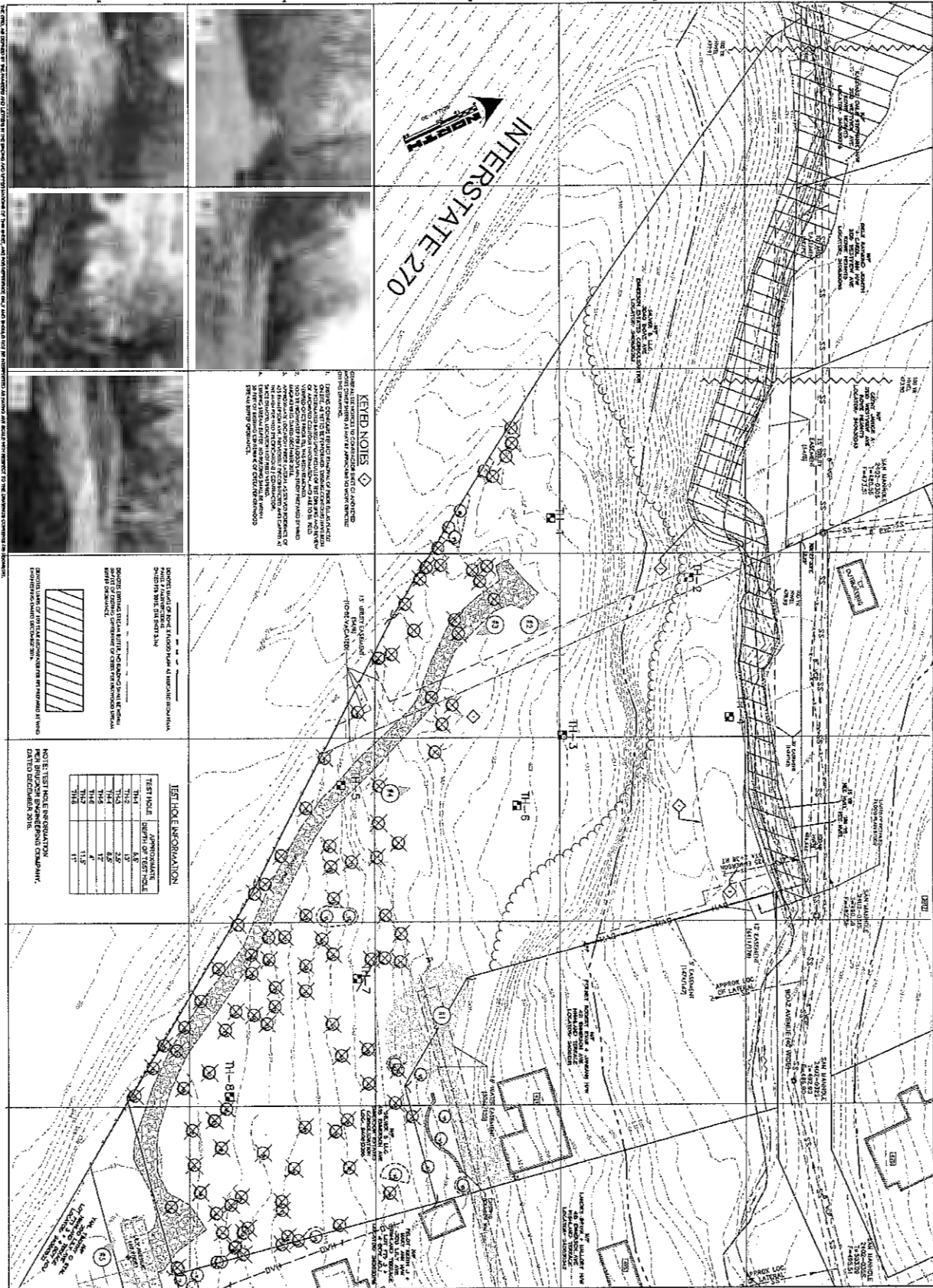
I. FINISHES
1. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE CITY OF KIRWOOD, MISSOURI CODES.

J. ELECTRICAL
1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND THE CITY OF KIRWOOD, MISSOURI CODES.

K. MECHANICAL
1. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL CODE AND THE CITY OF KIRWOOD, MISSOURI CODES.

L. PLUMBING
1. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING CODE AND THE CITY OF KIRWOOD, MISSOURI CODES.

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE CITY OF KIRWOOD, MISSOURI CODES.



**INTERSTATE 270**

**KEYED NOTES**

1. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.

2. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.

3. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.

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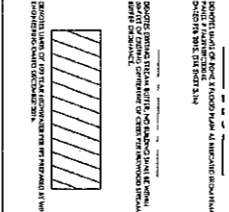
11. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.

12. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.

13. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.

14. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.

15. ALL TEST HOLE LOCATIONS SHOWN ON THIS PLAN ARE TO BE DRILLED TO A DEPTH OF 15 FEET UNLESS OTHERWISE NOTED.



**TEST HOLE INFORMATION**

TEST HOLE	APPROXIMATE DEPTH
TH-1	15'
TH-2	15'
TH-3	15'
TH-4	15'
TH-5	15'
TH-6	15'
TH-7	15'
TH-8	15'
TH-9	15'
TH-10	15'
TH-11	15'
TH-12	15'
TH-13	15'
TH-14	15'
TH-15	15'

NOTE: TEST HOLE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM THE FOLLOWING SOURCES:

1. FIELD SURVEY DATA

2. AERIAL PHOTOGRAPHS

3. GROUND PENETRATING RADAR (GPR) DATA

4. OTHER AVAILABLE DATA

DATED DECEMBER 2018.

**WIND ENGINEERING**

DATE: 10/23/18

PROJECT: DW

CLIENT: C3 16

SCALE: 1/4" = 1'-0"

**EMMERSON ESTATES**

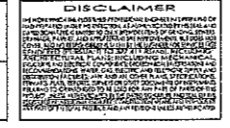
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO

EXISTING CONDITIONS

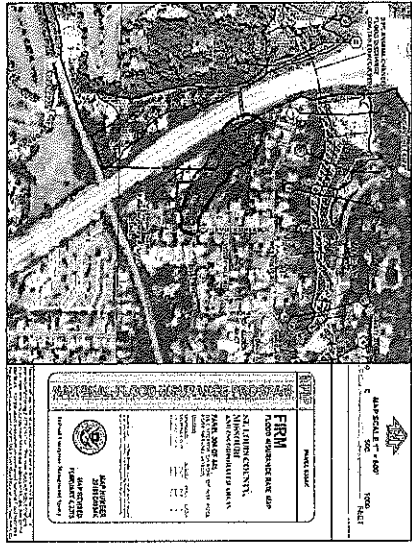
123 N. KIRKWOOD ROAD  
KIRKWOOD, MO 63122  
Telephone: 314.885.1110  
Fax: 314.885.1111  
Email: info@pinnacle.com  
C.C.A. # 43-1430

**DISCLAIMER**

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2000 AERIAL



**EXISTING DRAINAGE AREA TABLE**

DES	SURFACE	AREA (AC)	PERCENTAGE OF IMPERVIOUS	PERCENTAGE OF IMPERVIOUS	PERCENTAGE OF IMPERVIOUS	%	TREATMENT TO STRUCTURE
RES	RES	0.00	0.00	0.00	0.00	0.00	
ROADWAY	ROADWAY	0.27	3.34	4.78	1.56	5.28	
GRASS	GRASS	4.74	1.70	0.07	2.30	10.66	
TOTAL	TOTAL	5.01	1.80	0.07	2.42	13.17	
DRIVEWAY	DRIVEWAY	0.07	3.34	1.31	4.78	5.72	
GRASS	GRASS	0.09	1.70	0.00	2.30	2.36	
TOTAL	TOTAL	1.14	2.28	1.31	3.04	4.90	
BUILDING TOTAL	0.06	3.34	0.26	4.78	1.57		
ROADWAY TOTAL	0.24	1.70	0.07	2.30	13.13		
TOTAL	0.30	1.80	0.07	2.30	15.07		

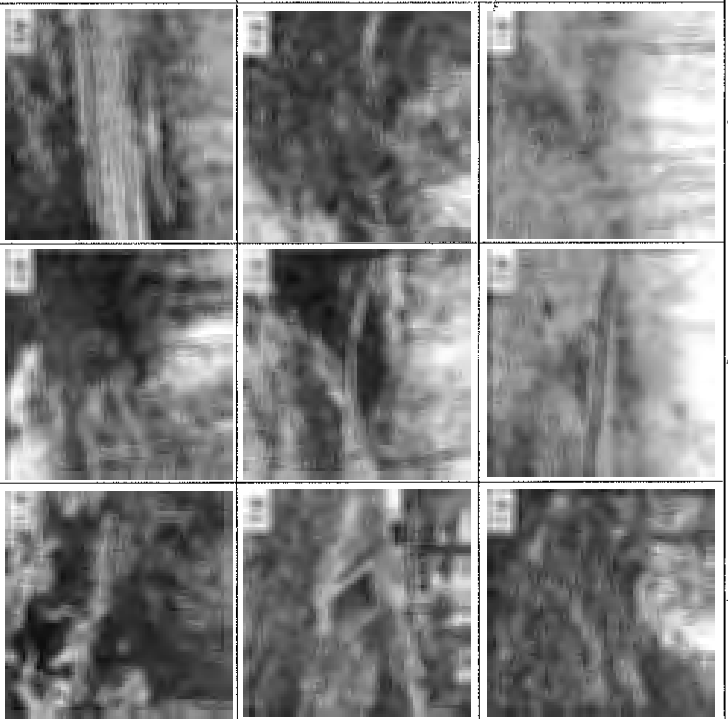
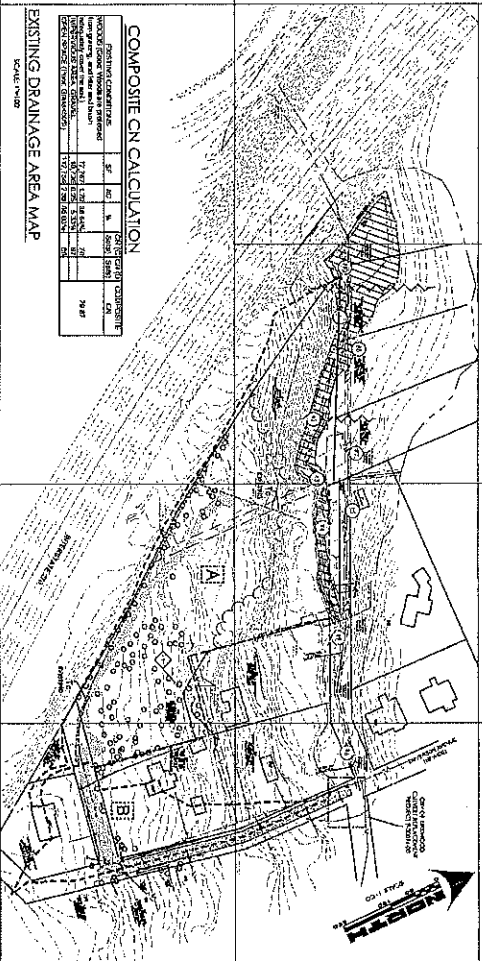
NOTE: SHEET FLOOR TO CURB  
TO CENTER OF ROADWAY  
TO CENTER OF DRIVEWAY

**COMPOSITE ON CALCULATION**

EXISTING DRAINAGE AREA MAP

SCALE: 1"=20'

NO.	DESCRIPTION	AREA (AC)	% IMPERVIOUS	COMPOSITE
1	RES	0.00	0.00	0.00
2	ROADWAY	0.27	3.34	1.56
3	GRASS	4.74	1.70	2.30
4	TOTAL	5.01	1.80	4.16
5	DRIVEWAY	0.07	3.34	1.31
6	GRASS	0.09	1.70	0.00
7	TOTAL	1.14	2.28	1.31



**KEYED NOTES**

1. ALL PERCENTAGES ARE BASED ON THE TOTAL AREA OF THE SITE.

2. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

3. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

4. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

5. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

6. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

7. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

8. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

9. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

10. THE PERCENTAGE OF IMPERVIOUS AREA IS BASED ON THE TOTAL AREA OF THE SITE.

**WIND ENGINEERING**

DATE: 10/21/18

PROJECT: EMMERSON ESTATES

CLIENT: EMERSON ESTATES

DESIGNER: WIND ENGINEERING

SCALE: 1"=20'

**EMMERSON ESTATES**

CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO

EXISTING CONDITIONS

122 N. Winwood Road  
Kirkwood, MO 63122  
Telephone: 636.862.7898  
Fax: 636.862.7899  
Email: info@windeng.com  
G.O.A. #E-1801-D

**DISCLAIMER**

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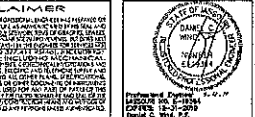
**MR. FRANK INFARIGIOLA**

ENGINEER

STATE OF MISSOURI

NO. 000000000

EXPIRES 12/31/2019





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**EMMERSON ESTATES EXISTING CONDITIONS**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO.  
 PREPARED BY: THE FRANKLIN GROUP  
 1325 S. BRIDGES BLVD.  
 KIRKWOOD, MO 64551  
 PROJECT NO.: 17-001-01  
 DATE: 10/23/18

REVISIONS/STATUS	
1	ISSUE FOR PERMITTING
2	ISSUE FOR PERMITTING
3	ISSUE FOR PERMITTING
4	ISSUE FOR PERMITTING
5	ISSUE FOR PERMITTING
6	ISSUE FOR PERMITTING
7	ISSUE FOR PERMITTING
8	ISSUE FOR PERMITTING
9	ISSUE FOR PERMITTING
10	ISSUE FOR PERMITTING

**WIND ENGINEERING COUNTY**  
 PROJECT NO.: 17-001-01  
 DATE: 10/23/18  
 DRAWN BY: DW  
 CHECKED BY: DW  
 SCALE: 1"=40'-0"  
 SHEET NO.: CS.1C  
 TOTAL SHEETS: 12





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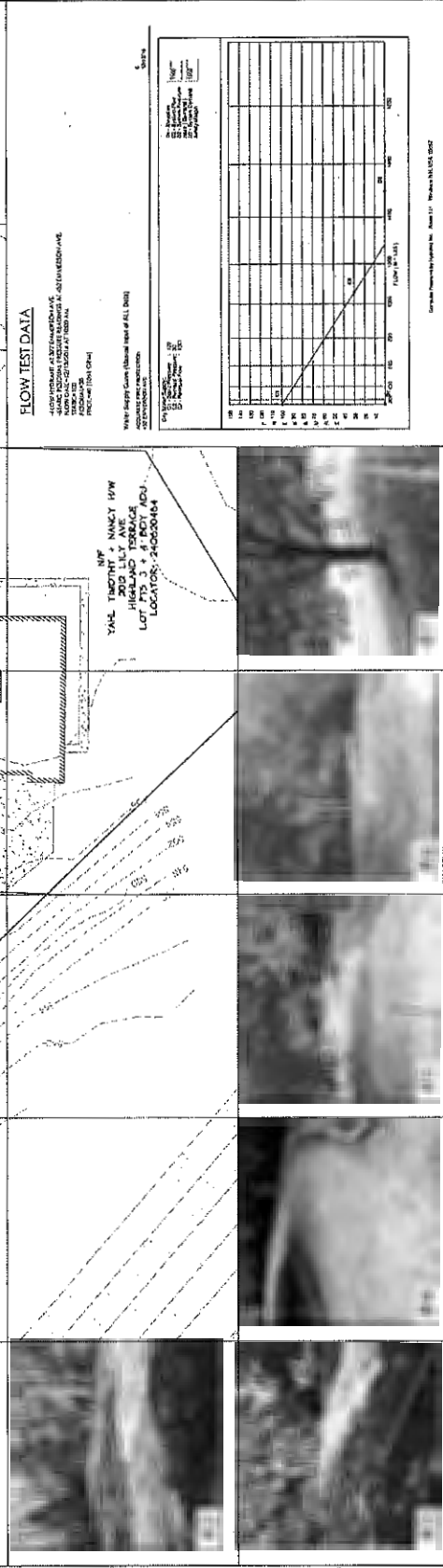
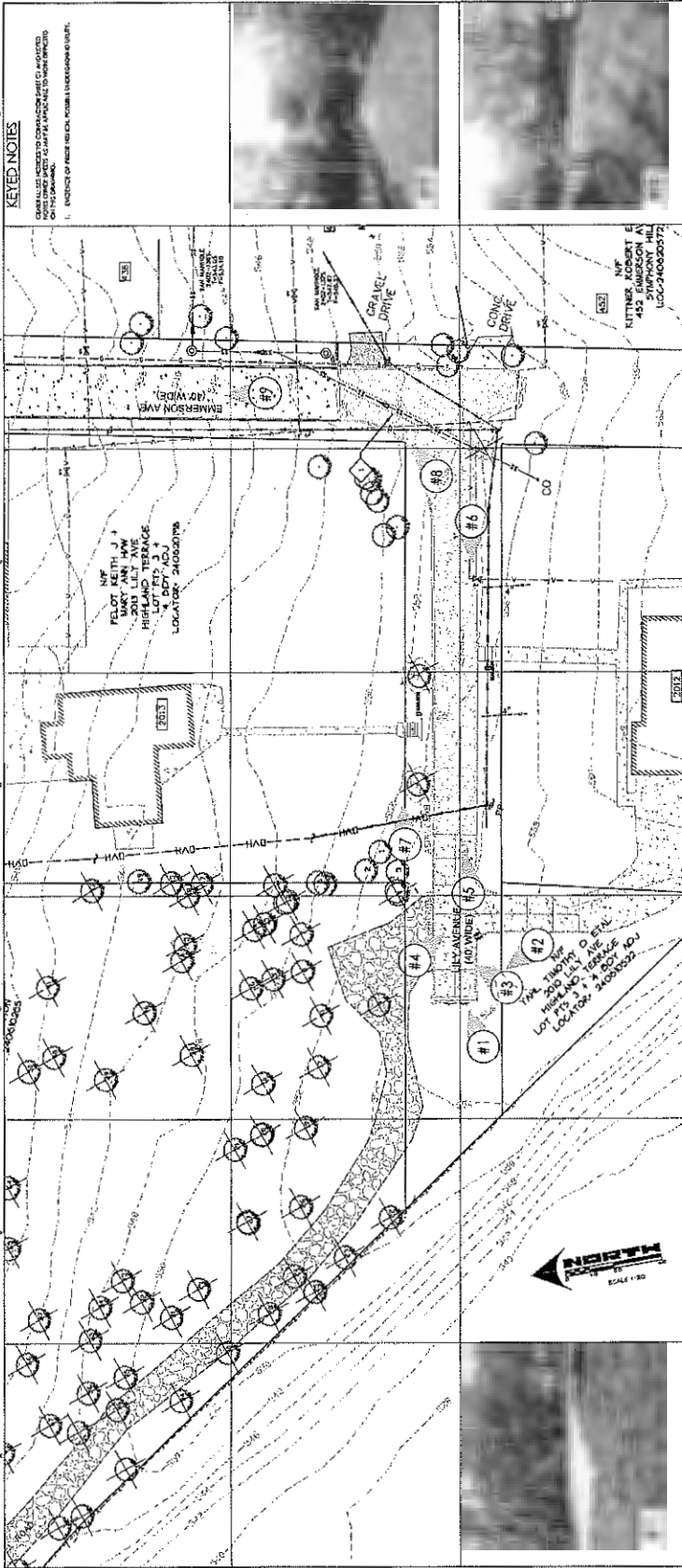
**EMMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 EXISTING CONDITIONS LILY AVENUE

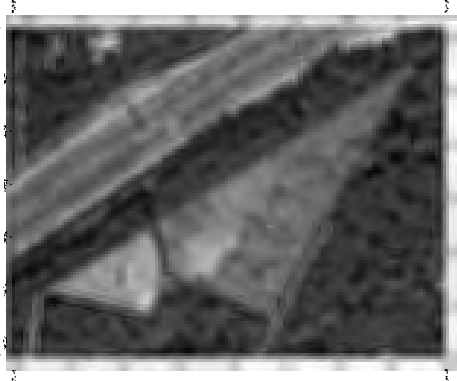
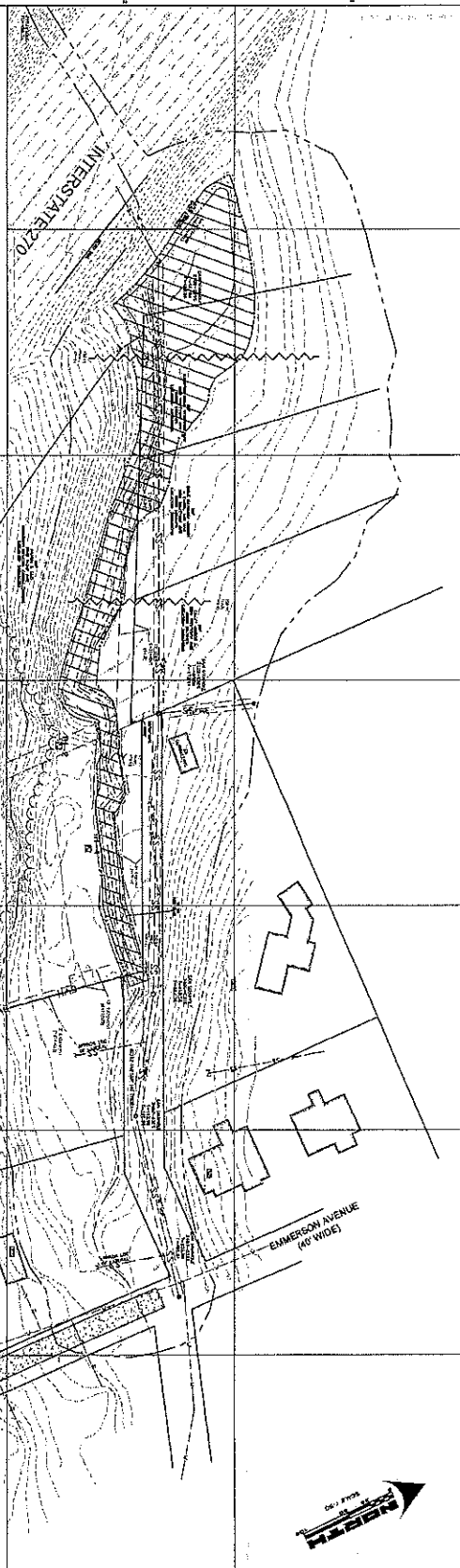
NO.	DATE	DESCRIPTION
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2	10/23/18	ISSUED FOR PERMIT
3	10/23/18	ISSUED FOR PERMIT
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5	10/23/18	ISSUED FOR PERMIT
6	10/23/18	ISSUED FOR PERMIT
7	10/23/18	ISSUED FOR PERMIT
8	10/23/18	ISSUED FOR PERMIT
9	10/23/18	ISSUED FOR PERMIT
10	10/23/18	ISSUED FOR PERMIT

**REVISIONS/STATUS**

NO.	DATE	DESCRIPTION
1	10/23/18	ISSUED FOR PERMIT
2	10/23/18	ISSUED FOR PERMIT
3	10/23/18	ISSUED FOR PERMIT
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10	10/23/18	ISSUED FOR PERMIT

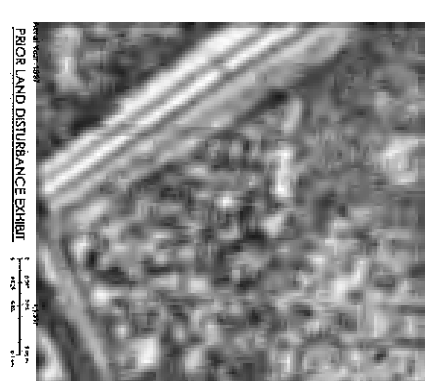
**PROJECT INFORMATION**  
 DWG NO: 1072818  
 PROJECT NO: 1072818  
 SHEET NO: 1072818  
 DATE: 10/23/18





INTRODUCTION: This document is prepared by the City of Kirkwood, Missouri, for the purpose of providing information to the public regarding the proposed development. It is not intended to constitute an offer of insurance or any other financial product. The information contained herein is for informational purposes only and should not be relied upon for any legal or financial decision. The City of Kirkwood, Missouri, is not responsible for the accuracy or completeness of the information provided herein.

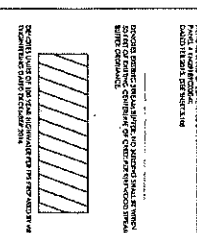
Project Name	Emerson Estates
City	Kirkwood, Missouri
County	St. Louis County
Map Scale	1" = 100'
Map Date	10/13/18
Map No.	16013
Map Title	Existing Natural Resources Map



St. Louis County Parcel Map  
 PROPOSED LAND DISTURBANCE EXHIBIT

### NATURAL RESOURCES TABLE

Resource	Location	Notes
Water	Interstate 270	Waterway
Wetlands	Various areas	Wetlands
Soils	Various areas	Soils
Vegetation	Various areas	Vegetation
Wildlife	Various areas	Wildlife
Historic Resources	Various areas	Historic Resources
Other	Various areas	Other



## EMMERSON ESTATES

### CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO

### EXISTING NATURAL RESOURCES MAP

Prepared by: **WITCO**  
 128 N. Richmond Road  
 St. Louis, MO 63122  
 Telephone: 314.866.9100  
 Fax: 314.866.7300  
 Email: info@witco.com  
 G.O.A. #8-1662-D

Prepared for: **THE TRAVIS INTERNATIONAL INCORPORATED DEVELOPMENT LLC**  
 2115 S. Kingsway Park  
 St. Louis, MO 63116  
 Fax: 314.766.6666  
 E-Mail: info@travisintl.com

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Project Name	Emerson Estates
City	Kirkwood, Missouri
County	St. Louis County
Map Scale	1" = 100'
Map Date	10/13/18
Map No.	16013
Map Title	Existing Natural Resources Map
Map Author	WITCO
Map Reviewer	WITCO
Map Date	10/13/18
Map No.	16013
Map Title	Existing Natural Resources Map









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**EMERSON ESTATES**  
**CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO**  
**SWPPP DETAILS**

12345 Main Street  
 St. Louis, MO 63101  
 (314) 123-4567

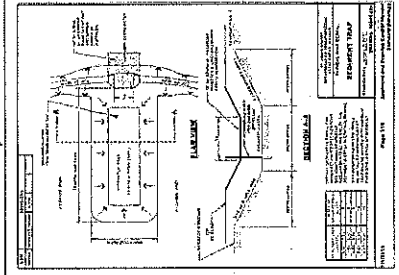
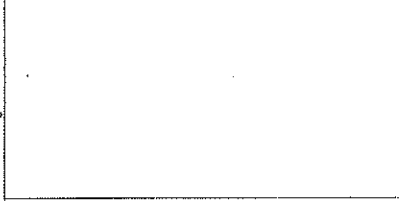
**REVISIONS/TABLES**

NO.	DATE	DESCRIPTION
1	07/24/18	ISSUED FOR PERMITS
2	07/24/18	ISSUED FOR PERMITS
3	07/24/18	ISSUED FOR PERMITS
4	07/24/18	ISSUED FOR PERMITS
5	07/24/18	ISSUED FOR PERMITS
6	07/24/18	ISSUED FOR PERMITS
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8	07/24/18	ISSUED FOR PERMITS
9	07/24/18	ISSUED FOR PERMITS
10	07/24/18	ISSUED FOR PERMITS

**WIND CONSIDERING COMPANY**

12345 Main Street  
 St. Louis, MO 63101  
 (314) 123-4567

DATE: 07/24/18  
 DRAWN BY: DW  
 CHECKED BY: PC  
 PROJECT: 16113  
 SHEET: C4.4a



**TABLE 1: PROPERTY'S SWPPP PROPERTY REQUIREMENTS**

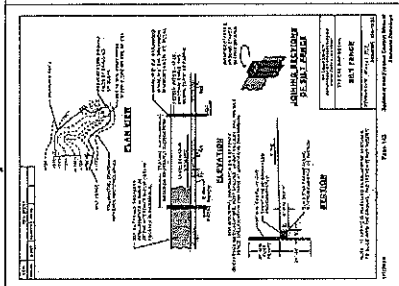
DESCRIPTION	NO.	NO.	NO.	NO.	NO.	NO.	NO.
1. Erosion Control	1	2	3	4	5	6	7
2. Sedimentation	8	9	10	11	12	13	14
3. Stormwater Management	15	16	17	18	19	20	21
4. Pollution Prevention	22	23	24	25	26	27	28
5. Construction Site Stabilization	29	30	31	32	33	34	35
6. Construction Site Stabilization	36	37	38	39	40	41	42
7. Construction Site Stabilization	43	44	45	46	47	48	49
8. Construction Site Stabilization	50	51	52	53	54	55	56
9. Construction Site Stabilization	57	58	59	60	61	62	63
10. Construction Site Stabilization	64	65	66	67	68	69	70

**GENERAL NOTES**

1. All construction shall be in accordance with the Missouri Statewide SWPPP and the local SWPPP.
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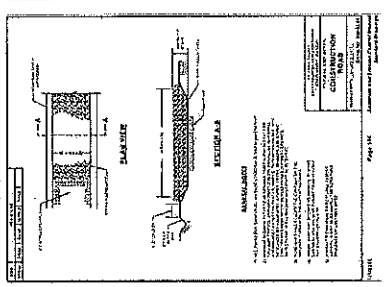
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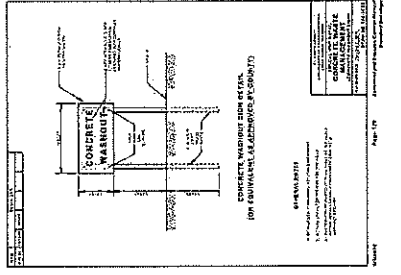
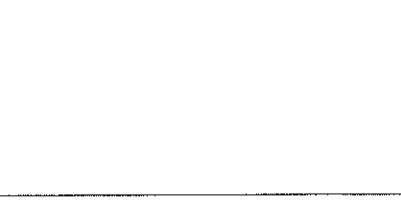
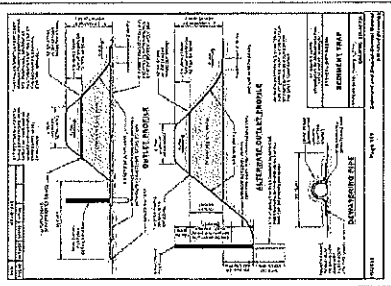
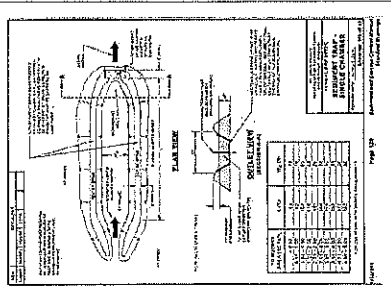
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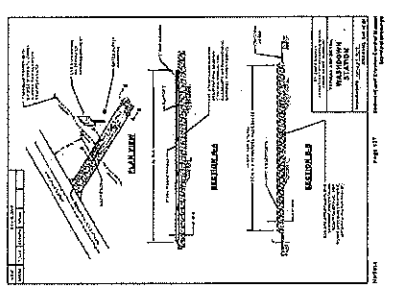
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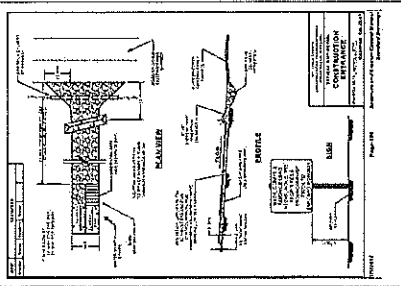
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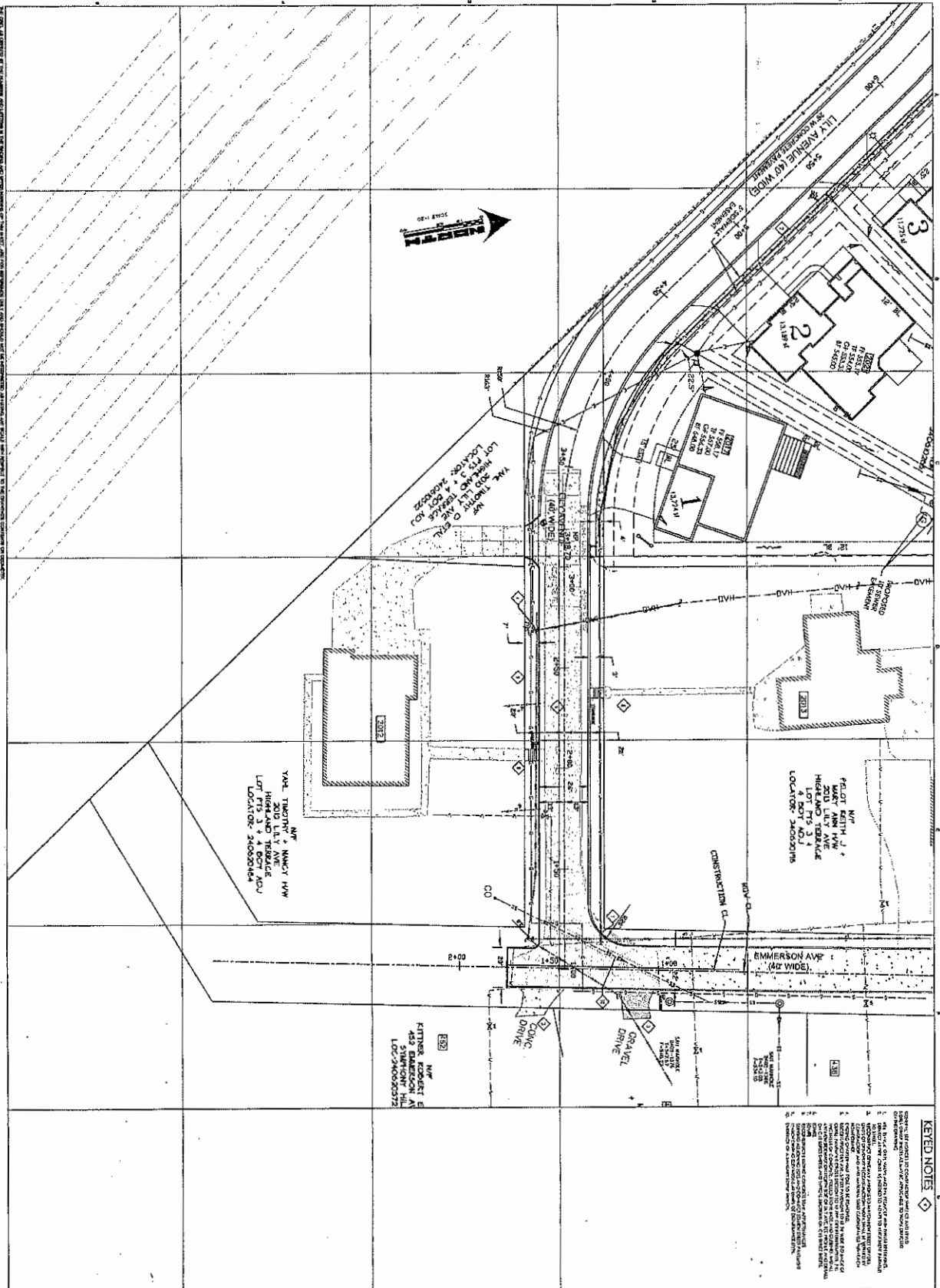
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**KEYED NOTES**

1. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

2. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

3. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

4. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

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9. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

10. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

N/P  
YAKI TROTHNY + NANCY HW  
2010 LILAC AVE  
N/2 SEC 23 T15N R15E  
LOT 15 3 + 4 BOY ADU  
LOCATOR 24000044

N/P  
KITLER ROAD E  
452 EMMERSON AVE  
LOC 240000372

N/P  
KITLER HW  
2010 LILAC AVE  
N/2 SEC 23 T15N R15E  
LOT 15 3 + 4 BOY ADU  
LOCATOR 24000044

NO. 1	DATE	BY	DESCRIPTION
1	10/27/18	DZ	PRELIMINARY PLAN
2		DW	REVISED PLAN
3		DW	REVISED PLAN
4		DW	REVISED PLAN
5		DW	REVISED PLAN
6		DW	REVISED PLAN
7		DW	REVISED PLAN
8		DW	REVISED PLAN
9		DW	REVISED PLAN
10		DW	REVISED PLAN

**WIND ENGINEERS**  
CONSULTANTS  
1221 N. WILSON ROAD  
KIRKWOOD, MO 63122  
TEL: 636.937.7200  
FAX: 636.937.7201  
WWW.WINDENGINEERS.COM

**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
FLAT (GEOMETRIC) PLAN

Prepared By: WIND ENGINEERS  
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Kirkwood, MO 63122  
Telephone: 636.937.7200  
Fax: 636.937.7201  
Email: info@windengineers.com  
C.O.A. # 187

Prepared By: MR. FRANK INDIARDOLA  
INDIARDOLA DEVELOPMENT LLC  
11111 S. WILSON ROAD  
KIRKWOOD, MO 63122  
Tel: 636.937.7200  
Fax: 636.937.7201  
Email: frank@indiardola.com  
63118.LandUse@indy.com

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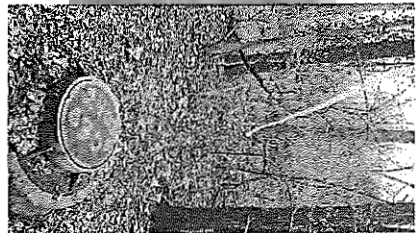


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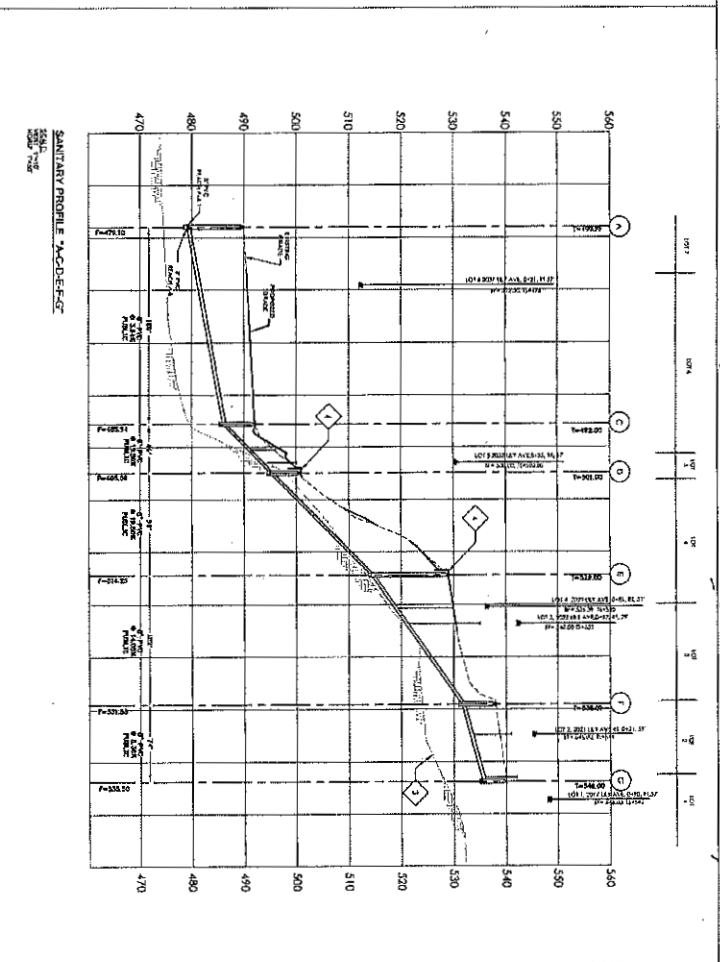
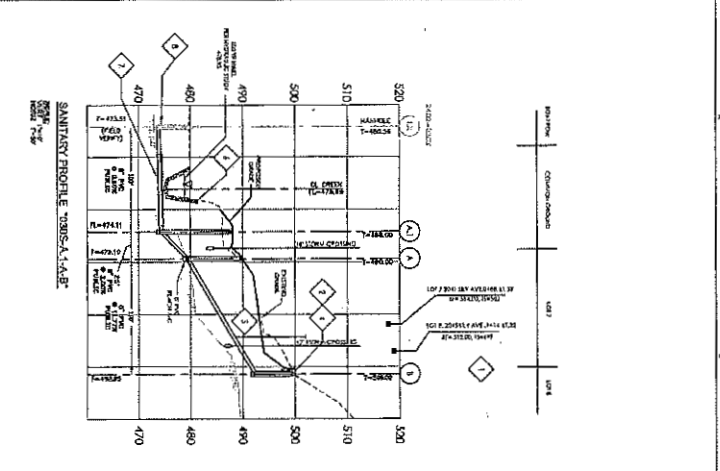
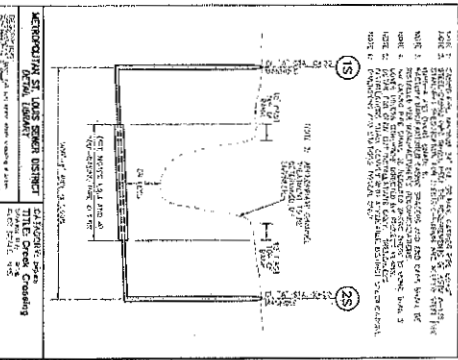
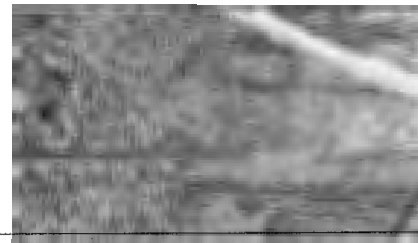
LOCATION OF PROPOSED SANITARY CROSSING



LOOKING SOUTH AT SAN MN 2402-0295



LOOKING NORTH AT SAN MN 2402-0298



**KEYED NOTES**

1. SEE PLAN FOR LOCATION OF SANITARY CROSSING.
2. SEE PLAN FOR LOCATION OF MANHOLE.
3. SEE PLAN FOR LOCATION OF EXTENDED FOUNDATION.
4. SEE PLAN FOR LOCATION OF DRIVEWAY.
5. SEE PLAN FOR LOCATION OF SIDEWALK.
6. SEE PLAN FOR LOCATION OF CURB.
7. SEE PLAN FOR LOCATION OF PAVEMENT.
8. SEE PLAN FOR LOCATION OF ASPHALT.
9. SEE PLAN FOR LOCATION OF GRAVEL.
10. SEE PLAN FOR LOCATION OF SAND.
11. SEE PLAN FOR LOCATION OF SOIL.
12. SEE PLAN FOR LOCATION OF WATER TABLE.
13. SEE PLAN FOR LOCATION OF GROUND SURFACE.
14. SEE PLAN FOR LOCATION OF ROAD SURFACE.
15. SEE PLAN FOR LOCATION OF DRIVEWAY SURFACE.
16. SEE PLAN FOR LOCATION OF SIDEWALK SURFACE.
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**LEGEND**

- 1. SANITARY CROSSING
- 2. MANHOLE
- 3. EXTENDED FOUNDATION
- 4. DRIVEWAY
- 5. SIDEWALK
- 6. CURB
- 7. PAVEMENT
- 8. ASPHALT
- 9. GRAVEL
- 10. SAND
- 11. SOIL
- 12. WATER TABLE
- 13. GROUND SURFACE
- 14. ROAD SURFACE
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DATE	10/23/18
DESIGNED BY	DZ
CHECKED BY	DW
DATE	10/13
SCALE	C6

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			

**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
SANITARY SEWER PROFILE

Prepared By: **WSP**

122 N. Kirkwood Road  
Kirkwood, MO 63102  
Phone: 636.935.0000  
Fax: 636.935.0000  
www.wspinc.com

Prepared For: **EMMERSON ESTATES**

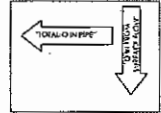
416 FRANK INCORPORATED  
INDIANAPOLIS, IN 46204  
www.416frank.com

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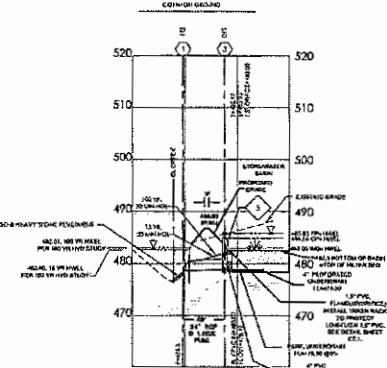
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**FLOW ARROW LEGEND**

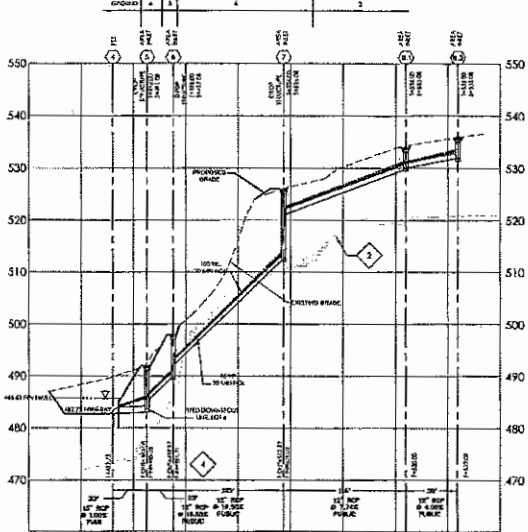
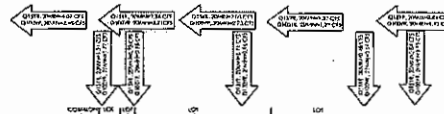


ALL STORM STREWS (MATERIALS, DETAILS, INSTALL, ETC.) TO CONFORM TO LATEST SPECIFICATIONS AND SPECIFICATIONS OF AEC.



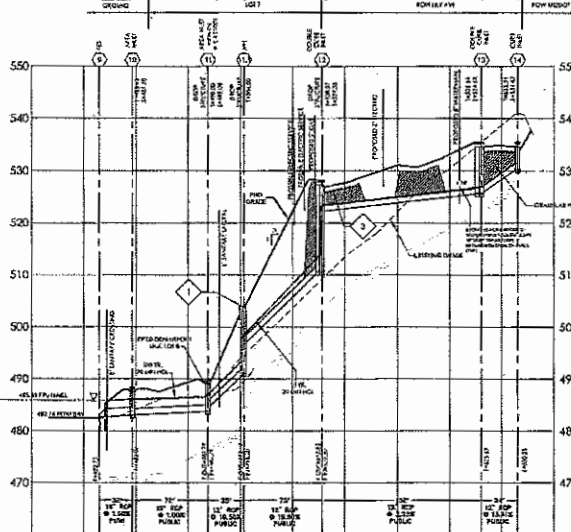
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SCALE: VERT. 1" = 10' HORIZ. 1" = 50'



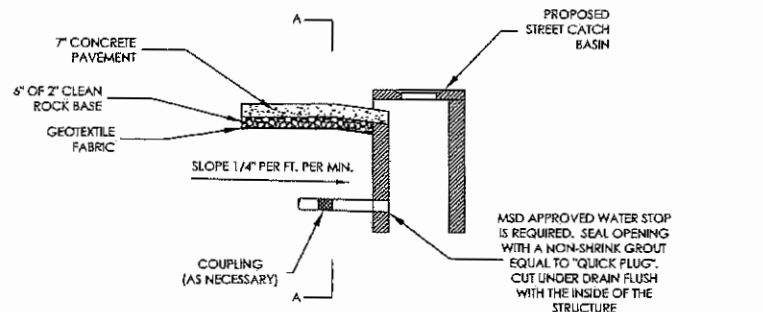
**STORM PROFILE "4-5-6-7-8-1-8-2"**

SCALE: VERT. 1" = 10' HORIZ. 1" = 50'



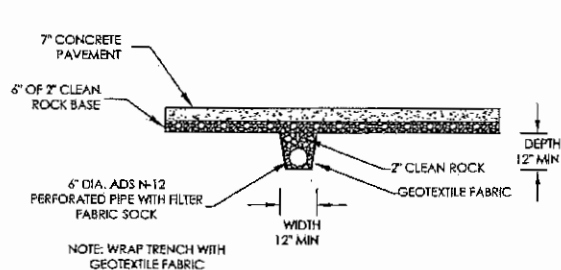
**STORM PROFILE "9-10-11-12-13-14"**

SCALE: VERT. 1" = 10' HORIZ. 1" = 50'



NOTE: UNDERDRAIN SHALL EXTEND TO THE MIDDLE OF THE PAVEMENT WITH A TERMINUS CAP, OR ACROSS THE ENTIRE ROAD WITH A TERMINUS CAP IF IT IS THE LAST STORM INLET.

**PAVEMENT UNDERDRAIN DETAILS**



**SECTION A-A**

**KEYED NOTES**

1. MANHOLE WALL HEIGHT SHALL BE AT LEAST 2 FEET ABOVE FINISH GRADE. SHALL BE DESIGN BY PRODUCT MANUFACTURER.
2. PORTABLE ROCK (SANDSTONE, BEVERLY) TO BE USED FOR ALL STORM STREWS AND CONNECTIONS TO STORM MAINS. REFER TO SPECIFICATIONS FOR ALL STORM STREWS AND CONNECTIONS TO STORM MAINS.
3. ALL STORM STREWS SHALL BE PERFORATED CONCRETE PIPE (PCCP) UNLESS OTHERWISE SPECIFIED.
4. RE CONTRACT, SEE DRAWING SHEET C7.2.



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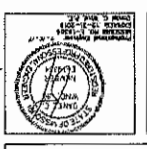
**EMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
STORM SEWERS

WIND ENGINEERING COMPANY  
1921 N. WILSON AVENUE  
ST. LOUIS, MO 63107  
TEL: 314.433.1111  
FAX: 314.433.1112  
WWW.WINDENGINEERINGCOMPANY.COM

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	10/23/18	DZ	PC
2	REVISED FOR PERMIT	11/01/18	DZ	PC
3	REVISED FOR PERMIT	11/01/18	DZ	PC
4	REVISED FOR PERMIT	11/01/18	DZ	PC
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20	REVISED FOR PERMIT	11/01/18	DZ	PC

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CHECKED BY: PC  
SCALE: AS SHOWN  
PROJECT: 16013  
SHEET: C7.1

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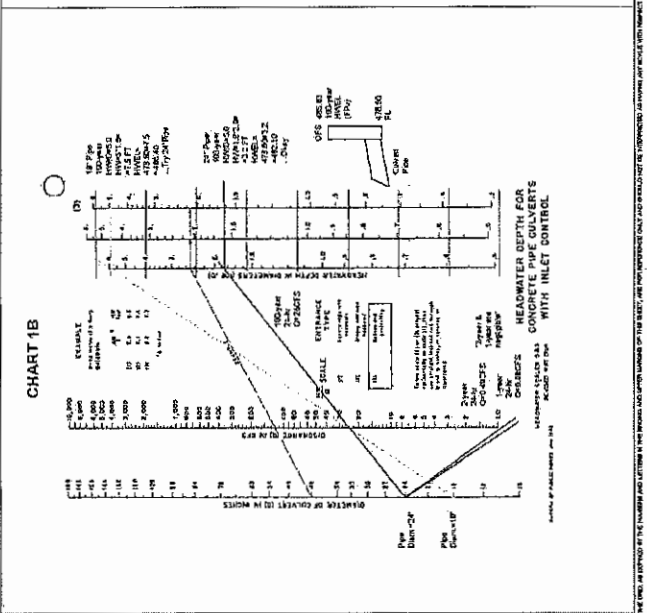
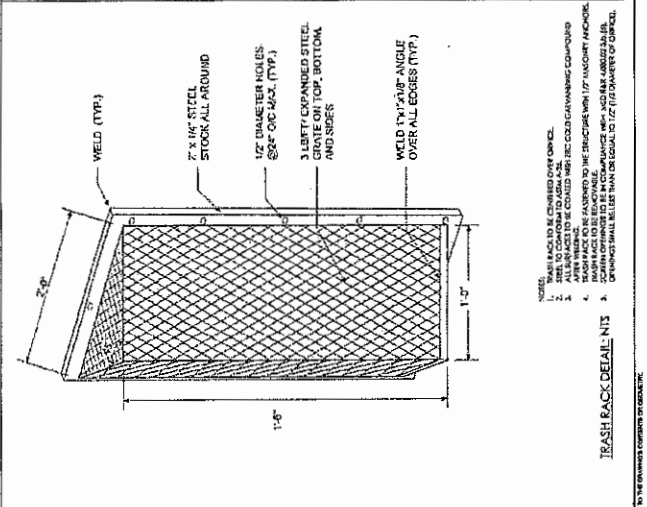
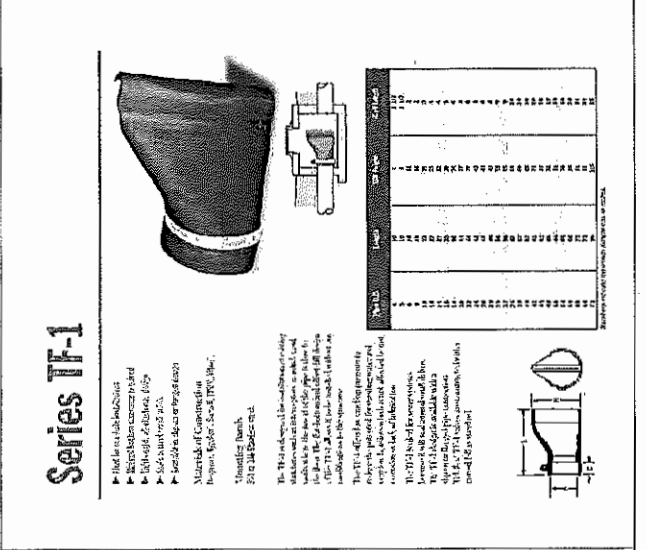
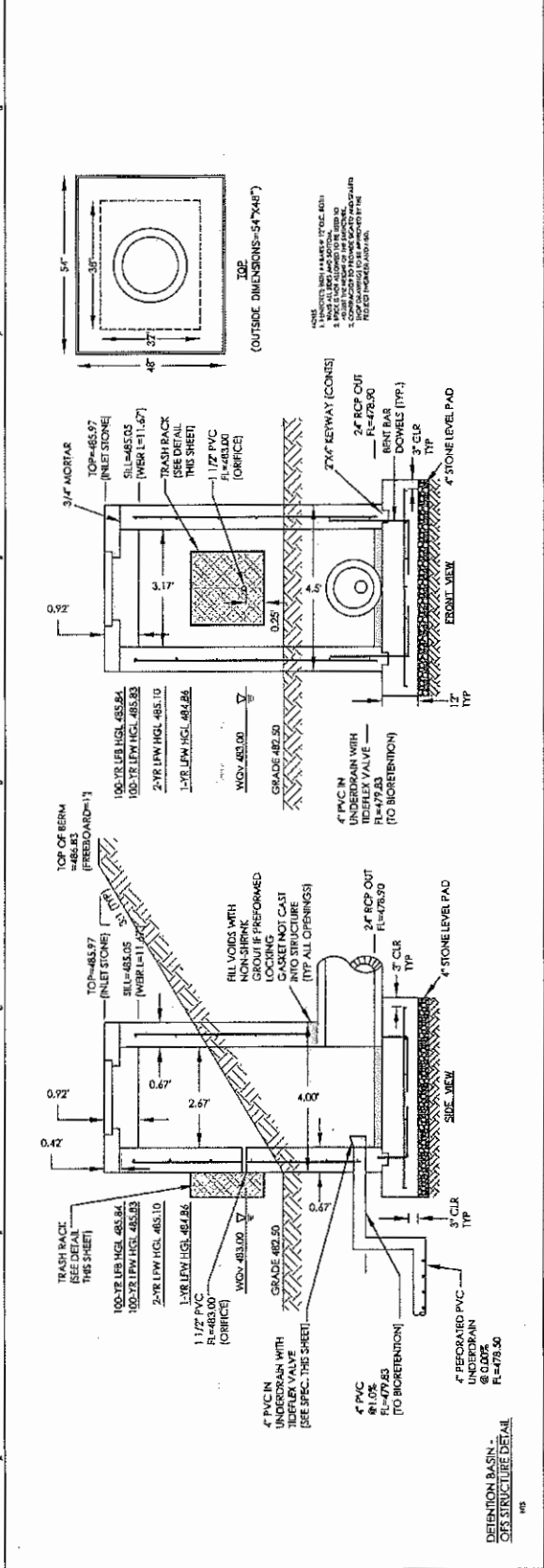
**EMMERSON ESTATES CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO**  
**STORM SEWER DETAIL**  
 KIRKWOOD, MISSOURI  
 12345 Main Street  
 St. Louis, MO 63101  
 Phone: (314) 123-4567  
 Fax: (314) 123-4568  
 www.wind-engineering.com

**REVISIONS STATUS**

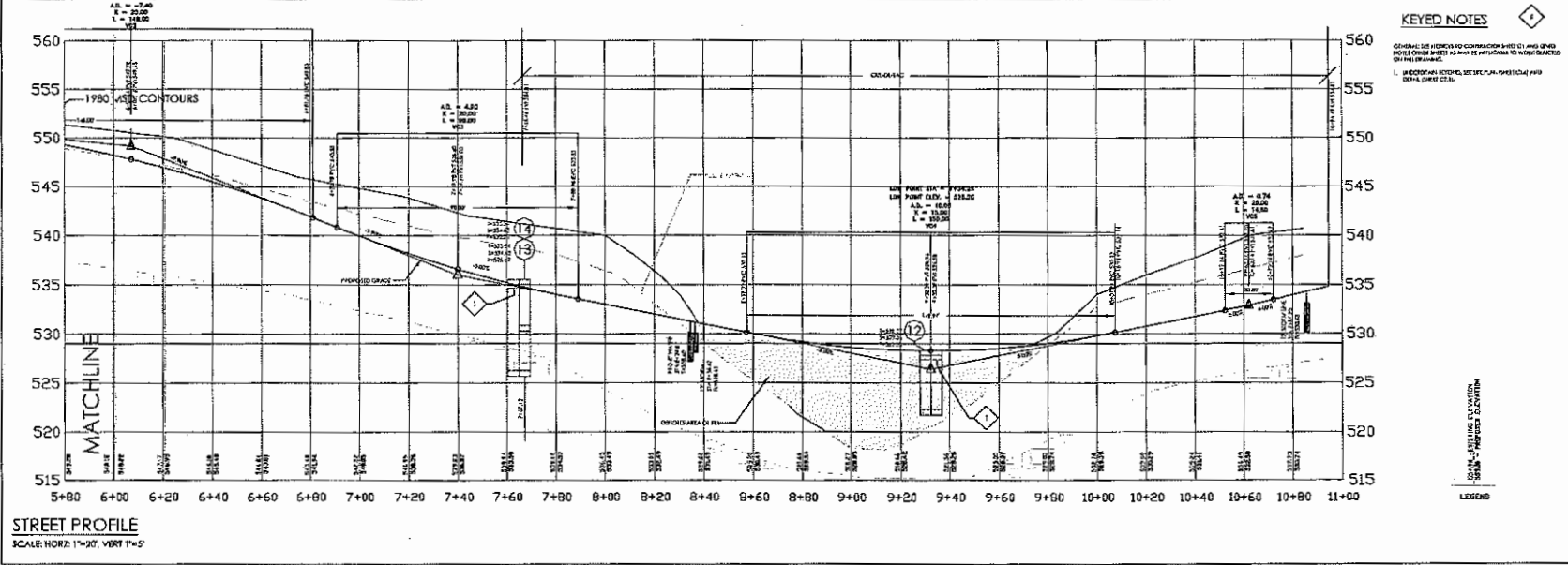
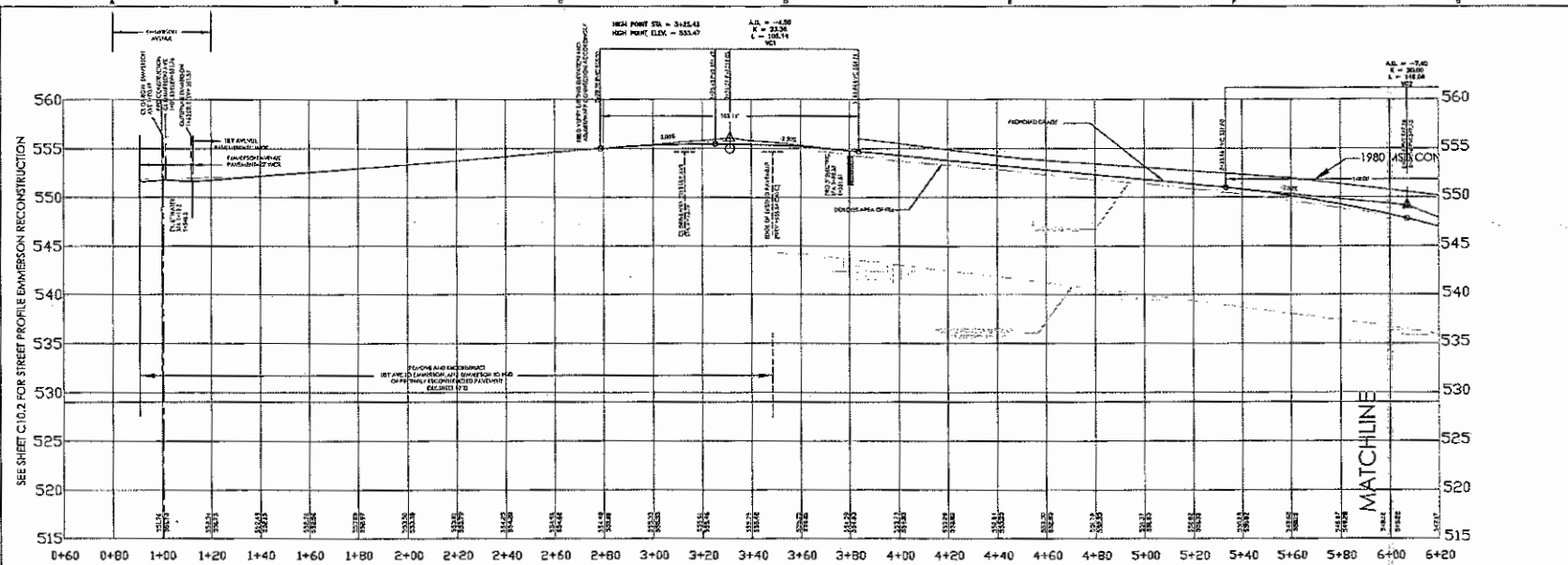
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2	10/10/2018	REVISED PER COMMENTS
3	10/10/2018	REVISED PER COMMENTS

**WIND ENGINEERING COMPANY**  
 12345 Main Street  
 St. Louis, MO 63101  
 Phone: (314) 123-4567  
 Fax: (314) 123-4568  
 www.wind-engineering.com

**PROJECT INFORMATION**  
 Project No: 10227/E  
 Client: City of Kirkwood  
 Date: 10/10/2018  
 Scale: C7.2



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STREET PROFILE  
SCALE: HORIZ: 1"=20', VERT: 1"=5'



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**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
STREET PROFILE-LILY AVENUE

Prepared by: **WIND**  
Wind Engineering Company  
1027 S. W. 10th St.  
Lawton, OK 73505  
Phone: (580) 241-1111  
Fax: (580) 241-1112  
www.windeng.com

**KEYED NOTES**  
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3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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REVISIONS/STATUS

NO.	DATE	DESCRIPTION
1	10/23/18	ISSUED FOR PERMITS

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Date: 10/23/18  
Author: DW  
Checked: DW  
Scale: 1/4"=1'-0"  
Sheet: C10.1  
Project: EMMERSTON, MO



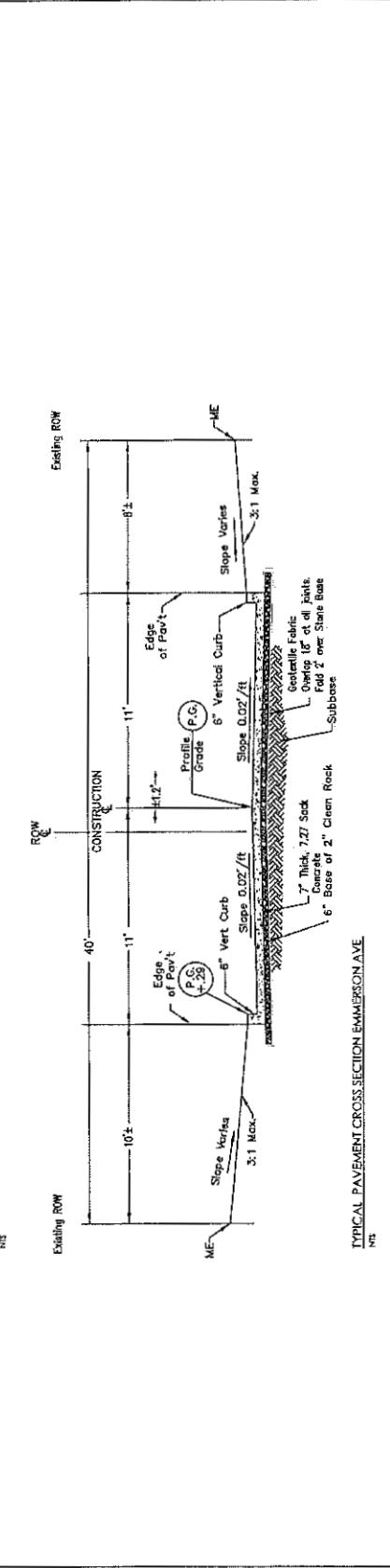
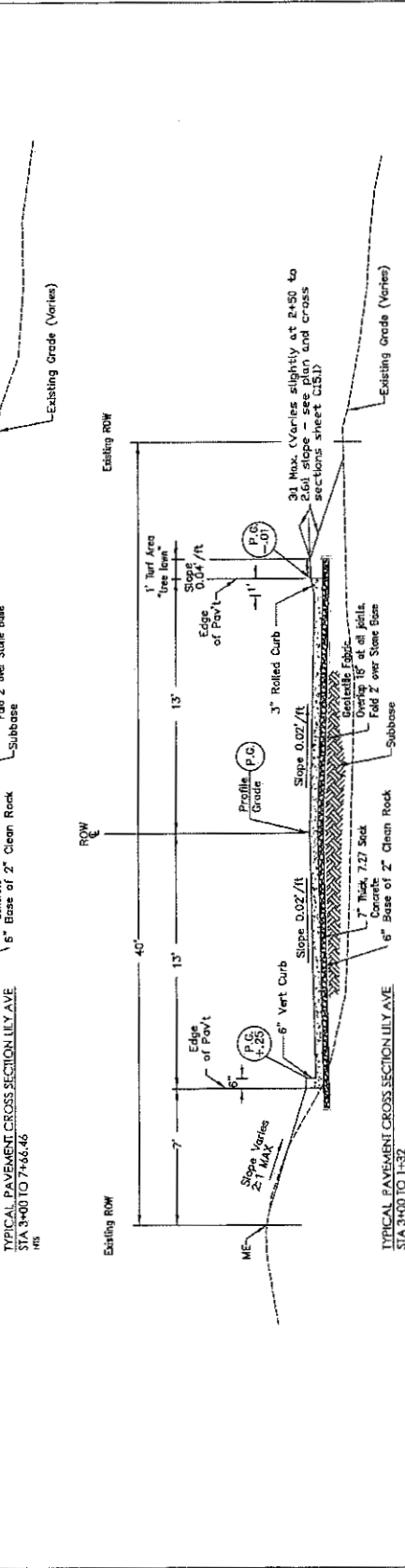
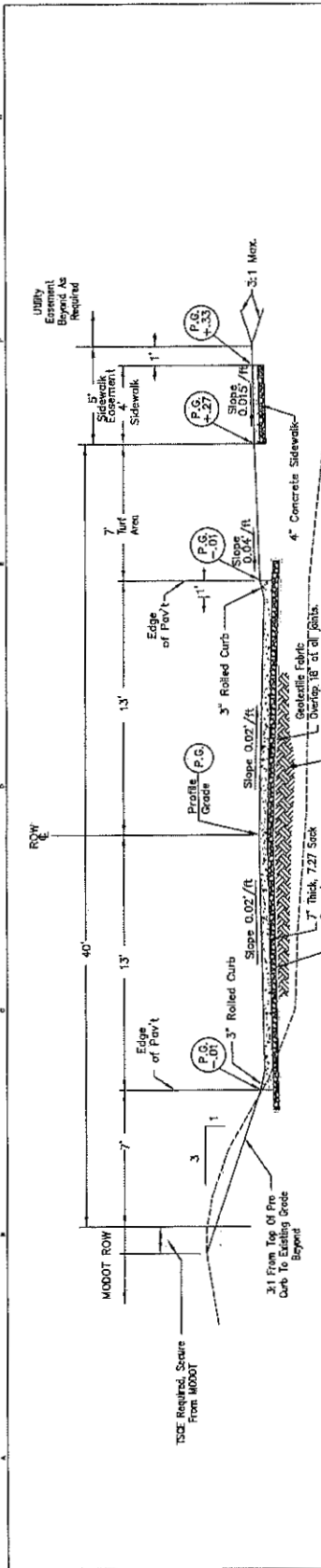


**EMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 TYPICAL PAVEMENT SECTIONS

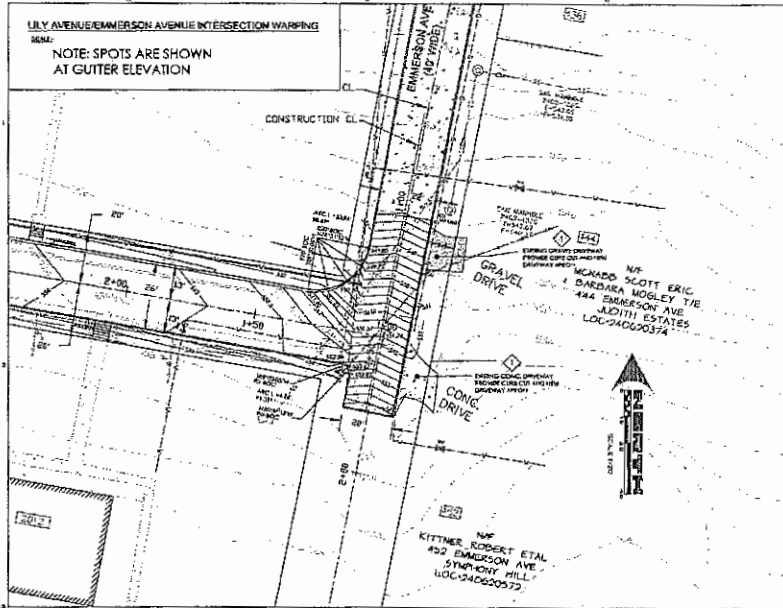
Project No. 102211B  
 Date: 10/22/18  
 Prepared By: W&S CONSULTING COMPANY  
 Checked By: DW  
 Drawn By: DW  
 Scale: C10.2

NO.	REVISION	DATE
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2	REVISED FOR PERMITS	10/22/18
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W&S CONSULTING COMPANY  
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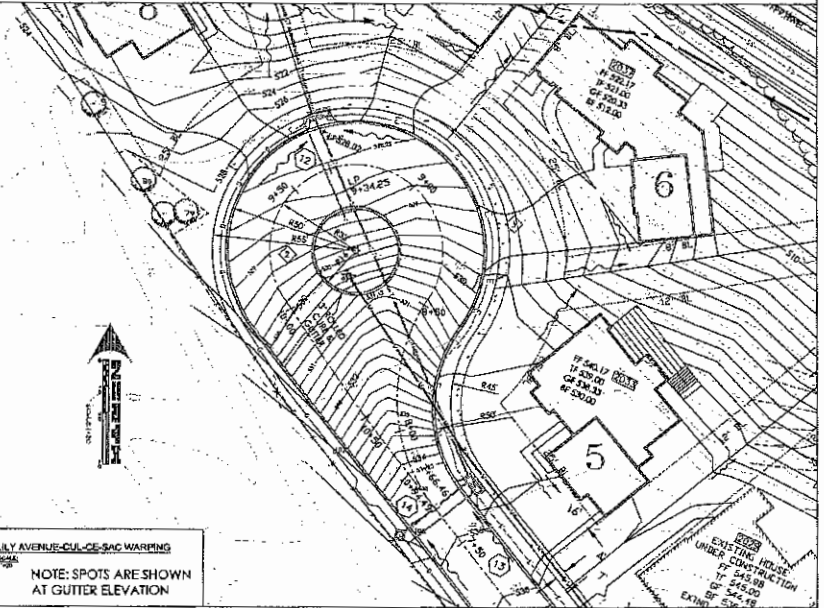
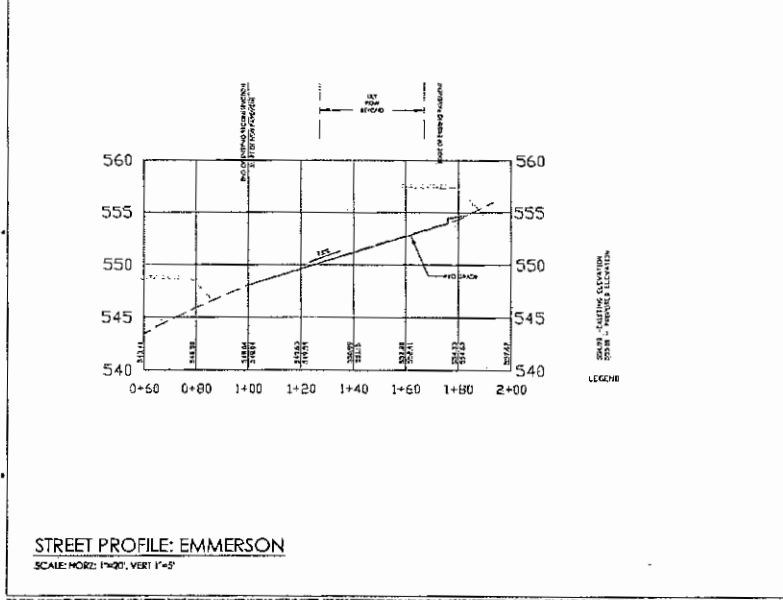
**NOTE: DEVELOPER / CONTRACTOR(S) TO REVIEW WITH AHJ INSPECTORS AT THE JOB SITE THE LOCATION OF ANY PROPOSED SAW CUTS AND/OR LIMITS OF PAVEMENT REMOVAL PRIOR TO COMMENCING WORK IN THE RIGHT-OF-WAY.**

**FINISH GRADE VERIFICATION: CURBS, WALKS AND PAVEMENT**

PROPOSED FINISHING (CURLING, PAINT, WALK, PAVEMENT, CURBS, WALKS AND PAVEMENT) SHALL BE VERIFIED BY THE CONTRACTOR WITH THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPOTS AND SHALL A COMPLETE AS-BUILT AT THE PROPOSED DATE OF COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPOTS AND SHALL A COMPLETE AS-BUILT AT THE PROPOSED DATE OF COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPOTS AND SHALL A COMPLETE AS-BUILT AT THE PROPOSED DATE OF COMPLETION.

**SPOT FINISH GRADE INFORMATION**

SPOT FINISH GRADE INFORMATION: SPOTS ARE SHOWN AT THE GUTTER ELEVATION. SPOTS ARE SHOWN AT THE GUTTER ELEVATION. SPOTS ARE SHOWN AT THE GUTTER ELEVATION. SPOTS ARE SHOWN AT THE GUTTER ELEVATION. SPOTS ARE SHOWN AT THE GUTTER ELEVATION. SPOTS ARE SHOWN AT THE GUTTER ELEVATION.



- KEYED NOTES**
1. GENERAL: THE NOTICE TO CONTRACTOR (NITC) AND OTHER NOTES OVER LOTS 5 AND 16 ARE APPLICABLE TO THE PROJECTS OF THIS DRAWING.
  2. RECORDS: CONTRACTOR TO MAINTAIN ALL THESE RECORDS, UNLESS OTHERWISE SPECIFIED, IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE AND RECORDS SECTION.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPOTS AND SHALL A COMPLETE AS-BUILT AT THE PROPOSED DATE OF COMPLETION.
  4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPOTS AND SHALL A COMPLETE AS-BUILT AT THE PROPOSED DATE OF COMPLETION.



**DISCLAIMER**

THIS DOCUMENT IS A PRELIMINARY DESIGN AND SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPOTS AND SHALL A COMPLETE AS-BUILT AT THE PROPOSED DATE OF COMPLETION.

**EMMERSON ESTATES**  
**CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO**  
**INTERSECTION AND SAC WARPING**

Prepared By: **WITE**  
 1328 N. BIRCHWOOD ROAD  
 KIRKWOOD, MISSOURI 64504  
 Phone: 636-899-7878  
 Email: info@wite.com

REVISIONS/STATUS

**WITE ENGINEERING COMPANY**  
 COMPANY# 2019

Date: 10/23/18  
 File Name: D2 InterSection DW  
 Drawn: GJPC, CLC, PC  
 Checked by: DW  
 Project: 16013  
 Scale: C10.3

WITE ENGINEERING COMPANY  
 1328 N. BIRCHWOOD ROAD  
 KIRKWOOD, MISSOURI 64504  
 Phone: 636-899-7878  
 Email: info@wite.com



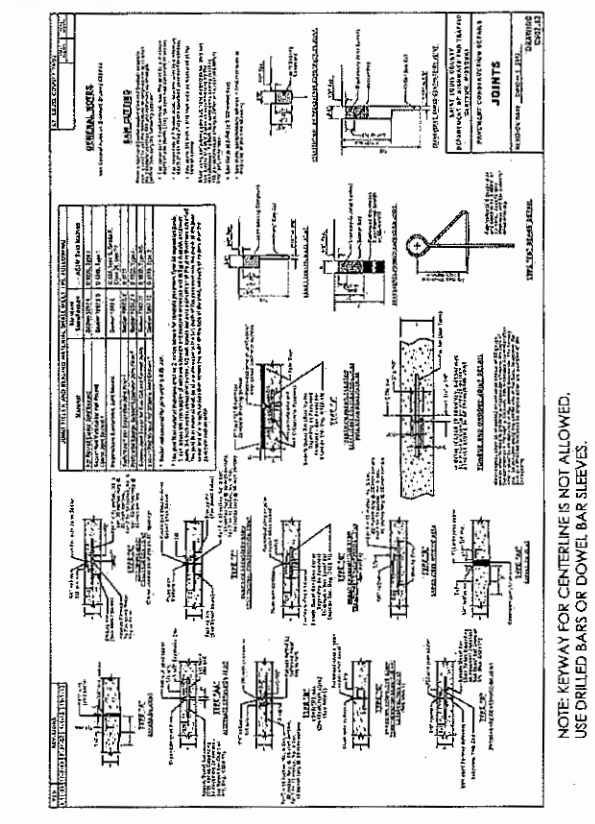
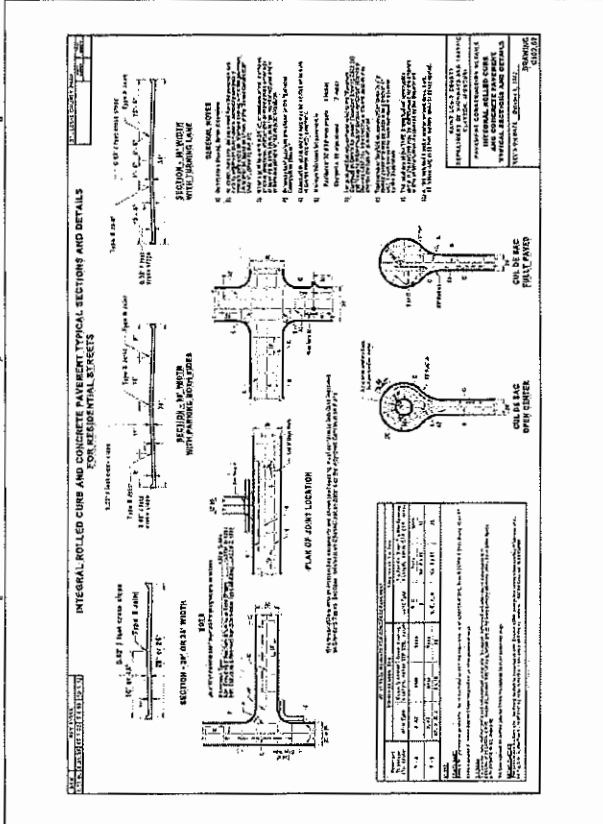
**DISCLAIMER**  
 THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE PROJECT OR THE MATERIALS TO BE USED THEREIN. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PAVEMENT STRUCTURE AND THE PREPARATION OF THE CONTRACT DOCUMENTS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER CONSTRUCTION AND MAINTENANCE OF THE PROJECT.

**EMMERSON ESTATES**  
**CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO**  
**STREET DETAILS**  
 105 S. EMERSON BLVD  
 KIRKWOOD, MO 63122  
 PREPARED BY: WIND ENGINEERING  
 105 S. EMERSON BLVD  
 KIRKWOOD, MO 63122  
 DATE: 10/23/18

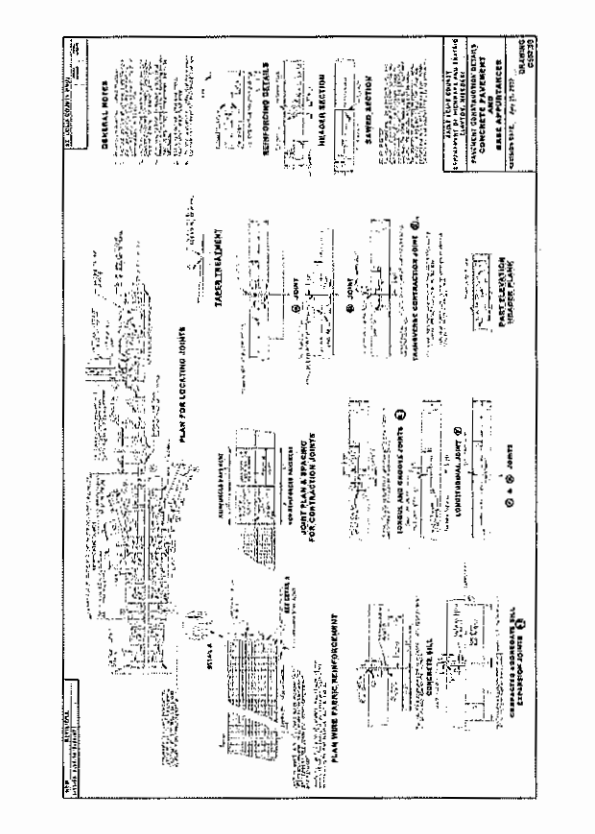
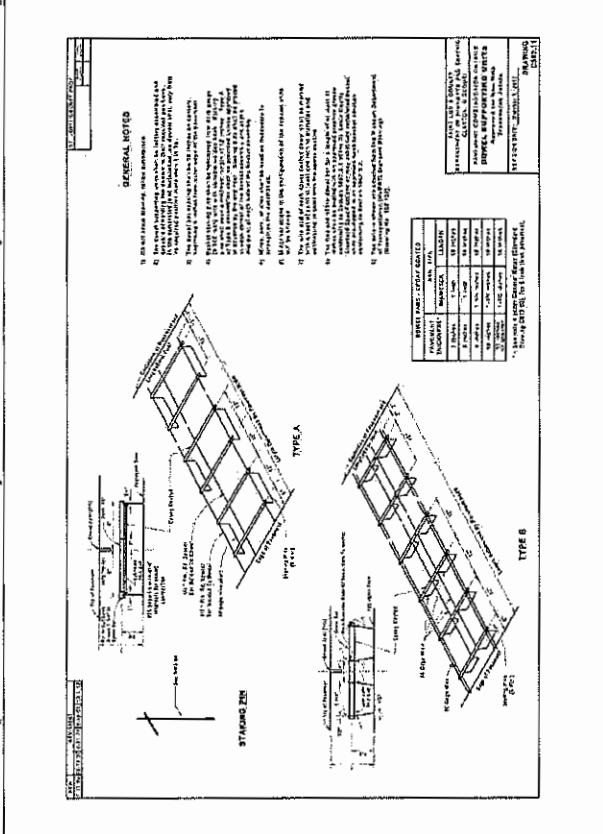
**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/23/18	ISSUED FOR PERMITS
2	11/01/18	REVISED FOR CONSTRUCTION

**WIND ENGINEERING COMPANY**  
 105 S. EMERSON BLVD  
 KIRKWOOD, MO 63122  
 PHONE: 636.441.1111  
 FAX: 636.441.1112  
 WWW.WINDENGINEERING.COM

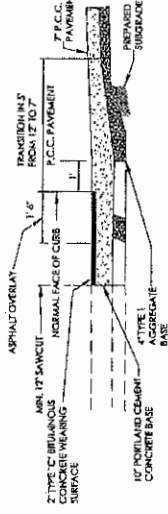
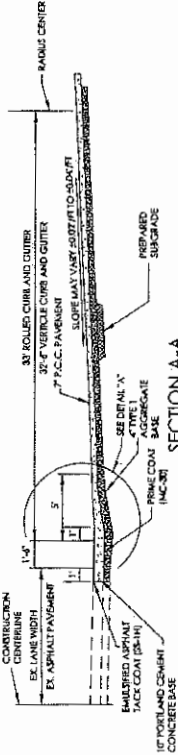
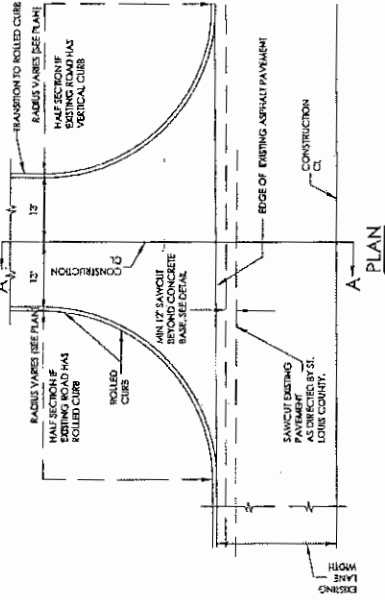


**NOTE: KEYWAY FOR CENTERLINE IS NOT ALLOWED. USE DRILLED BARS OR DOWEL BAR SLEEVES.**



**NOTE: KEYWAY FOR CENTERLINE IS NOT ALLOWED. USE DRILLED BARS OR DOWEL BAR SLEEVES.**

NOTE: EXPOSE EXISTING UTILITIES AND LOCATE X-Y-Z PRIOR TO START OF SEWER CONSTRUCTION

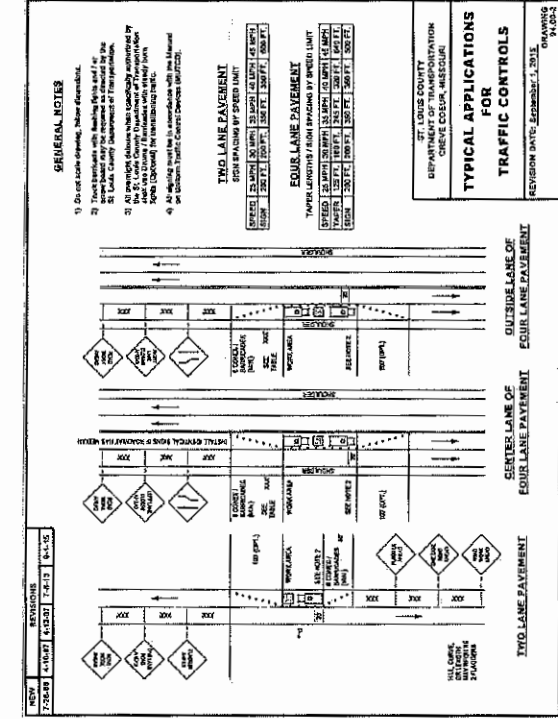


DETAIL A

- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS.
  2. CURBS SHALL BE SYMMETRICAL, ABOUT CONSTRUCTION LINE.
  3. FOR CONSTRUCTION, LANE IS AND OVER, JOURNAL DOWN, PRIOR TO THE PAVEMENT CONSTRUCTION, ST. LOUIS COUNTY SHALL BE ADVISED AND CURB STAMPS SHALL BE USED FOR JOURNAL AND CURB STAMPS, STANDARD DRAWING COBLES.
  4. ALL NECESSARY PAVEMENT MARKINGS BY CITY.
  5. THE DRAWING IS TO BE USED TO STANDARD TYPICAL SECTION.

STANDARD RESIDENTIAL STREET ENTRANCE

DESIGNED BY ST. LOUIS COUNTY



TYPICAL APPLICATIONS FOR TRAFFIC CONTROLS

DEPARTMENT OF TRANSPORTATION  
STATE OF MISSOURI

GENERAL NOTES

- 1) Do not scale drawings, follow dimensions.
- 2) Transition with existing, where applicable.
- 3) All network drawings shall be subject to the approval of the Missouri Department of Transportation.
- 4) All network drawings shall be subject to the approval of the Missouri Department of Transportation.
- 5) All network drawings shall be subject to the approval of the Missouri Department of Transportation.

TWO LANE PAVEMENT  
SPREAD WIDTH BY SPREAD LIMIT

FOUR LANE PAVEMENT  
SPREAD WIDTH BY SPREAD LIMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	10/23/18	ISSUED



DISCLAIMER

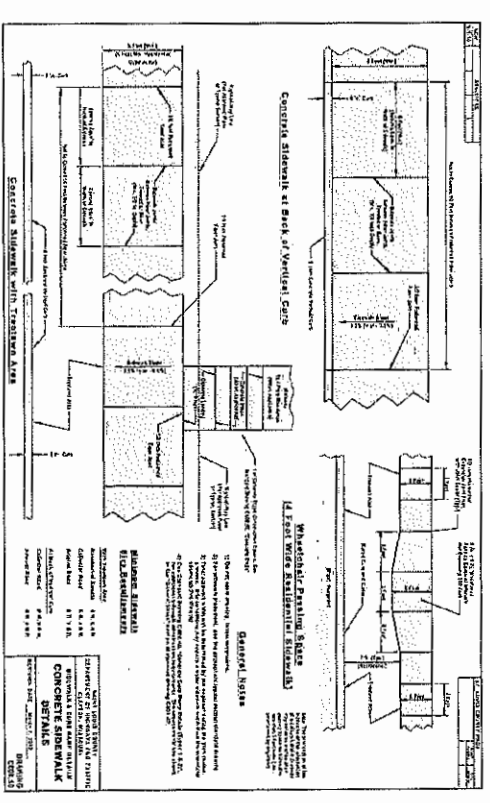
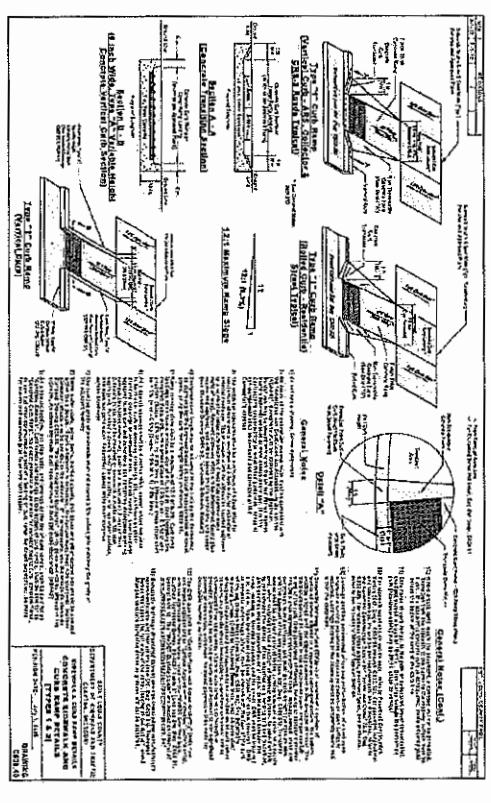
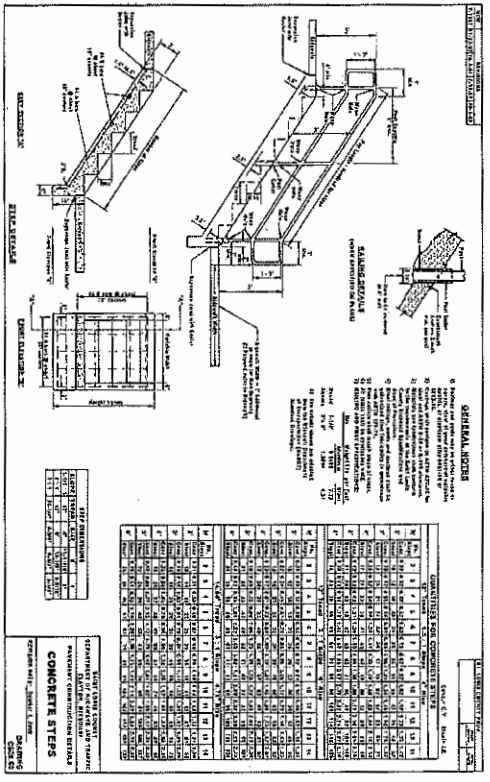
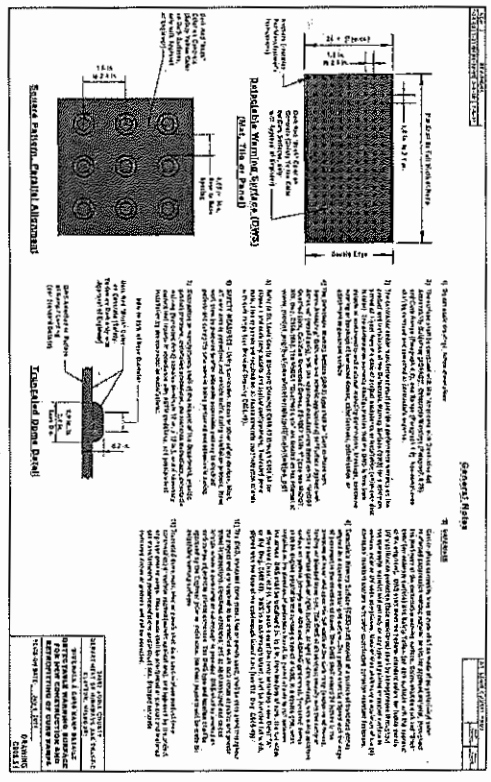
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
STREET DETAILS  
EMMERSON ESTATES

REVISIONS

NO.	DATE	DESCRIPTION
1	10/23/18	ISSUED

DATE: 10/23/18  
PROJECT: EMMERSON ESTATES  
DRAWN BY: DW  
CHECKED BY: [Name]  
SCALE: C10.4B



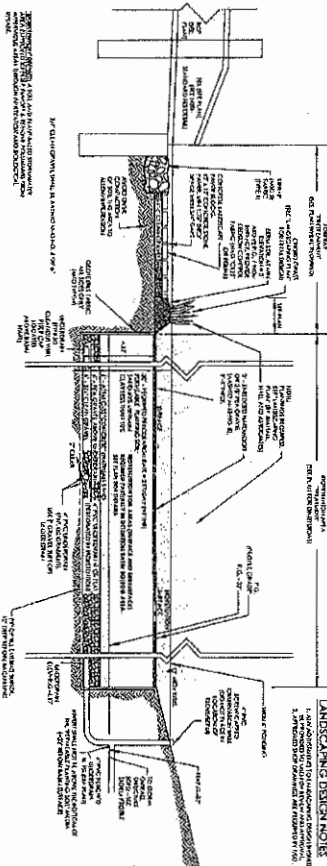
**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
STREET DETAILS

122 N. Kirkwood Road  
Kirkwood, MO 63122  
Phone: 636-938-1400  
Fax: 636-938-1401  
Email: emmerson@emmerstone.com

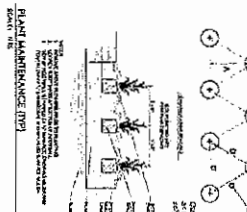
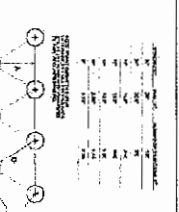
**DISCLAIMER**

THE TRAVEL DEVELOPMENT LLC  
INGARDIA DEVELOPMENT LLC

Seal of the State of Missouri  
1820



**LANDSCAPING DESIGN NOTE**  
 1. ALL CONCRETE SHALL BE 2800 PSI STRENGTH WITH 4% STEEL FIBERS.  
 2. ALL CONCRETE SHALL BE FINISHED WITH A BRUSHED FINISH.  
 3. ALL CONCRETE SHALL BE CURED WITH A WET BURLAP MAT FOR 7 DAYS.



**BMP SUMMARY TABLE**

TOTAL AREA OF LAND DISTURBANCE (A)	TRIBUTARY DRAINAGE AREA (A)	TRIP TO BASIN	BMP DRAINAGE AREA (A)	STRUCT. BMP	STORMWATER CREDIT	NO. STORAGE REQUIRED (CU FT)	NO. STORAGE PROVIDED (CU FT)	C/P REQUIRED (D.F.T.)	C/P PROVIDED (D.F.T.)	NOTES
113	100	1	100	1	0	0	0	0	0	SEE TO INCLUDE SOME CREATE TRIP AREAS NONSTANDARD

NO. OF PLANTS	PLANT SPECIES	PLANT SIZE	PLANT TYPE	PLANT COST	PLANT MAINTENANCE COST
10	...	...	...	...	...
...	...	...	...	...	...

**PLANT MAINTENANCE MAP**  
 This map shows the locations of all plants installed on the site. The map includes a north arrow, a scale bar, and a legend. The legend identifies different types of plantings: 'PLANTING' (represented by a circle with a plant symbol), 'PLANTING MAINTENANCE' (represented by a circle with a plant symbol and a cross), and 'PLANTING MAINTENANCE' (represented by a circle with a plant symbol and a square). The map shows the locations of these plantings throughout the site.

**GENERAL NOTE**  
 1. ALL CONCRETE SHALL BE 2800 PSI STRENGTH WITH 4% STEEL FIBERS.  
 2. ALL CONCRETE SHALL BE FINISHED WITH A BRUSHED FINISH.  
 3. ALL CONCRETE SHALL BE CURED WITH A WET BURLAP MAT FOR 7 DAYS.

**BIORETENTION PREPARATION GENERAL NOTES**  
 1. BIORETENTION AREAS SHALL BE PREPARED IN ACCORDANCE WITH THE FOLLOWING NOTES.  
 2. THE BIORETENTION AREAS SHALL BE PREPARED WITH A 1:1 SLOPE ON THE SIDES.  
 3. THE BIORETENTION AREAS SHALL BE PREPARED WITH A 12 INCH DRAINAGE PIPE AT THE BOTTOM.

**CONTACT RESPONSIBLE FOR BMP MAINTENANCE**  
 The contact responsible for BMP maintenance is the person who installed the BMP. The contact should be notified of any problems with the BMP as soon as they are discovered.

**BMP DRAINAGE AREA NON CALCULATIONS:**

ITEM	DESCRIPTION	AREA (SQ FT)	AREA (SQ YD)
1	...	...	...
...	...	...	...

**DECLARATION:**

I, the undersigned, hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief.

Signature: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Date: \_\_\_\_\_

**TREATMENT:**

NO.	DESCRIPTION	AREA (SQ FT)	AREA (SQ YD)
1	...	...	...
...	...	...	...

**REQUIREMENTS:**

NO.	DESCRIPTION	AREA (SQ FT)	AREA (SQ YD)
1	...	...	...
...	...	...	...

**2008 ILLUSTRATION:**

NO.	DESCRIPTION	AREA (SQ FT)	AREA (SQ YD)
1	...	...	...
...	...	...	...

**DISCLAIMER**  
 The information contained herein is for informational purposes only and does not constitute an offer of insurance or any other financial product. The information is not intended to be used as a basis for any investment decision.

**EMMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 STORMWATER MANAGEMENT FACILITY

122 N. Kirkwood Road  
 Kirkwood, MO 63122  
 Tel: 636.586.4400  
 Fax: 636.586.7306  
 Email: emmerson@emmer.com  
 C/O A. P. KOTCO

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	...	...
...	...	...

**APPENDIX:**

DATE: 10/21/18  
 DRAWN BY: DW  
 CHECKED BY: DW  
 DATE: 10/13  
 PROJECT: C11d



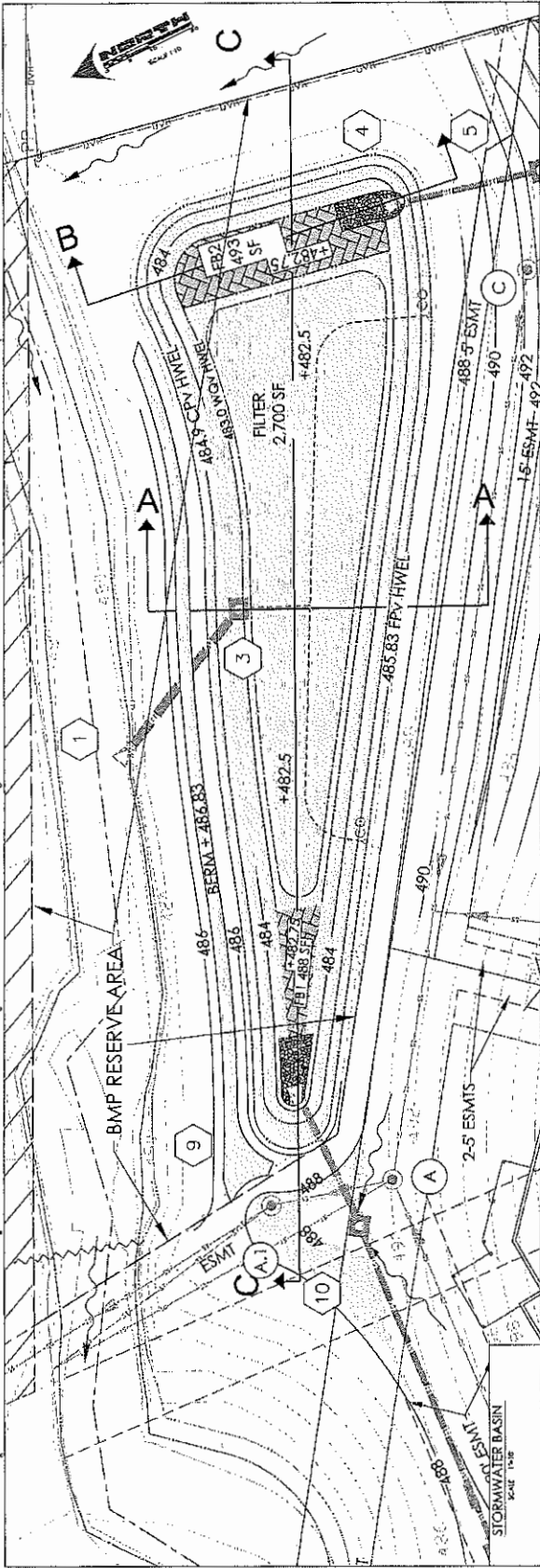
**DISCLAIMER**  
 THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND HAS FOUND NO APPARENT CONFLICTS OR OMISSIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT AND HAS NOT VERIFIED THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS.

**EMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 BASIN SECTIONS  
 123 N. Kirkwood Blvd.  
 St. Louis, MO 63122  
 Phone: (314) 833-1000  
 Fax: (314) 833-1001  
 Email: info@wind.com  
 Website: www.wind.com  
 License No. 10378  
 License Expires 12/31/18

**REVISIONS/STATUS**

No.	Date	Description	By	Check
1	10/23/18	ISSUED FOR PERMITS	DS	DM
2	10/23/18	REVISED PER PERMITS	DS	DM
3	10/23/18	REVISED PER PERMITS	DS	DM
4	10/23/18	REVISED PER PERMITS	DS	DM
5	10/23/18	REVISED PER PERMITS	DS	DM
6	10/23/18	REVISED PER PERMITS	DS	DM
7	10/23/18	REVISED PER PERMITS	DS	DM
8	10/23/18	REVISED PER PERMITS	DS	DM
9	10/23/18	REVISED PER PERMITS	DS	DM
10	10/23/18	REVISED PER PERMITS	DS	DM

**WIND ENGINEERING**  
 CONSULTANTS  
 123 N. Kirkwood Blvd.  
 St. Louis, MO 63122  
 Phone: (314) 833-1000  
 Fax: (314) 833-1001  
 Email: info@wind.com  
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 License No. 10378  
 License Expires 12/31/18

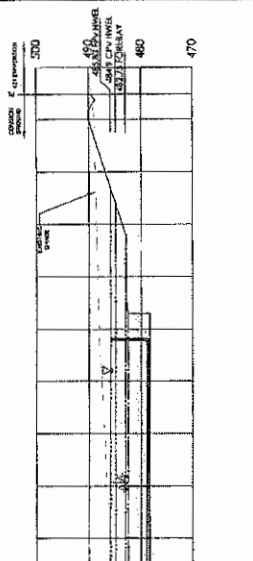
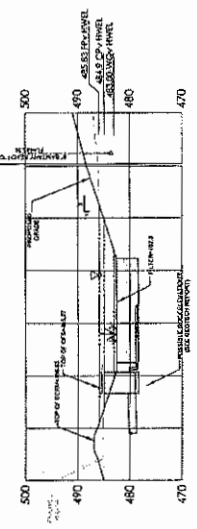
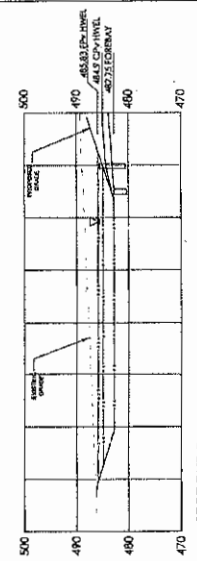


**AREA OF LAND DISTURBANCE**  
 DESIGN DISTURBANCE: 10,714 SQ. FT.  
 CONSTRUCTION DISTURBANCE: 10,714 SQ. FT.  
 TOTAL DISTURBANCE: 21,428 SQ. FT.

**AND NOTE**  
 1. THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND HAS FOUND NO APPARENT CONFLICTS OR OMISSIONS. THE DESIGNER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT AND HAS NOT VERIFIED THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS.

**BIORETENTION (NETTED) BASIN DESIGN AND AS-BUILT VERIFICATION TABLE**

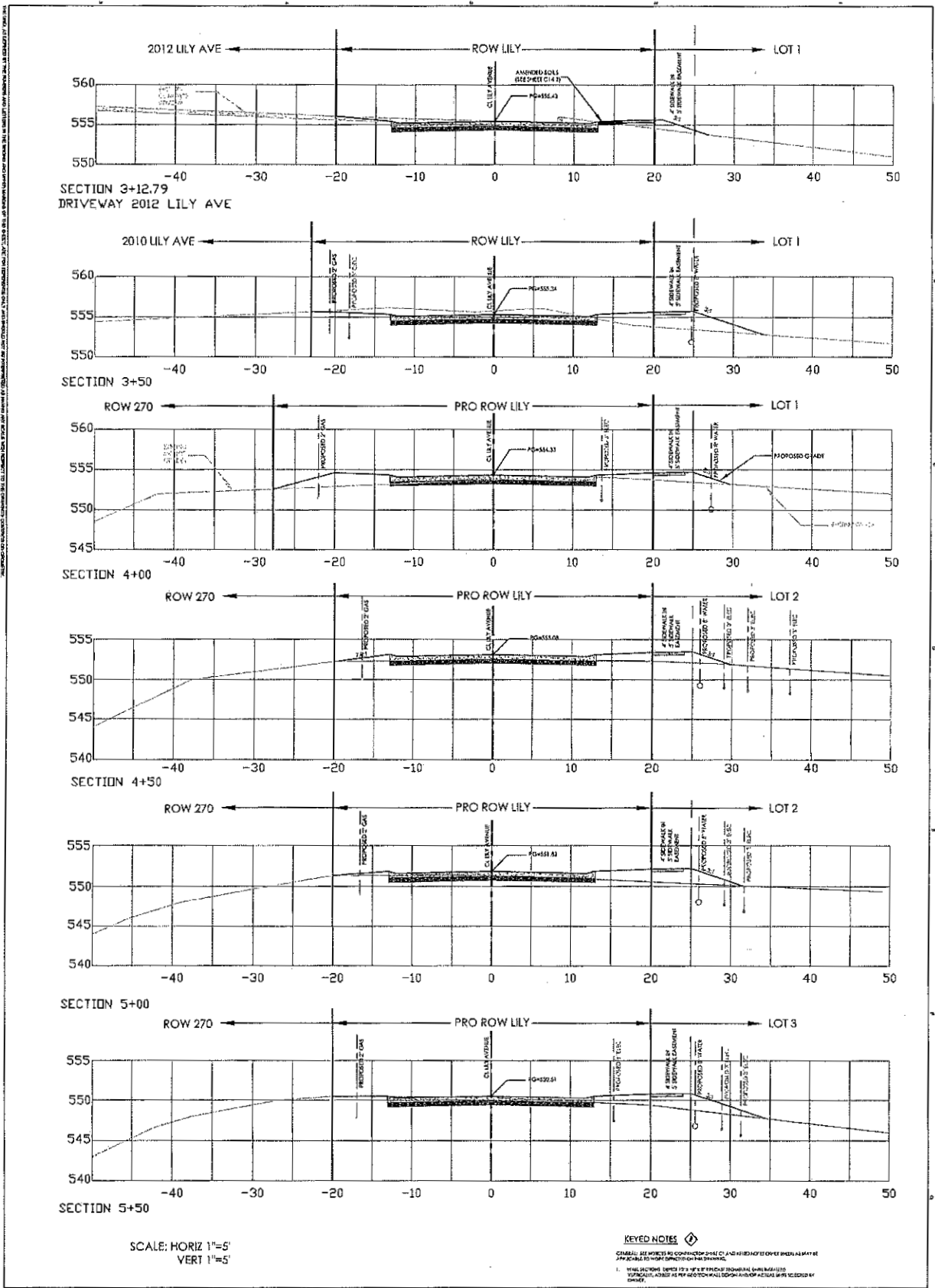
DESCRIPTION	DESIGN	REQUIRED	AS-BUILT
FILTER SURFACE AREA (SF)	2,700	1,256	2,700
FILTER SURFACE ELEV. (FT)	482.50	482.50	482.50
NORTH FOREBAY SURFACE AREA (SF)	484	484	484
NORTH FOREBAY SURFACE ELEV. (FT)	482.75	482.75	482.75
SOUTH FOREBAY SURFACE AREA (SF)	3642	3642	3642
SOUTH FOREBAY SURFACE ELEV. (FT)	482.75	482.75	482.75
WOOD CELL	4137	4137	4137
OVERFLOW SILL ELEV. (FT)	485.05	485.05	485.05
1.5' LOW FLOW ORIFICE ELEV. (FT)	483.00	483.00	483.00
1.5' LOW FLOW ORIFICE POINT IN BYPASS SPILL POINT (LOWEST POINT IN TOP OF BASIN BERM)	486.00	486.00	486.00
OS (MEASUREMENT NOT DETERMINABLE)	484.8	484.8	484.8



THE PLAN IS OWNED BY THE CLIENT. ALL RIGHTS IN THE DESIGN AND CONSTRUCTION OF THE PROJECT ARE RESERVED BY THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS.







SCALE: HORIZ 1"=5'  
VERT 1"=5'

**KEYED NOTES**

GENERAL: SEE NOTES TO CONTRACTOR (S) C-1 AND FIELD NOTES FOR DETAILS AS SHOWN.

1. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND HAS REVIEWED THE DATA FOR APPARENT DISCREPANCIES.

NO. 10	DATE	BY	DESCRIPTION
1	10/27/18	DM	ISSUE FOR PERMIT
2	11/15/18	DM	REVISED FOR COMMENTS
3	11/15/18	DM	REVISED FOR COMMENTS
4	11/15/18	DM	REVISED FOR COMMENTS
5	11/15/18	DM	REVISED FOR COMMENTS
6	11/15/18	DM	REVISED FOR COMMENTS
7	11/15/18	DM	REVISED FOR COMMENTS
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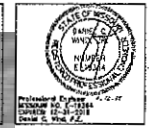
NO. 10	DATE	BY	DESCRIPTION
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2	11/15/18	DM	REVISED FOR COMMENTS
3	11/15/18	DM	REVISED FOR COMMENTS
4	11/15/18	DM	REVISED FOR COMMENTS
5	11/15/18	DM	REVISED FOR COMMENTS
6	11/15/18	DM	REVISED FOR COMMENTS
7	11/15/18	DM	REVISED FOR COMMENTS
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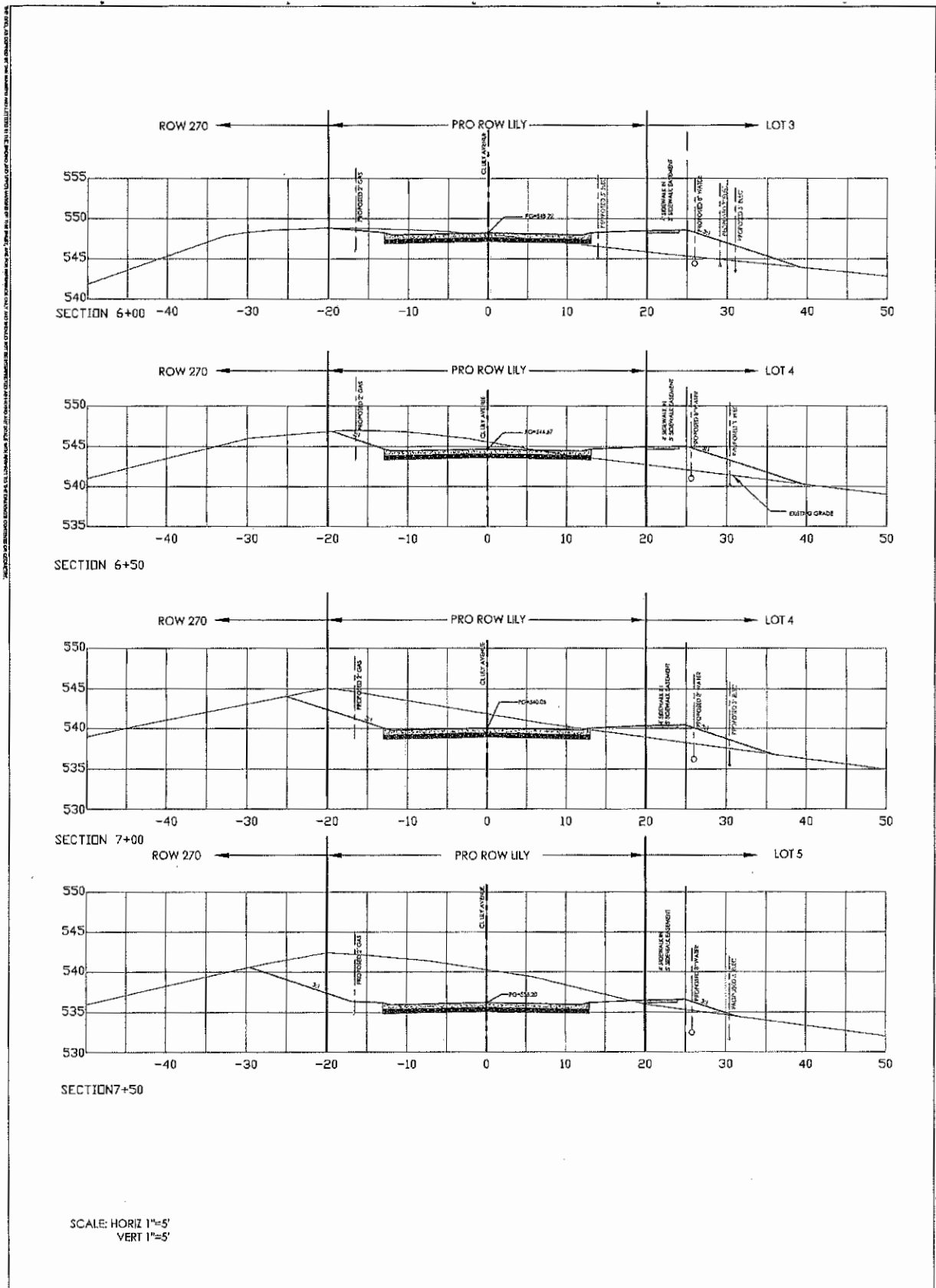
**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
LILY AVENUE SECTIONS

Prepared by	192 AL Kirkwood Road Kirksville, MO 63501 Telephone 314.668.1890 Fax 314.668.1890 Email: emmerston@emmerston.com C.O.A. #8-1007-D	Projector	JIM FRANK INGARDIOLA INGARDIOLA DEVELOPMENT LLC 1011 N. WILSON RD KIRKWOOD, MO 63501 Phone 314.668.1890 Email: jimfrank@emmerston.com
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**DISCLAIMER**

The design of the project is the responsibility of the design engineer and not the contractor. The contractor is responsible for the construction of the project.





SCALE: HORIZ 1"=5'  
VERT 1"=5'

NO.	DATE	BY	DESCRIPTION
1	10/24/18	DZ	ISSUED FOR PERMITS
2	12/03/18	DZ	REVISED PER COMMENTS
3	12/03/18	DZ	REVISED PER COMMENTS
4	12/03/18	DZ	REVISED PER COMMENTS
5	12/03/18	DZ	REVISED PER COMMENTS
6	12/03/18	DZ	REVISED PER COMMENTS
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8	12/03/18	DZ	REVISED PER COMMENTS
9	12/03/18	DZ	REVISED PER COMMENTS
10	12/03/18	DZ	REVISED PER COMMENTS

DESIGNED BY	DZ
CHECKED BY	DZ
IN CHARGE	DZ
DATE	12/03/18
SCALE	AS SHOWN
PROJECT NO.	18-001
SECTION	SECTION 6+00 TO 7+50

**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
LILY AVENUE SECTIONS

Prepared By: **WIND** 122 N. Birchwood Road, Maplewood, MO 63143  
Telephone: 314.865.5400 Fax: 314.866.7560  
E-mail: info@windengineering.com C.O.A. #E-1097-D

Designed By: **MR. FRANK DIMARCIOLA**  
INGENIUM CONSULTANTS, INC.  
1111 S. Brentwood Blvd., St. Louis, MO 63104  
Tel: 314.434.1000  
E-MAIL: frank@ingenium.com

**DISCLAIMER**

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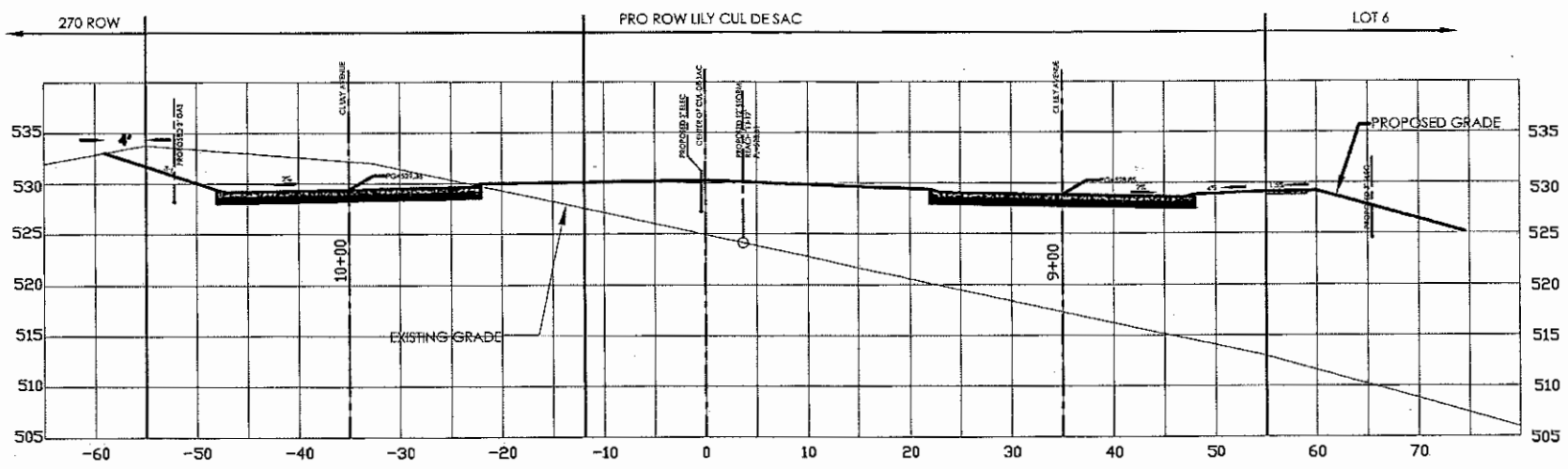
**EMMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 LILY AVENUE SECTIONS

Project by: WIND ENGINEERING COMPANY  
 1227 N. APPROX ROAD  
 KIRKWOOD, MO 64504  
 Phone: 636-483-1899  
 Fax: 636-483-1898  
 E-mail: info@windeng.com  
 C.O.P. # 141013

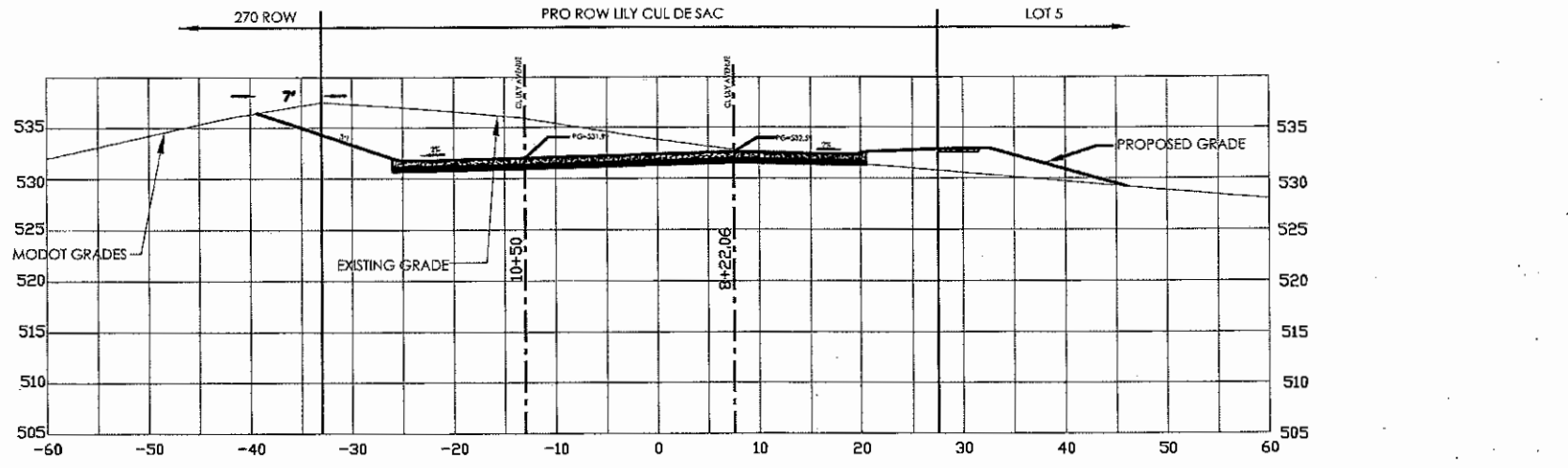
Prepared by: MR. PANK, INGLE, MORIKAWA  
 CONSULTANTS  
 1100 S. MAIN STREET  
 ST. LOUIS, MO 63103  
 Phone: 314-241-2200  
 Fax: 314-241-2201  
 E-mail: info@windeng.com  
 C.O.P. # 141013

NO.	DATE	DESCRIPTION

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DATE: 10/23/18
FILE NAME: DW - Final Elevation DW
DESIGNED BY: GARCIA, D. D. PC
CHECKED BY: DW
DRAWING NO.: 14013
SHEET NO.: C15.4
PROJECT NO.: 18010
DATE: 10/23/18



CUL-DE SAC SECTION 10+00, 9+00  
 SCALE: VERT 1"=5'  
 HORIZ 1"=5'



CUL-DE SAC SECTION 10+50, 8+22.6  
 SCALE: VERT 1"=5'  
 HORIZ 1"=5'



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**EMMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 WATER SYSTEM NOTES AND DETAILS

102 S. GOVERNMENT  
 WIND ENGINEERING, INC.  
 102 S. GOVERNMENT  
 ST. LOUIS, MO 63104  
 PHONE: 314.433.8888  
 FAX: 314.433.8889  
 WWW.WINDENGINEERING.COM

**REVISIONS**

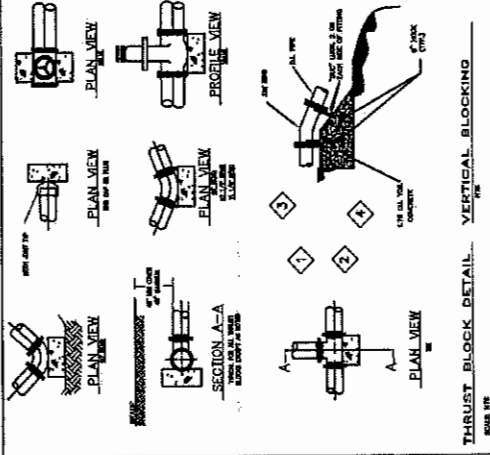
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**WIND ENGINEERING, INC.**  
 102 S. GOVERNMENT  
 ST. LOUIS, MO 63104  
 PHONE: 314.433.8888  
 FAX: 314.433.8889  
 WWW.WINDENGINEERING.COM

DATE: 10/23/18  
 DRAWN BY: DW  
 CHECKED BY: DW  
 PROJECT NO.: 16013  
 SHEET NO.: C15.50

**KEYED NOTES**

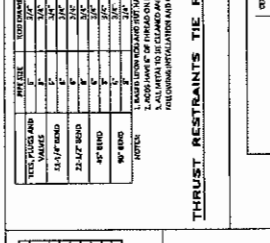
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**THRUST RESTRAINTS TIE ROD CHART**

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

PIPE SIZE	MINIMUM TIE ROD SIZE	MINIMUM TIE ROD SPACING	MINIMUM TIE ROD LENGTH
12" PIPE	1/2"	4'	10'
14" PIPE	3/4"	4'	10'
16" PIPE	1"	4'	10'
18" PIPE	1 1/4"	4'	10'
20" PIPE	1 1/2"	4'	10'
24" PIPE	1 3/4"	4'	10'
30" PIPE	2"	4'	10'
36" PIPE	2 1/4"	4'	10'



**VERTICAL BLOCKING**

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

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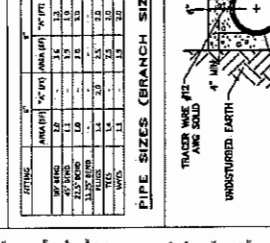
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**PIPE SIZES (BRANCH SIZE FOR WYES & TEES)**

PIPE SIZE	MINIMUM BRANCH SIZE	MINIMUM BRANCH LENGTH
12" PIPE	12"	10'
14" PIPE	14"	10'
16" PIPE	16"	10'
18" PIPE	18"	10'
20" PIPE	20"	10'
24" PIPE	24"	10'
30" PIPE	30"	10'
36" PIPE	36"	10'



**STANDARD WATER AND SEWER SEPARATION**

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

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**DETAIL OF 24" BLOWOFF ASSEMBLY**

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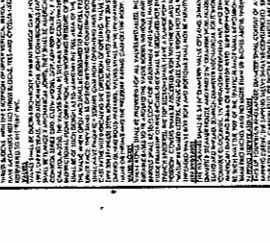
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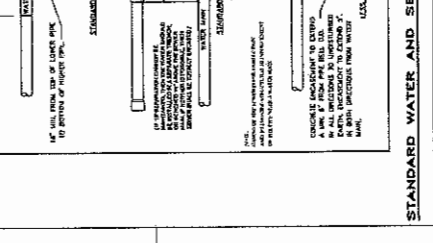
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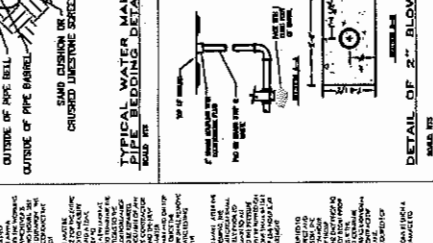
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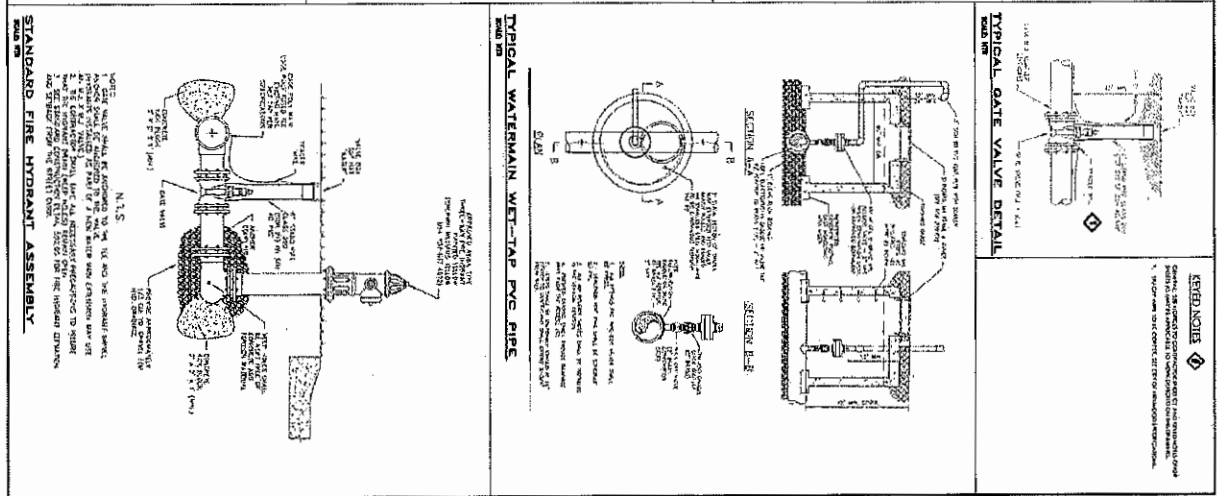
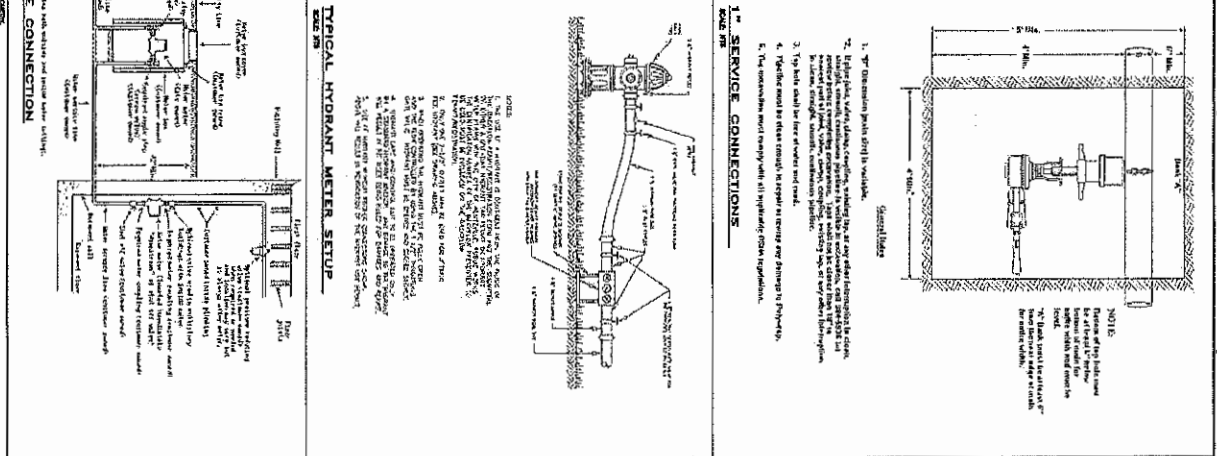
10. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO CENTER UNLESS OTHERWISE NOTED.

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR WATER MAINS AND FITTINGS, AND THE LATEST EDITIONS OF THE SPECIFICATIONS FOR WATER MAINS AND FITTINGS, AND THE LATEST EDITIONS OF THE SPECIFICATIONS FOR WATER MAINS AND FITTINGS.
2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE CITY ENGINEER.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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**EMMERSON ESTATES**  
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
WATER SYSTEM NOTES AND DETAILS

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Kirkwood, MO 63122  
Tel: 636-939-2800  
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Email: emmerson@emmerston.com

THE FRANK SERRAVALLO ENGINEERING DEVELOPMENT LLC  
1111 N. Main St.  
St. Louis, MO 63103  
Tel: 314-433-1111  
Fax: 314-433-1112  
Email: fserra@frank-serra.com

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**REVISIONS:**

NO.	DATE	DESCRIPTION
1	01/15/13	ISSUED FOR PERMITTING
2	02/15/13	ISSUED FOR CONSTRUCTION

**WIND ENGINEERING CONSULTANTS, INC.**  
18013  
C13.5b



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**EMERSON ESTATES**  
**CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO**  
**GRADING PLAN-FINISH TURF**

DESIGNED BY: BISHOP ENGINEERING, INC.  
 11111 BISHOP DRIVE  
 ST. LOUIS, MO 63123  
 TEL: 636-947-1111  
 FAX: 636-947-1112

NO.	DATE	DESCRIPTION
1	10/23/18	ISSUED FOR PERMIT
2	10/23/18	ISSUED FOR PERMIT
3	10/23/18	ISSUED FOR PERMIT
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**WIND ENGINEERING**  
 CONSULTANT  
 10/23/18  
 DW  
 DW  
 10/23/18  
 C16.1



- KEYED NOTES**
1. CONSTRUCTION SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE DRAWINGS.
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**NOTE**  
 THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE SITE.









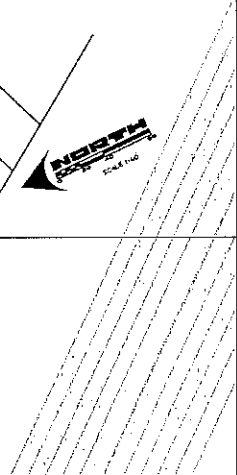
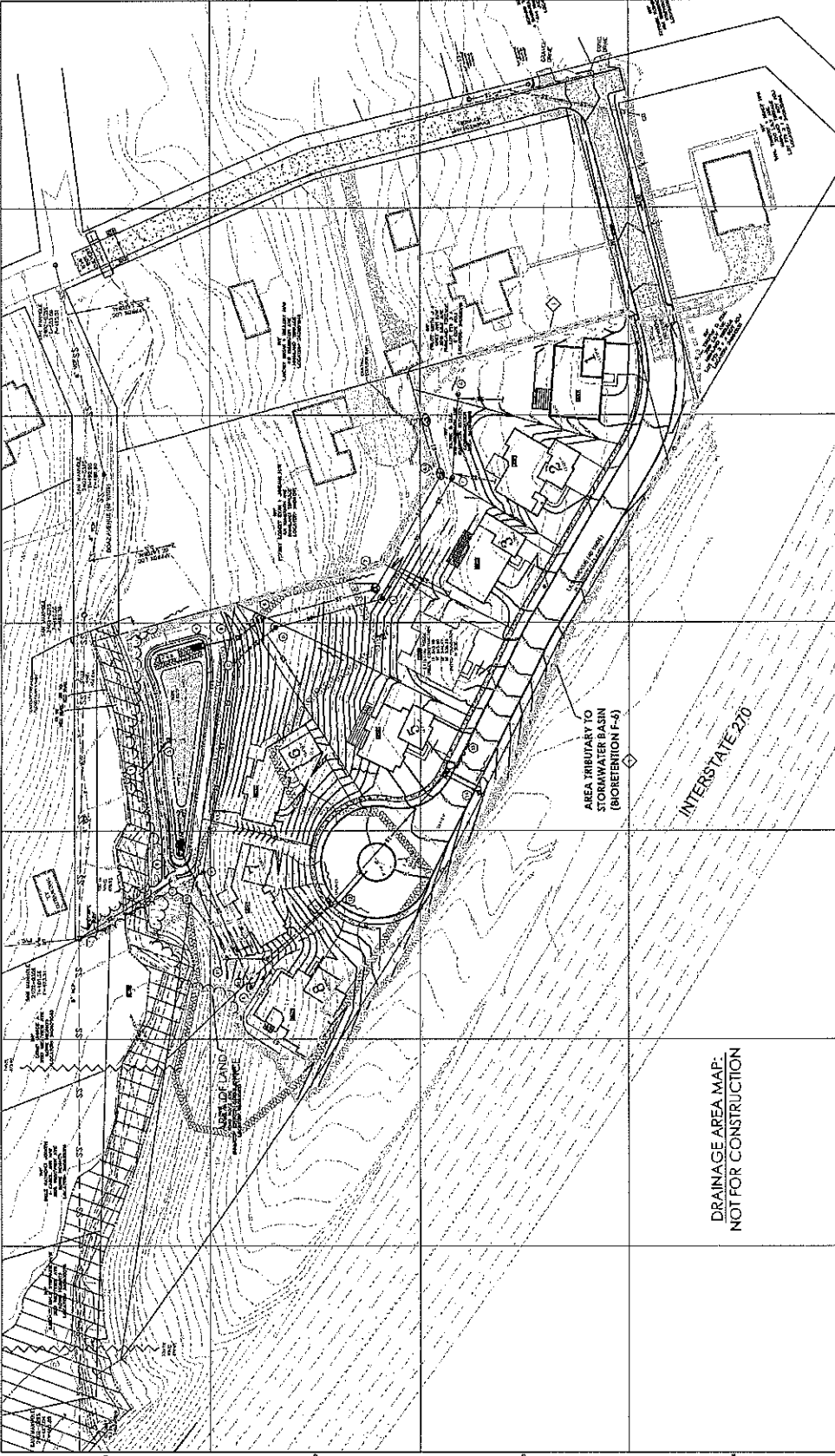
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**EMMERSON ESTATES**  
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO  
 PRO DRAINAGE AREA-BMP

12345 Emmerston Lane  
 St. Louis, MO 63110  
 Phone: (314) 123-4567  
 Fax: (314) 123-4568  
 Email: info@emmerston.com

NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/27/10
2	REVISED	11/10/10
3	REVISED	12/15/10
4	REVISED	01/20/11
5	REVISED	02/25/11
6	REVISED	03/30/11
7	REVISED	04/20/11
8	REVISED	05/15/11
9	REVISED	06/10/11
10	REVISED	07/05/11

**WJD ENGINEERING**  
 COMPANY  
 10227 B  
 ST. LOUIS, MO 63110  
 PHONE: (314) 123-4567  
 FAX: (314) 123-4568  
 WWW: www.wjdeng.com



**KEYED NOTES**

1. ALL SHOWN AREAS TO BE EXCAVATED TO EXISTING FINISH GRADE UNLESS OTHERWISE NOTED.
2. ALL SHOWN AREAS TO BE EXCAVATED TO EXISTING FINISH GRADE UNLESS OTHERWISE NOTED.

**LAND NOTE**  
 THIS IS AN UNDISTURBED AREA. ANY DISTURBANCE TO THIS AREA SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. SEE ATTACHED DISTURBANCE REPORT FOR MORE INFORMATION.

**AREA OF LAND DISTURBANCE**  
 DELINEATED WITH RED LINE

**FUTURE LAND DISTURBANCE**  
 DELINEATED WITH BLUE LINE

**STORMWATER MANAGEMENT NOTE**  
 ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. SEE ATTACHED DISTURBANCE REPORT FOR MORE INFORMATION.

**BMAP SUMMARY TABLE**

LAND DISTURBANCE (A)	TRIBUTARY DRAINAGE AREA (A)	STORM BASIN	IMP. DRAINAGE AREA (A)	STRUCT. BMP	STORMWATER CREAT.	WQ STORAGE REQUIRED (CU FT)	WQ STORAGE PROVIDED (CU FT)	WQ STORAGE DEFICIT (CU FT)	WQ STORAGE SURPLUS (CU FT)	NOTES
372	0.0	0.0	0.0	0	0	0	0	0	0	IMP. DRAINAGE AREA IS NOT DISTURBED. THIS AREA IS NOT DISTURBED.

**DRAINAGE AREA MAP:  
 NOT FOR CONSTRUCTION**

THIS PLAN IS SUBJECT TO THE APPLICABLE AND LATEST EDITIONS OF THE SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS, AS APPLICABLE TO THIS PROJECT.



CITY OF KIRKWOOD, MISSOURI

EMERSON ESTATES
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO.
EMERSON ESTATES
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO.

WIND
12.14 Kirkwood
12.14 Kirkwood
12.14 Kirkwood

REVISIONS SHEET
NO. 1
DATE: 10/23/18

HYDRAULIC DATA SHEET
EMERSON ESTATES
15 YEAR, 20 MINUTE EVENT
DATE: 06-Jan-17

HYDRAULIC DATA SHEET
EMERSON ESTATES
100 YEAR, 20 MINUTE EVENT
DATE: 06-Jan-17

RESOLUTION 92-2019

A RESOLUTION TRANSFERRING FUNDS IN THE AMOUNT OF \$39,940 FROM ACCOUNT #509-2312-482.42.09 TO ACCOUNT #509-2315-482.75.05, PROJECT #SA1902, AMENDING THE CONTRACT WITH SCS ENGINEERS IN THE AMOUNT OF \$39,940 FOR A NOT TO EXCEED AMOUNT OF \$69,940 FOR A SINGLE STREAM RECYCLING CHARACTERIZATION STUDY FOR THE RESIDENTIAL SOLID WASTE COLLECTION AUTOMATION AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO AN AMENDED CONTRACT.

WHEREAS, the City of Kirkwood competitively bid and awarded Residential Solid Waste Collection Automation to SCS Engineers on May 17, 2018, and

WHEREAS, the City has received a grant from the St. Louis – Jefferson Solid Waste Management District to perform a Single Stream Recycling Characterization Study, and

WHEREAS, staff recommends the City amend the contract with SCS Engineers for the Single Stream Recycling Characterization Study in the amount of \$39,940 for a not to exceed of \$69,940, and

WHEREAS, funds in the amount of \$39,940 need to be transferred from Account #509-2312-482.42.09 to Account #509-2315-482.75.05, Project #SA1902.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. Funds in the amount of \$39,940 are hereby transferred from Account #509-2312-482.42.09 to Account #509-2315-482.75.05, Project #SA1902.

SECTION 2. The Mayor is authorized and directed to enter into an amended contract with SCS Engineers in the amount of \$39,940 for a not to exceed amount of \$69,940 for the Single Stream Recycling Characterization Study for the Residential Solid Waste Collection Automation.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

### Step #1:

Strategic Plan NO Goal # & Title

### Background To Issue:

The City has received a grant from the St. Louis - Jefferson Solid Waste Management District to perform a single stream recycling characterization study. Part of this grant is to amend SCS Engineering's current contract with the City to conduct the study in the amount of \$39,940. This fee will be reimbursed by the grant.

### Recommendations and Action Requested:

It is recommended that the City Council approve an amendment to SCS's contract No. 12535 in the amount of \$39,940 for a recycling characterization study.

Also, authorize the transfer of \$39,940 from account 509-2312-482.42-09 to 509-2315-482.75-05 SA1902

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$39,940.00 Account #: 50923154827505 Project #: SA1902 Budgeted: NO

If YES, Budgeted Amount: If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Bill Bensing

Date: 6/7/2019

Authenticated: bensinwe

You can attach up to 3 files along with this request.



SCS-Kirkwood Contract  
Amendment .pdf  
Adobe Acrobat Document  
24.4 KB



Kirkwood Detailed  
Submittal.pdf  
Adobe Acrobat Document  
425 KB

File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. **(Must have Purchasing Director's approval).**

Approve

Purchasing Director's Comments:


Contract 12535 was authorized by council through resolution 84-2018 in the amount of not to exceed \$30,000 with SCS Engineers. This request is for a contract amendment in the amount of \$39,940 for a recycling characterization study to be issued to SCS Engineers.


BY: David Weidler


Date: 6/12/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

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Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Transfer of Funds

From Account # or Fund Name: 509-2312-482.42-09

To Account # or Fund Name: 509-2315-482.75-05 SA1902

Finance Director's Comments:

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

---

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

CHANGE ORDER PURSUANT TO AGREEMENT  
BETWEEN SCS ENGINEERS AND CLIENT FOR PROFESSIONAL SERVICES

CHANGE ORDER #1

**1. Scope of Services to be Changed:**

SCS will be amending Contract Number 12535 that was signed on May 23, 2018. The scope of services in Contract Number 12525 included tasks for assisting Kirkwood, Missouri with the implementation and promotion of an automated collection system for trash. This contract will be amended to include the following tasks for identifying the most prevalent contaminants in recyclables, reducing contamination through an education and engagement campaign (EEC) and monitoring the impact of the EEC.

- Conduct an initial waste characterization study to establish baseline profile of contamination in recyclables
- Analyze waste characterization data
- Develop question and answer fact sheet
- Communicate with media
- Design resident letter and magnets
- Prepare advertisements and articles for City newsletters
- Design and deploy Waste Wizard Waste Sorting Game
- Conduct a second waste characterization study to determine the impact of the EEC

The entire scope is provided in Attachment A (Grant Application).

**2. Schedule to be Changed:**

Not applicable

**3. Compensation to be Changed:**

The Change Order will be for \$39,940, to be funded through a grant from the St. Louis County Health Department

**4. Special Provisions:**

No special provisions.

Change Order #1  
SCS Project Number 27218185.00

**5. Agreement by the Parties:**

The parties have caused this Change Order to be executed by their duly authorized representatives.

SCS ENGINEERS:

CITY OF KIRKWOOD:

BY: \_\_\_\_\_

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

City of Kirkwood Municipal Waste  
Diversion Grant Application



St. Louis County Department of Public Health  
Solid Waste Management Program


April 26, 2019



WHERE COMMUNITY AND SPIRIT MEET

Kirkwood, Missouri  
Sanitation Division  
345 S. Fillmore Ave.





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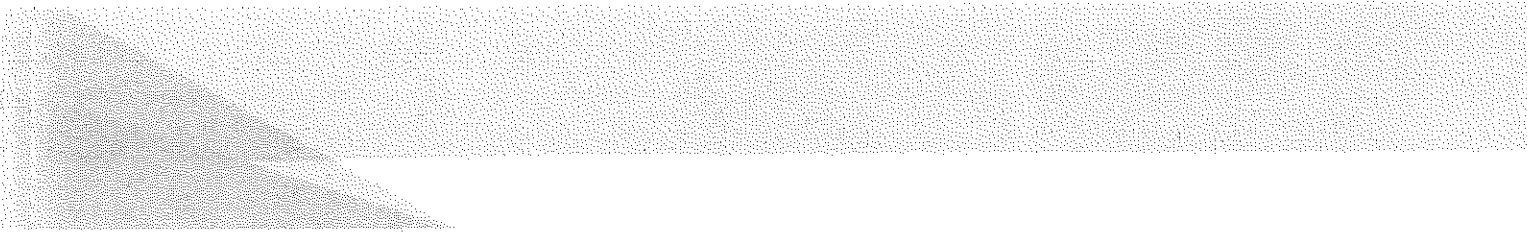
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2 Scope of Work and Timeline .....	3
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Field Work .....	5
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### **1 EXECUTIVE SUMMARY**

The City of Kirkwood (City) has historically been a leader within the recycling and waste materials handling industry. The City has one of the longest running drop-off center in the State of Missouri with its construction and operation of the Francis Scheidegger Recycling Depository (Depository) in 1971. In 2011, the City launched its curbside recycling program that is operated using carts and fully-automated vehicles. By 2018, over 90 percent of City residences were participating in the curbside program with each residence setting out an average of over 800 pounds of recyclables each year.

The City has a contract with Resource Management-St. Louis, LLC (Resource Management) to accept the following single-stream recyclables:

- Post-consumer containers
  - Glass bottles (clear, brown and green) Aluminum beverage cans (UBCs), trays and foil
  - Aseptic packaging and gable top beverage containers (milk and juice cartons)
  - Steel food and beverage cans and tins
  - PET containers (#1 clear and green plastic resin) such as soda, water and flavored drink bottles
  - HDPE-natural containers (#2 clear plastic resin) such as milk, water and juice beverage jugs
  - HDPE-color containers (#2 colored plastic resin) such as detergent and fabric softener containers
  - PVC narrow neck containers (#3 plastic resin) such as health and beauty aid products and household cleaners.
  - LDPE grocery item containers (#4 plastic resin) such as margarine tubs, frozen desert cups, six and twelve pack rings.
  - PP grocery item containers (#5 plastic resin) such as yogurt cups, and narrow neck syrup and ketchup bottles.
  - #7 plastic resin grocery item narrow neck containers
  - 1 to 5 gallon buckets, such as kitty litter containers
  
- Post-consumer fiber
  - Newspaper, including inserts
  - Cardboard (excluding waxed cardboard)



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Section	Page
– Kraft (brown paper) bags	
– Magazines, catalogs and telephone books	
– Office, computer, notebook and gift wrap paper (no <i>metal</i> clips, spirals or binders)	
– Chipboard (cereal, cake and food mix boxes, gift boxes, etc.)	
– Carrier stock (soda and beer can carrying cases)	
– Junk mail and envelopes (no plastic cards, slick on labels or unused stamps)	
– Paperback books (no hard cover books)	

Resource Management charges the City's \$15 per ton to process single-stream recyclables and residuals in the City's single-stream recyclables cannot exceed 5 percent. Resource Management has been the only processor used by the City since implementing curbside recycling program.

In August 2018, Resource Management informed the City they would cease accepting single-stream recyclables after October 31, 2018 because of changes in international markets, specifically by China's decision to no longer accept mixed recyclables due to high contamination levels. Since that time, the City has exhaustively explored alternative options for processing single-stream recyclables.

Several processors have expressed interest, but tipping fees could significantly increase and the variety of recyclables they accept may decrease. In addition, the volatility of the international markets may further limit the types of recyclables the City can accept curbside in the future. Regardless of the processor chosen, it is essential that loads of recyclables from both the curbside program and Depository are free of contaminants in order for recycling to continue in Kirkwood.

Therefore, the City greatly appreciates the Saint Louis County Department of Health Waste Management Program providing an opportunity for the City to receive funding for characterizing the quantity and composition of contaminants in the City recyclables (Characterization Study) and developing a multi-faceted education and engagement campaign (EEC) to describe what can and more importantly, what cannot be recycled to reduce contamination under the new processing contract. An initial Characterization Study will consist of evaluating contaminants before the ECC to establish a baseline. A second study will occur approximately six months after the ECC is launched to assess its impact on the quality of recyclables, and provide the City with data to modify the EEC message. The EEC will include media relations, printed materials (such a direct mail), and digital content. For the Characterization Study, media relations, and printed materials components of the EEC, the City will collaborate with the SCS Engineers Team.

The SCS Team is already under contract with the City to assist with the conversion to a City-wide automated trash collection system in 2019. While the automated trash collection system includes an education and outreach element, it was not designed to address the recent changes to recycling markets and challenges in curbside recycling associated with Resource Management's recent decision. Consequently, a "how to recycle correctly" campaign in light of the dynamic conditions of recycling in the region and internationally would be highly beneficial. An education program that

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focuses on how to recycle correctly needs to recognize exactly what is incorrect about the current system, which is why characterizing the contaminants in the recycling stream is important.	
While a print media campaign is essential to notify residents of changes in recycling, the City believes this needs to be supplemented by a digital platform that is interactive and can be quickly modified in case the processor modifies the recyclables that can be accepted. Therefore, the City will include ReCollect Systems on this project. ReCollect Systems is a technology company that combines deep expertise in solid waste and recycling with technology that works for governments, including Columbia, Missouri. ReCollect is composed of leaders in public policy, recycling and solid waste communications, behavior change, and technology. The City will be using two ReCollect Systems platforms: <i>Waste Wizard</i> and <i>Waste Sorting Game</i> .	
<i>Waste Wizard</i> allows residents to enter a material or item into a search function (such as a plastic soda bottle). The <i>Wizard</i> then immediately returns instruction about how to recycle or dispose of the material, and if appropriate, how the item should be prepared. <i>Waste Wizard</i> can be set up to inform residents about recyclables that can be accepted in the curbside program as well as at the Depository. The instructions regarding recycling, disposal, and preparation will be specific to the City and can be updated if materials accepted by curbside program or Depository change. For items that are appropriate for disposal but could instead be diverted through donation, the <i>Wizard</i> can also be programmed to provide the contact information for organizations that may accept the divertible materials.	
In the <i>Waste Sorting Game</i> , the player is presented with a series of materials, each of which must be dragged into the correct stream before proceeding to the next level. An incorrect choice requires the player to choose again. The <i>Waste Sorting Game</i> will provide the City with a virtual waste audit - the number of wrong guesses associated with the most frequently wrongly placed materials, and the number of times for each material in each wrongly chosen waste stream. This feature is of particular interest to the City as it will provide information to target outreach campaigns based on prevalent contaminants, such as plastic bags.	
Details on both of these digital platforms, as well as the print media aspect of the EEC is presented in the scope and timeline.	

## 2 SCOPE OF WORK AND TIMELINE

### WASTE CHARACTERIZATION SCOPE OF WORK

Below is the scope of work that will be used to establish a baseline for contaminants in the City curbside recyclables and the impact of the ECC on contaminants. The scope of work includes the following tasks:

- Project Coordination
- Field Work
- Data Analysis
- Final Report



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The Field Work subtasks will be the same for both the initial and post-ECC waste characterization events.

### **Project Coordination**

Upon project initiation, SCS will conduct a conference call with the City and their recycling processor to identify the recyclable contaminant categories. It is important the processor is included at this stage as one of the goals of this pilot program is for the City to deliver highly-marketable loads of recyclables to the processor. SCS will also work with the City clarify the quantities of recyclable materials collected on each route in order to develop the sampling plan, coordinate with a local temporary staffing firm for the provision of four sorters, and finalize a health and safety plan. SCS will provide:

- Labor to conduct the sampling and sorting activities, including an SCS Crew Chief
- Training on safety practices typical of these kinds of projects and training necessary for accurate recyclable material composition studies
- Personal protective equipment for all sorters, and other equipment to accurately sort materials and record the data

The City will provide:

- A level and hard work surface that is approximately 20 feet by 40 feet
- One heavy equipment operator and the equipment necessary to obtain samples from loads of recyclable materials and deliver them to the sorting area
- Access to washroom facilities, including running water and bathroom
- On-site coordinator that is available to help identify vehicles for sampling or otherwise provide guidance on issues that may arise during field activities
- The following field sort supplies:
  - Sort Box or Table: A box/table (approximately 6 feet by 3 feet) that can be made of plywood, plastic, or another material capable of supporting at least 75 pounds.
  - Scale: This scale should have a range of zero to at least 100 lbs. and be scaled in fractions of a pound.
  - Plastic Containers: These bins serve as containers for the sort categories. There will be one container for each material to be sorted.
  - Shovel and Push Broom: To keep the work area clean and safe.
  - Tarps: May be necessary to cover samples of materials in the “queue” for sorting.

SCS will work closely with the City to plan for and execute field activities. We will finalize the field protocol based on the following criteria:



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<ul style="list-style-type: none"><li>• <b>Sorting Location</b> – A covered area that is approximately 20 feet by 40 feet is necessary to conduct the sampling and sorting. This can be in a garage or warehouse-type building. SCS can provide two 10'x10' portable tents to shield the samples and sorting area from sun and precipitation.</li><li>• <b>Sample Transfer</b> – Once a sample is identified and screened by SCS, it may need to be transported to the sorting location. SCS understands the City will provide the equipment and staff to obtain the sample from the discharged load and transfer it to the sorting location.</li><li>• <b>Site Communications</b> – SCS staff will need to coordinate sampling operations with knowledgeable staff to answer questions, clarify source of recyclables, and plan the sampling program for each day.</li></ul>	

### Field Work

#### Number of Samples

The City operates three recycling routes per day, and recyclables are collected Monday through Thursday, for a total of 12 routes per week. SCS will collect and sort up to 36 samples over a four-day period: approximately 9 samples per day or three samples per route. Samples will be approximately one cubic yard in size, with SCS personnel instructing the City equipment operator to obtain the same volume of materials from each selected sample.

#### Sample Acquisition

Given the limited size of the data set, it is important that simple random sampling (and the potential for unrepresentative data) be avoided. At the City's facility, the collection vehicles and materials will be screened in three distinct ways to confirm representativeness of the sample. The screening methods include:

1. **Communication with City Staff** – SCS will maintain regular contact with the designated point person to help identify loads of recyclable materials originating from the 12 routes targeted for sampling under this study.
2. **Interview with Drivers** – To further screen collection vehicles, SCS staff will briefly interview the driver to confirm the source of the materials contained in the collection vehicle. SCS will record the driver name, date/time of sampling, source of recyclable materials by program name, and other details of the load.
3. **Inspection of Recyclable Materials** – SCS will direct the driver of a vehicle to a designated location to discharge the load of recyclable materials. Upon discharge, SCS staff will inspect the entire load of materials. If unusual characteristics or conditions are observed that call into question the representativeness of the materials, the load will not be sampled.

The SCS Crew Chief will consider these two important methodological factors when sampling loads of recyclable materials:

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1. The target vehicle selected for sampling will contain representative recyclable materials received at the facility; and	
2. The process of acquiring the sample will not, in itself, alter the apparent composition of recyclable materials.	

The load selected for sampling will be visually separated into approximately four subsections. The SCS Crew Chief will randomly select a subsection to be sampled and direct the equipment operator to obtain the sample from the subsection to transport to the sorting location.

### Sorting Procedure

The sorting and weighing program for recyclable contaminants will entail the use of one sorting crew and an associated SCS Crew Manager. Fundamental to this task will be a consistent, methodical, statistically valid sampling program to be conducted each of the four days.

The basic procedures and objectives for sorting (as described below) will be identical for each sample. Samples will be placed upon a sort box and/or table for sorting procedures described below. The sort box and/or table will be approximately six feet long and three feet wide. It will be placed upon sawhorses and stand approximately three to four feet high.

Sorting will be performed by a sort crew under the supervision of the SCS Crew Manager. Sorting will be performed as follows:

1. The sort crew will transfer the sample of recyclable materials to the sort box/table until it is full and begin sort activities.
2. Sort crew members will manually segregate each item, according to the sort category list (discussed below), and place it in the appropriate container. These steps will be repeated until the whole sample has been sorted.
3. At the completion of sorting each sample, the containers of the sorted materials will be moved to the scale where the SCS Crew Manager will weigh each container of materials and record the net weight on the unique Sort Data Sheet generated for every sample. Measurements will be made to the nearest 0.1 pound.

This three-step process will be repeated until all of the day's required samples have been characterized.

Samples of recyclable materials will be maintained in an as-disposed condition (or as close to this as possible). Proper site layout and close supervision of sampling will be maintained to avoid the need to handle sampled materials multiple times. SCS will minimize sampling bias or other impacts on the integrity of the data. To this end, field sampling will be coordinated to avoid holidays and other out-of-ordinary events. During actual sampling, the Crew Chief keep accurate records of weather (particularly moisture) encountered and any other relevant factors.

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### Temporary Labor

SCS will utilize four temporary staff from a local labor agency. SCS plans to maintain a core group of staffing for sorting for the duration of the project as a consistent staff throughout the four-day sort improves the quality of their support. Additionally, SCS invests significant time in training staff on the material categories to sort and building a team-focused work atmosphere. Finally, SCS relies on a consistent staff so that materials are sorted accurately and efficiently.

### Health and Safety

SCS maintains an ongoing health and safety program that consists of medical monitoring, safety training, health and safety plans, and operating procedures. All of our field personnel and most of our professional staff have 40-hour health and safety training under OSHA 29 CFR 1910.120 (hazardous waste operations), and are certified to perform work corresponding to Level B and lower protection. Personnel involved with both hazardous and municipal waste field investigations attend periodic safety training programs and refreshers.

A major component of SCS's health and safety program is the site-specific health and safety plan for the SCS Crew Manager and all temporary labor. A site-specific plan is prepared for all projects where hazardous materials and/or situations might be encountered. The SCS Health and Safety Program is overseen by our staff Certified Industrial Hygienist (CIH) and Certified Safety Professional (CSP).

### Data Analysis

Data from the field activities will be used to calculate the percentage of contaminants by the various collection routes. To complete this task, SCS will:

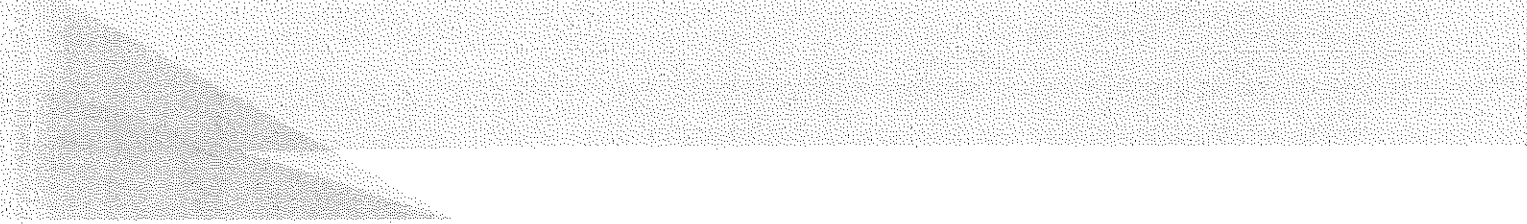
- Perform data entry and analysis - Following on-site data collection, SCS staff will enter data recorded from the sample data sheets into a customized database.
- Conduct quality control measures to confirm accuracy of data entered - The data entered will be verified for accuracy and adherence to hand-written sampling forms.
- Provide standard statistical analysis to estimate the mean composition (weight and percent), standard error, and confidence intervals at the ninety percent (90%) confidence level for each individual material category. These calculations will be done to develop a composition profile unique to each recycling route.

### Final Report

SCS will complete a comprehensive final report that will include the following information:

- Executive summary
- Introduction and background for the study





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Section	Page
<ul style="list-style-type: none"><li>• Discussions of the methods used to complete the study</li><li>• Summary of the recyclable materials sampling and sorting plan</li><li>• Data collection and analytical techniques deployed</li><li>• Summary of the number of samples characterized by program and overall</li><li>• Detailed discussion of contamination observations by program type including:<ul style="list-style-type: none"><li>– Percent contamination</li><li>– Number of units</li><li>– Weight of contaminants</li></ul></li><li>• Summary of findings and conclusions</li></ul>	

### **ECC SCOPE OF WORK**

At this time, it does not appear that the type of materials residents can set out will be affected by the new processor. However, the City recognizes the importance of preparing residents and elected officials that change may be necessary. It is important to encourage recycling curbside and at the Depository but most importantly: how to recycle properly. Consequently, the City is proposing an ECC to promote good recycling practices in order to improve the quality of recyclables collected by the City and delivered to the Depository. At this point the theme of the campaign is "Don't Trash Recycling; When in Doubt, Throw it Out." However, this may be modified. The ECC would be comprised of the following:

- Question and answer fact sheet
- Media relations
- Letter and magnets
- Advertisements
- City newsletters
- Waste Wizard
- Waste Sorting Game

The ECC will begin in August 2019, after the initial waste characterization study is complete.

### **Print**

#### Question and Answer Fact Sheet

From past experience, the SCS Team knows it is common for residents to have questions and concerns about changes to recycling programs early on. Therefore, the SCS Team will prepare a question and answer fact sheet for City Council, *Kirkwood Konnect* and Kirkwood customer service. The SCS Team will also work with the City's IT department to post the question and answer fact sheet on the City's website.

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### Media Relations

The City anticipates beginning service with the new processor by early November and the Baseline Characterization being conducted in early December. Thus, in early January, the SCS Team and Beth Von Behren from the City of Kirkwood will pursue a meeting with Don Corrigan, editor of the *Kirkwood-Webster Times* (or his designee) to review the new recycling service and increase awareness of what can and cannot be recycled.

### Letters and Magnet Inserts

In mid-January, a 1 to 2 page letter will be mailed to residents explaining what can't be recycled. The letter will contain a magnet that will reinforce this message.

### Advertisement

The Division will purchase an ad in the *Kirkwood-Webster Times* approximately in mid-January. The SCS Team will provide one camera-ready newspaper advertisement that will align with the refrigerator magnets. The City will purchase another ad in the *Kirkwood-Webster Times* one week after to the launch of the ECC digital content, which will mostly likely be late February or early March

### City Newsletters

Both the *Eye on Kirkwood* and *Trash Talk* newsletters have editions that will be published in January 2019 to remind residents of what and how to recycle. A second article will be published in both newsletters after the ECC digital content is launched.

## Digital

Below is an overview of the digital products the City will purchase if grant funds become available.

### Waste Wizard

*Waste Wizard* is an on-line platform that will allow City residents and businesses input a material and receive immediate information on where it can be recycled (i.e., curbside or the Depository) or disposed, and how it should be prepared. *Waste Wizard* will also identify locations where the material can be donated. *Waste Wizard* includes "fuzzy" search technology, meaning that results are returned regardless of any typos or misspellings. It also contains a pre-existing database of thousands of items to help the City get started and will allow the City to create "aliases" for materials that have more than one name (e.g., soda and pop).

In addition, *Waste Wizard* will allow the City to:

- Access activity and reporting dashboard to get detailed statistics about:

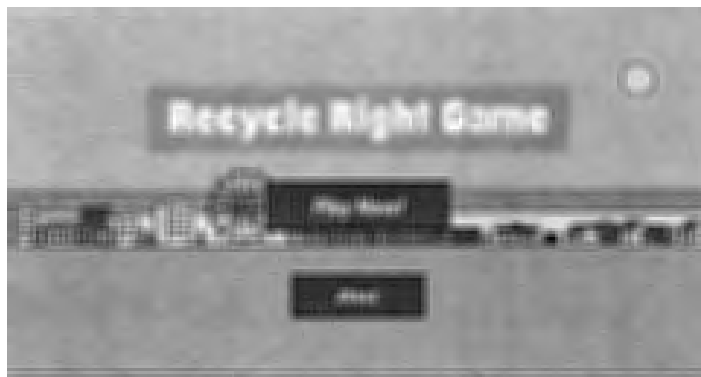
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Section	Page
<ul style="list-style-type: none"><li>– usage</li><li>– most searched for items</li><li>– items searched for that are not in the wizard (so they can be added)</li></ul>	
<ul style="list-style-type: none"><li>• Easily modify the program to:<ul style="list-style-type: none"><li>– Add or edit items for trash collection, curbside recycling, and the Depository</li><li>– Set special instructions for each item</li><li>– Customize content to include maps of donation locations results, along with operating hours</li><li>– Add “synonyms” to items so that local variations in terminology, along with common spelling mistakes and typos will provide the correct result.</li></ul></li><li>• Download a monthly activity report, or have it automatically emailed to staff.</li></ul>	

### WasteSortingGame

In the *Waste Sorting Game*, the player is presented with a series of materials, each of which must be dragged into the correct stream before proceeding to the next. An incorrect choice requires the player to choose again. After the completion of the level (six correct choices), the player is rewarded with a choice of items from which to construct their personal, virtual park.

After completing all five levels, the player is presented with the opportunity to create and print a certificate of completion.



The following aspects of Waste Sorting Game will be customized to specifically reflect Kirkwood:

- Cityscape — incorporate Kirkwood’s skyline and landmarks
- Collection streams — associate materials with curbside and the Depository. Cart colors and sizes will be customized for Kirkwood
- Name of the game (i.e., Don’t Trash Recycling)

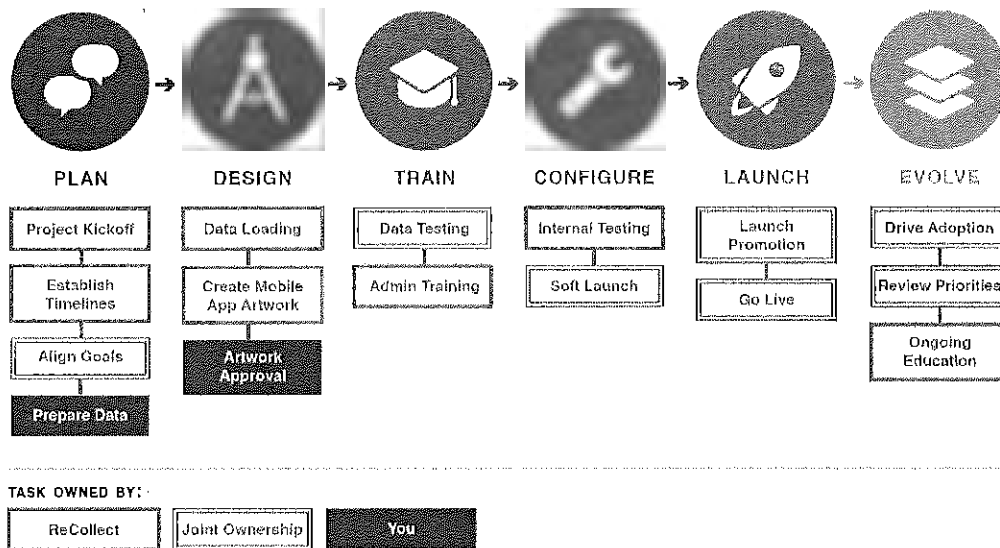
The *Waste Sorting Game* aggregates usage data to provide the following metrics to the City:

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Section		Page
	<ul style="list-style-type: none"> <li>• A virtual waste audit: this provides information about wrongly placed materials (number of wrong guesses, items most frequently misplaced, and the number of times each material was placed in the incorrect stream).</li> <li>• Areas of the City that may require additional outreach on what can and can't be recycled.</li> <li>• Monthly reporting of number of game plays and top misunderstood items.</li> </ul>	

Although each implementation of *Waste Wizard* and the *Waste Sorting Game* is different, the average amount of time it takes to get these platforms up and running and ready to launch is about two months. Figure 1 depicts the interactive process that ReCollect will use with the City to design these digital outreach programs.

Figure 1. ReCollect Process



## SCHEDULE

Table 1 provides a schedule for this project that is based on the City receiving grant funds by July 1, 2019 and initiating the project by July 1, 2019. If the award date for the grant is different, the City will adjust the schedule accordingly.

## Table of Contents

Section

Page

Table 1. Schedule

Activity	Date
Waste Characterization Coordination	July 8 – July 15
Initial Characterization	July 22 – 25
Baseline Characterization Data Analysis	August 1 – 16
ECC Kick-Off Meeting	August 26
Question & Answer Fact Sheet	Mid to September
Design and Deploy <i>Waste Wizard</i> and <i>Waste Sorting Game</i>	Mid-October to mid-November
Media Relations	Early December
Residential Customer Letters and Magnets	Mid-January
Launch <i>Waste Wizard</i> and <i>Waste Sorting Game</i>	Late February
<i>Kirkwood-Webster Times</i> Newspaper Advertisements	Late January and Early March
<i>Eye on Kirkwood</i> and <i>Trash Talk</i> newsletter articles	January and March
Post-ECC Characterization	June 3–6
Post-ECC Data Analysis	June 15-30
Final Report	July 30

### 3 PROJECT COST

Table 2 shows the costs for this project.

Table 2. Budget

Activity	Kirkwood Direct	Kirkwood Consultant	Kirkwood In-Kind Labor	Kirkwood In-kind Materials
Waste Characterization Coordination and Project Management		\$2,100	\$1,500	\$10,450 <sup>1</sup>

## Table of Contents

Section	Page			
Activity	Kirkwood Direct	Kirkwood Consultant	Kirkwood In-Kind Labor	Kirkwood In-Kind Materials
Initial Characterization and Data Analysis		\$12,500	\$1,815	
ECC Kick-Off Meeting		\$950 <sup>2</sup>		
Question & Answer Fact Sheet		\$850		
Design and Deploy <i>Waste Wizard</i> and <i>Waste Sorting Game</i>	\$6,000	\$1,160		
Media Relations		\$1,370	\$360	
Residential Customer Letters and Magnets	\$1,800 <sup>3</sup>	\$1,500		\$7,500 <sup>4</sup>
<i>Kirkwood-Webster Times</i> Newspaper Advertisements	\$975 <sup>5</sup>	\$1,500		
<i>Eye on Kirkwood</i> and <i>Trash Talk</i> Newsletter Articles			\$720	
Post-ECC Characterization and Data Analysis		\$9,760	\$1,815	
Final Characterization Report		\$8,250	\$600	
<b>TOTAL</b>	<b>\$8,775</b>	<b>\$39,940</b>	<b>\$6,810</b>	<b>\$17,950</b>

<sup>1</sup> Eight days of loader and fuel; field sorting supplies

<sup>2</sup>Based on kick-off meeting occurring in the same week of initial characterization

<sup>3</sup> Includes 10,000, 2-color, 3"x3" refrigerator magnets. Assumes postage will be paid by the City as in-kind service

<sup>4</sup> Printing and mailing letters to \$10,000 homes

<sup>5</sup>Includes two black & white, 1/2-page newspaper advertisements

## Table of Contents

SectionPage

### 4 QUALIFICATIONS

The project will be managed by William E. Bensing, Jr., Director of Public Services for Kirkwood, Missouri. Mr. Bensing has 30 years of experience in all aspects of public works management, operations, team development and community relations.

Mr. Bensing will be joined by SCS, who has a long history of working with clients to help them assess the recyclable materials collected as part of their programs. Table 3 provides a summary of select projects that demonstrate our experience of working with clients to calculate contamination rates for different types of recycling programs.

Table 3. SCS Recycling Characterization Project Examples

Project Name	Period Work Was Completed	Description of Work Performed
Recycling Characterization Study <b>Monterey Regional Waste Management District</b>	Ongoing	SCS completed a three-week field effort to assess contamination and composition of curbside collected single-stream recyclables from both residential and commercial sources. SCS developed a sampling plan that specified the number of samples required to achieve desired precision on contamination proportions for multiple cities and haulers.
Recycling Residuals Characterization Study <b>Alameda County (StopWaste), CA</b>	Ongoing	SCS is completing a two-season characterization study of MRF residuals at four privately owned facilities in Alameda County. Sample materials were gathered from processing lines specific for C&D waste, MSW, and single-stream curbside collected recyclables. Data and information gathered through this study will help StopWaste evaluate programs for reducing materials sent for landfill disposal.
Recycling Characterization Study <b>The George Washington University</b>	2018	The George Washington (GW) University collaborated with SCS to implement a study that characterized and quantified the amount of recyclable materials in the solid waste stream. This study also characterized the quantities and types of contamination in the recycling stream in an effort to refocus GW's education and outreach efforts on what materials are acceptable for recycling.

## Table of Contents

Section	Page	
<b>Project Name</b> <b>Period Work Was Completed</b> <b>Description of Work Performed</b>		
Waste/Recycling Characterization Study City of Culver City, CA	2018	SCS completed a comprehensive citywide characterization study of Culver City's commercial waste stream, recycling stream, and organics streams. The study sampled representative portions of the commercial waste and recycling streams to identify opportunities for increased diversion and reduced contamination of recyclable materials.
Recycling Characterization Study City of Pensacola, FL	2016	SCS developed a sampling plan and managed fieldwork to sample and sort various source-separated recycling loads at the City's contracted MRF. SCS assessed contamination as well as estimated the composition of recyclables collected by the City.

SCS also has extensive experience designing education and awareness strategies to increase recycling and help communities achieve their goals, whether those goals are increased participation, zero waste, or significant diversion.

Finally, ReCollect will be supporting Kirkwood in designing and deploying a digital outreach campaign. ReCollect's implementation methodology is based on the successful implementation of hundreds of projects and learning best practices from industry leaders. With every customer, ReCollect is focused on long-term program success, not just the technology. This framework is designed to drive buy-in and adoption.

Launched in 2009, today ReCollect is used by millions of residents across North America. From small villages to large urban centers, from municipal services to private haulers, ReCollect helps make waste management programs more efficient and successful. Communities that have worked with ReCollect include:

- Austin, TX
- Boulder, CO
- Cambridge, MA
- Cape May County, NJ
- Charlotte, NC
- Columbia, MO
- Dallas, TX
- Key West, FL
- Washington, DC



RESOLUTION 84-2018

A RESOLUTION ACCEPTING THE PROPOSAL OF SCS ENGINEERS IN THE AMOUNT NOT TO EXCEED OF \$30,000 (WHICH INCLUDES A CONTINGENCY OF \$4,610) FOR RESIDENTIAL SOLID WASTE COLLECTION AUTOMATION AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, a Request for Proposals was developed and proposals were received for Residential Solid Waste Collection Automation, and

WHEREAS, a Selection Committee consisting of the Director of Procurement, Assistant Director of Procurement, Sanitation Superintendent, Director of Parks and Recreation, and Director of Public Services reviewed the proposals, and

WHEREAS, the Selection Committee recommends SCS Engineers as the most qualified to provide Residential Solid Waste Collection Automation, and

WHEREAS, funds are available in Account #509-2315-482.75.05, Project #SA1902, and

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The proposal of SCS Engineers in the amount not to exceed of \$30,000 (which includes a contingency of \$4,610) for Residential Solid Waste Collection Automation is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with SCS Engineers in the amount not to exceed of \$30,000 (which includes a contingency of \$4,610) for Residential Solid Waste Collection Automation.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 17<sup>TH</sup> DAY OF MAY 2018.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
Deputy City Clerk

RESOLUTION 94-2019

A RESOLUTION ACCEPTING THE BID OF KELPE CONTRACTING IN THE NOT TO EXCEED AMOUNT OF \$1,054,327.12 (WHICH INCLUDES A CONTINGENCY OF \$95,847.92) FOR NORTHLIN AND SOUTHLIN DRIVE WATER MAIN REPLACEMENT AND STREET AND SIDEWALK RECONSTRUCTION AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, pursuant to law, the City obtained bids for Northlin and Southlin Drive Water Main Replacement and Street and Sidewalk Reconstruction, and

WHEREAS, the most responsible bid received was that of Kelp Contracting in the not to exceed amount of \$1,054,327.12 (which includes a contingency of \$95,847.92) and which bid acceptance is approved by the Chief Administrative Officer and recommended by the Director of Procurement and the Director of Public Services, and

WHEREAS, funds are available in Account #301-1401-600.75.14, Project #PW2001, and in Account #505-2215-481.75.15, Project #WA2002.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The bid of Kelp Contracting in the not to exceed amount of \$1,054,327.12 (which includes a contingency of \$95,847.92) for Northlin and Southlin Drive Water Main Replacement and Street and Sidewalk Reconstruction is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with Kelp Contracting in the not to exceed amount of \$1,054,327.12 (which includes a contingency of \$95,847.92) for Northlin and Southlin Drive Water Main Replacement and Street and Sidewalk Reconstruction.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan YES      Goal # & Title    Goal 5. Invest for the future through infrastructure. Objective C.2

### Background To Issue:

The street pavement and water main on Northlin and Southlin Drive require reconstruction. The Engineering and Water departments contracted with Bax Engineering to design plans for the replacement of the streets, sidewalks, water mains and appurtenances. The project also includes reconstruction of driveway aprons, tree removals, ADA curb ramps and pavement markings. Bid advertisements for the project were sent to contractor's through the Procurement Department. Kelpe Contracting submitted a low bid of \$958,479.20

### Recommendations and Action Requested:

It is recommended the City Council accept the bid submitted by Kelpe Contracting for construction services and authorize an additional amount of \$95,847.92 contingency for a total contract amount of \$1,054,327.12

### Alternatives Available:

Does this project have a public information component?     Yes     No

Cost: \$1,054,327.12    Account #: 30114016007514    Project #: PW2001    Budgeted: YES

If YES, Budgeted Amount: \$1,054,327.12    If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

301-1401-600.75-14 PW2001 = \$568,385.07

505-2215-481.75-15 WA2002 = \$485,942.05

BY: Ted Dunkmann

Date: 6/7/2019

Authenticated: dunkmatj

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. (Must have Purchasing Director's approval).

Approve

Purchasing Director's Comments:

BY: David Weidler

Date: 6/12/2019

Authenticated: weidledc

*You can attach up to 3 files along with this request.*



13068 Resolution Letter.pdf  
Adobe Acrobat Document  
274 KB

File Attachment

File Attachment

Step #3: If budgetary approval is required (**Must have Finance Department's approval**).

Budgetary Approval

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19

June 12, 2019

To: Russell B. Hawes, Chief Administrative Officer

**For Your Consideration:** Northlin/Southlin- Watermain Replacement and Street & Sidewalk Reconstruction, Bid # 13068

Sealed bids were publicly opened on May 22<sup>nd</sup>, 2019. The bid tabulation is as follow:

<u>Vendor</u>	<u>Total</u>
Kelpe Contracting	\$958,479.20
Bommarito Construction	\$1,301,379.00
Spencer Contracting	\$1,381,194.35
Bates Utility	\$1,398,388.00

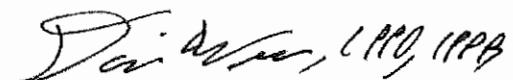
Bid requests were also sent to Above and Below Contracting, LLC, ADB Utility Contractors, Arrow Drilling, Inc., AWC Equipment Co. LLC., Bi-State Utilities Co., Boehmer Bros. Utility Supply, C.E. Bollmeier Company, Inc., Corrigan Company, Enterprise Industrial Construction, Inc, Excel Utility Contractors, LLC, Frank C Mitchell, Fred M Luth & Sons, Inc., G & S Construction, Gershenson Construction, Heneghan and Associates, P.C., IMCO Utility Supply, J H Berra Construction, J.M. Marschuetz, K. J. Unnerstall, Karsten Equipment Co, Kelpe Contracting Inc, Lamke Trenching Excavating, MB Mitchell LLC, Pangea Group, Piffel Excavating Company, Property Services Industries LLC, Reinhold Electric, Inc., S. J. Louis Construction, Inc., Schulte Supply, Southern Ditching & Excavating Co., Spencer Contracting, Tap Utilities, LLC., Truss Brothers Construction Co, Underground Solutions, Unnerstall Contracting, Waterwork Specialties, Inc., and XL Contracting Inc; however they did not submit bids.

The bid was provided to Ted Dunkmann, City Engineer, and Clarence Patterson, Water Superintendent, for review. It is recommended that the bid be awarded to Kelpe Contracting, as their bid of \$958,479.20 is the lowest responsive and responsible bid meeting specifications.

Funds are available in account number 301-1401-600.75-14, project number PW2001, in the amount of \$568,385.07 and in account 505-2215-481.75-15 project number WA2002, in the amount of \$485,942.05.

Attached is a request from Ted Dunkmann, City Engineer, for a resolution authorizing a contract to be issued to Kelpe Contracting in the amount of \$958,479.20 with a contingency of \$95,847.92 for a total not to exceed value of \$1,054,327.12.

Respectfully,



David Weidler, CPPO, CPPB  
Director of Procurement

RESOLUTION 96-2019

A RESOLUTION ACCEPTING THE PROPOSAL OF EFK MOEN IN THE NOT TO EXCEED AMOUNT OF \$145,365.11 FOR PRELIMINARY AND RIGHT-OF-WAY PLANS ON MANCHESTER ROAD AND AUTHORIZING AND DIRECTING THE MAYOR TO ENTER INTO A CONTRACT.

WHEREAS, a request for proposals was developed and proposals were received for Preliminary and Right-of-Way Plans on Manchester Road, and

WHEREAS, MoDOT is designing roadway improvements on Manchester Road from Kirkwood Road westward to I-270, and

WHEREAS, MoDOT's planned work is focusing on ADA improvements within this corridor and resurfacing the roadway with asphalt, and

WHEREAS, the Engineering Department is requesting that the City contract with MoDOT's design firm, EFK Moen, to provide design of enhancements to the MoDOT project within the City limits on Manchester Road, and

WHEREAS, staff recommends EFK Moen as the most qualified to provide Preliminary and Right-of-Way Plans on Manchester Road in an amount not to exceed \$145,365.11, and

WHEREAS, funds are available in Account #301-1401-600.75.14, Project #PW2001.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. The proposal of EFK Moen in the not to exceed amount of \$145,365.11 for Preliminary and Right-of-Way Plans on Manchester Road is hereby accepted and approved.

SECTION 2. The Mayor is hereby authorized and directed to enter into a contract with EFK Moen in the not to exceed amount of \$145,365.11 for Preliminary and Right-of-Way Plans on Manchester Road.

SECTION 3. This Resolution shall be in full force and effect after its passage and approval.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF JUNE 2019.

\_\_\_\_\_  
Mayor, City of Kirkwood

ATTEST:

\_\_\_\_\_  
City Clerk

# Legislation Request

## Resolution

Place On The Agenda Of: 6/20/2019

Step #1:

Strategic Plan NO

Goal # & Title

### Background To Issue:

The Missouri Department of Transportation (MODOT) is designing roadway improvements on Manchester Rd. from Kirkwood Rd. westward to interstate 270. MODOT's planned work is focusing on ADA improvements within this corridor and resurfacing the roadway with asphalt. The Engineering Department is requesting that the City contract with MODOT's design firm EFK Moen to provide design of enhancements to the MODOT project within the City limits on Manchester Rd. The enhancements will mirror the design of the current project along Manchester Road east of Kirkwood Road.

MODOT has authorized EFK Moen to utilize base plans and surveys developed under MODOT's project which would save the City funding if City contracted independently with another engineering firm. Preliminary design and ROW plans will be funded from the FY20 budget. Development of the final plans, specifications, and estimates will be funded in FY21.

### Recommendations and Action Requested:

It is recommended that the City Council accept the proposal from EFK Moen in the amount of \$145,365.11 to provide preliminary and ROW plans on Manchester Rd.

### Alternatives Available:

Does this project have a public information component?  Yes  No

Cost: \$145,365.11 Account #: 30114016007514 Project #: PW2001 Budgeted: YES

If YES, Budgeted Amount: \$145,365.11 If NO, or if insufficient funding (Complete Step #3).

### Department Head Comments:

BY: Ted Dunkmann

Date: 6/10/2019

Authenticated: dunkmatj

*You can attach up to 3 files along with this request.*

 File Attachment

 File Attachment

 File Attachment

Step #2: If request involves approval of bids, contracts, proposals, purchases, etc. (Must have Purchasing Director's approval).

Approve

Purchasing Director's Comments:

MoDOT sought qualifications and contracted EFK Moen for MoDOT project 6S3259. In conjunction with the services provided for MoDOT, the City wishes expand the scope of EFK Moen to provide design of enhancements to the MODOT project on Manchester Road in the City of Kirkwood. EFK Moen will be able to utilize existing data provided through MoDOT project 6S3259 to reduce the anticipated City expenditures. If approved EFK Moen will enter into an agreement with the City for not to exceed \$145,365.11.


BY: David Weidler


Date: 6/12/2019

Authenticated: weidledc

You can attach up to 3 files along with this request.

 File Attachment

 File Attachment

 File Attachment

Step #3: If budgetary approval is required (Must have Finance Department's approval).

Budgetary Approval

From Account # or Fund Name:

To Account # or Fund Name:

Finance Director's Comments:

BY: John Adams

Date: 6/12/2019

Authenticated: adamsjr

Step #4: All Requests Require Chief Administrative Officer Approval for Placement on Meeting Agenda.

Approve     Diasapprove

Chief Administrative Officer's Comments:

BY: 

Date: 6-13-19



13193



CITY OF KIRKWOOD  
139 S. Kirkwood Road  
Kirkwood, MO 63122

Approved: \_\_\_\_\_

Date: \_\_\_\_\_

- NEW
- RENEWAL

APPLICATION FOR LIQUOR LICENSE

Type of License Requested:

All applicants must pay \$20 Background check plus a \$20 check must be made out to: Mo Highway Patrol

- Intoxicating Liquor by the Drink, Not including Sunday \$450.00
- Intoxicating Liquor by the Drink, Plus Sunday \$550.00
- Intoxicating Liquor in Original Package, Not including Sunday \$150.00
- Intoxicating Liquor in Original Package, Plus Sunday \$450.00
- Malt Liquor by Drink, Not Including Sunday \$200.00
- Malt Liquor by Drink, Plus Sunday \$500.00
- Malt Liquor in Original Package, Not including Sunday \$22.50
- Malt Liquor in Original Package, Including Sunday \$322.50
- Malt Liquor and Wine by the Drink, Not including Sundays \$225.00
- Malt Liquor and Wine by the Drink, Including Sundays \$525.00
- Wholesaler/Distributor Intoxicating Liquor, All Kinds \$375.00
- Wholesaler/Distributor Intoxicating Liquor, =<22% Alcohol by Weight \$150.00
- Wholesaler/Distributor Intoxicating Liquor, =<5% Alcohol by Weight \$75.00
- Picnic License (\$25.00 for first day, \$10.00 for each additional day) No organization shall obtain permits for more than 7 days per year. Date of event: \_\_\_\_\_ Place event will be held: \_\_\_\_\_

\*\*Establishments licensed to sell intoxicating liquor in the original package may apply for and obtain a license to conduct wine tasting on the premises of the licensed establishment for an additional fee of \$25.00.

Name of Company: GOPINATHJI LLC - Kirkwood Deli

Location Address: 500 WESSEX AVE. Phone: 314-966-6699

Name of Owner of Business: PAUL PATEL Phone: 314-229-6541

Address of Owner: 12426 DUNEDIN LN ST. LOUIS, MO. 63146

Name of Managing Officer: PAUL PATEL Phone: 314-229-6541

Address of Managing Officer: 12426 DUNEDIN LN ST. LOUIS, MO. 63146

Date of Birth: \_\_\_\_\_ Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Place of Birth: INDIA

Driver's License #: \_\_\_\_\_ Social Security \_\_\_\_\_

Do you have an interest in any liquor license which is now in \_\_\_\_\_  
If so, give details \_\_\_\_\_

Have you previously held a liquor license of any type? Yes  
If so, give details OWNER OF LIQUOR STORE

Have you ever had a liquor license suspended or revoked? No  
If so, give details \_\_\_\_\_

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to toxicating liquor? No  
If so, give details \_\_\_\_\_

Paul Patel  
Signature of Applicant

PAUL PATEL  
Print Applicant's Name

**APPLICATION FOR TEMPORARY  
OUTDOOR PROMOTIONAL VARIANCE**

Business or Organization Seeking Variance:

Superior Land Concessions

Name of Business Owner or Manager Seeking Variance:

Shane DeVoght

Address or Location of Variance Site:

10901 Manchester Rd

Description of Activity Needing Variance Including Dates and Times:

Selling Stanley Cup Hockey merchandise  
From June 27 to ~~July 12~~ July 26, 2019  
from 8am-8pm daily

Applicant's Telephone Number: 941 323 0314

Email Address, if applicable: SuperiorLandConcessions@gmail.com

If Applicant is not the Property Owner Provide Name and Contact Phone Number of Owner or Property Manager\*: Dee Polker

\*Approval from the Property Owner or Property Manager, prior to submittal to City of Kirkwood.

How Many Parking Spaces Will Be Affected: one



Signature of Applicant  
Or Applicant's Representative

6-4-2019

Date

*If Possible, please sketch an approximate location of the event in relation to closest buildings.*

*Return this completed form to Laurie Asche, City Clerk, via fax (314-822-5863) or email: [aschelb@kirkwoodmo.org](mailto:aschelb@kirkwoodmo.org)*

# Temporary Merchants License Form

Name of Business: Superiorland Concessions DBA L&G concessions  
Business Address: 5717 Fruitville Rd #160 Mailing Address: \_\_\_\_\_  
City, State & Zip: Sarasota City, State & Zip: FL 34232  
Dates Operating: 6-7-2019 Business Phone #: 941 323 0314  
Nature of Business: T-shirt Sales (hockey) \*Tax ID Number: 257 346-95  
Location of event: 10901 Manchester Rd  
Owner's Name: Shane DeVaughn

## \*Required

### Businesses Reporting on Gross Receipts Basis:

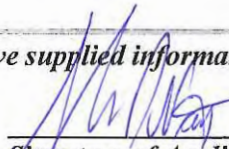
The license fee is \$1.50 per one thousand of gross receipts. \$2.00 per one thousand if operating in the Special Business District.

A cash deposit up to \$1,500.00 is required. (Minimum of \$25.00 daily)

Your fee is \$1.50 per \$1,000 of gross receipts. (Example: if your Gross receipts are \$100,000; take \$100,000 divided by \$1,000 = \$100). Your license fee is \$150. (Please note that the minimum license fee is \$25.00 per day).

Please fill in the Estimated sales: \$ \_\_\_\_\_

The above supplied information is true and correct to the best of my knowledge and belief:

  
Signature of Applicant

6-4-2019  
Date

\*For additional information, contact Kris Houska at (314) 984-6944 or visit our website at [www.kirkwoodmo.org](http://www.kirkwoodmo.org)

Superiorland Concessions  
5317 Fruitville Rd #160  
Sarasota, Florida 34232  
941-323-0314

### LETTER OF PERMISSION

1. Dee Palker One Stop BP  
(Print Full Name) (Business Name)

10901 Manchester Rd  
(Street Address)

Kirkwood MO-63122 618-616-3562  
(City) (State) (Zip) (Area Code)(Phone Number)

Do hereby grant permission to Superiorland Concessions, a special events merchandiser, to sell Hockey merchandise at the above or listed addresses. (Team/Event)

In consideration, Superiorland Concessions, agrees to pay the sum of \$ 50.<sup>00</sup> per DAY per location, for the exclusive rights to sell the above mentioned merchandise at above address.

June 2019  
This agreement, to set up as soon as possible, is valid seven (7) days a week, for two (2) to six (6) weeks, through Hockey Merchants with exclusive rights as not to allow other vendors to rent the same space and sell similar products. My agent and the business named above shall keep a copy of this agreement to avoid any problems in representation.

ACCEPTED BY:

[Signature]  
(Signature)

[Signature]  
(Special Events Coordinator)

06/04/19  
(Date)

6/4/2019  
(Date)

**APPLICATION FOR TEMPORARY  
OUTDOOR PROMOTIONAL VARIANCE**

Business or Organization Seeking Variance:

Superiorland Concessions

Name of Business Owner or Manager Seeking Variance:

Shane DeVoght

Address or Location of Variance Site:

401 N Kirkwood Rd

Description of Activity Needing Variance Including Dates and Times:

Selling Standy eq merchandise  
From June 27 - ~~July 3~~ July 1<sup>st</sup>, 2019  
from 8am to 8pm daily

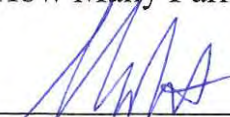
Applicant's Telephone Number: 941 - 323 - 6314

Email Address, if applicable: SuperiorlandConcessions@gmail.com

If Applicant is not the Property Owner Provide Name and Contact Phone Number of Owner or Property Manager\*: Rick Crats

\*Approval from the Property Owner or Property Manager, prior to submittal to City of Kirkwood.

How Many Parking Spaces Will Be Affected: one

 6-4-2019  
Signature of Applicant Date  
Or Applicant's Representative

*If Possible, please sketch an approximate location of the event in relation to closest buildings.*

*Return this completed form to Laurie Asche, City Clerk, via fax (314-822-5863) or email:  
[aschelb@kirkwoodmo.org](mailto:aschelb@kirkwoodmo.org)*

# Temporary Merchants License Form

Name of Business: Superiorland Concessions DBA L&G concessions  
Business Address: 5317 Fruitville Rd Mailing Address: \_\_\_\_\_  
City, State & Zip: Sarasota FL City, State & Zip: Florida 34232  
Dates Operating: June 7 2019 Business Phone #: 941-323 0314  
Nature of Business: Hockey merchandise \*Tax ID Number: 257 346-95  
Location of event: 401 N Kirkwood Rd  
Owner's Name: Shane DeVought

## \*Required

### Businesses Reporting on Gross Receipts Basis:

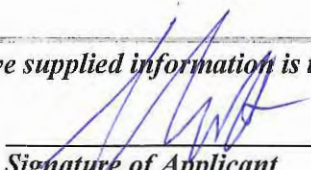
The license fee is \$1.50 per one thousand of gross receipts. \$2.00 per one thousand if operating in the Special Business District.

A cash deposit up to \$1,500.00 is required. (Minimum of \$25.00 daily)

Your fee is \$1.50 per \$1,000 of gross receipts. (Example: if your Gross receipts are \$100,000; take \$100,000 divided by \$1,000 = \$100). Your license fee is \$150. (Please note that the minimum license fee is \$25.00 per day).

Please fill in the Estimated sales: \$ \_\_\_\_\_

The above supplied information is true and correct to the best of my knowledge and belief:

  
Signature of Applicant

6-4-2019  
Date

\*For additional information, contact Kris Houska at (314) 984-6944 or visit our website at [www.kirkwoodmo.org](http://www.kirkwoodmo.org)

Superiorland Concessions  
5317 Fruitville Rd #160  
Sarasota, Florida 34232  
941-323-0314

### LETTER OF PERMISSION

Richard Cents      Kirkwood Service Center  
(Print Full Name)      (Business Name)

401 N. Kirkwood Rd.  
(Street Address)

Kirkwood      MO.      63122      314-550-5559  
(City)      (State)      (Zip)      (Area Code)(Phone Number)

Do hereby grant permission to Superiorland Concessions, a special events merchandiser, to sell  
Hockey St. Louis merchandise at the above or listed addresses.      (Team/Event)

In consideration, Superiorland Concessions, agrees to pay the sum of \$ 50.<sup>00</sup> per Day,  
per location, for the exclusive rights to sell the above mentioned merchandise at above address.

This agreement, to set up as soon as possible, is valid seven (7) days a week, for two (2) to six (6) weeks,  
through June 2019, with exclusive rights as not to allow other vendors to rent the same space  
and sell similar products. My agent and the business named above shall keep a copy of this agreement to  
avoid any problems in representation.

ACCEPTED BY:

[Signature]      6-4-19  
(Signature)      (Date)

[Signature]      6/4/2019  
(Special Events Coordinator)      (Date)