



**Landmarks Commission
Agenda
Wednesday, June 12, 2024, 7:00 p.m.
City Council Chambers
Kirkwood City Hall
139 S. Kirkwood Road
Kirkwood, MO 63122**

- I. Approval of Minutes of May 8 and May 23, 2024** and any additions or modifications to the current agenda.
- II. Certificates of Appropriateness – Unfinished Business**
 - a. **Case #4-2023 Amended, 142 W. Monroe Avenue** (Landmark #10, Hoffman-Ward House) – Change to previously approved new accessible entrance – moved from rear to east side of main porch.
- III. Certificates of Appropriateness – New Business**
 - a. **Case #8-2024, 13 Taylor Woods Drive** (North Taylor Historic District) – In-ground pool.
- IV. New Business**
 - a. Citizens Comments/Seeking Advice to preserve their historic properties
- V. Meeting Adjournment**

Staff Liaison: Amy Lowry. Phone: 314-822-5815 Email: lowryag@kirkwoodmo.org

Landmarks Commission: Chair Ryan Molen; Commissioners Michael Karpowicz, Michael Kleckner, Kristy Piasecki, Aaron Senne, Noelle Seymour, Jessica Worley.

Accommodation: The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as a CD, by calling 314-822-5802.



**Landmarks Commission
Minutes
Wednesday, May 8, 2024, 6:30 p.m.
Main Level Conference Room
Kirkwood City Hall
139 S. Kirkwood Road
Kirkwood, MO 63122**

Pursuant to notice of meeting duly given, the Landmarks Commission met in the Main Level Conference Room. Present: Chair Ryan Molen, Commissioners Michael Karpowicz, Aaron Senne, Noelle Seymour, and Planner II Amy Lowry. The meeting was called to order at 7:00 p.m.

I. Approval of Minutes – Motion to approve the April 10, 2024 meeting minutes as submitted by Comr. Seymour, seconded by Comr. Karpowicz, and unanimously approved.

II. Certificates of Appropriateness – Unfinished Business

a. **Case #1-2022 Amended, 150 W. Argonne Drive** (Landmark #77, Heinzelman Bakery Building, Downtown Kirkwood National Register District) – Drew Lesinski of Savoy Properties presented changes to rear bar area for 4 Hands/ Peacemaker restaurant to screen roof top mechanical units and for changes to the bar enclosure – both of which have already been approved by the ARB. He stated that in the construction of the bar, they found that the southeast corner was being overheated by the sun and rather than have the collapsible window wall on the full east and west sides, they are proposing to add the vertical corrugated material as used on the restroom. The collapsible wall will just now be in the middle of the east and west sides, but on the full south side. With regard to the rooftop units that were not previously on the approved plans, Mr. Lesinski said that there are 3 condensers and 2 cassettes that are 4.5' to 5' in height. The wrapping again will be the corrugated material and the screening has been engineered structurally to withstand winds. Comr. Senne remarked that it is unfortunate that the placement of the condensers had not been considered earlier as the roof is not ideal and the screening will block the original building. Comr. Kleckner asked if they had considered using the Brazilian hardwood used on the cooler instead of the metal. Mr. Lesinski said that the eight-week order lead-time was such that they could not afford the project delay. The Commission discussed that they would like to see a rendering of what the screening will look like, especially from the vantage point of Clay Avenue, and keeping the screening as low as possible. Chair Molen made a motion to approve the screening wall on both the left and right sides of the lower bar area and with the caveat that rooftop screening is not approved until the Commission receives and reviews an isometric drawing of the screening. Comr. Seymour seconded the motion and it passed unanimously.

III. Certificates of Appropriateness – New Business

a. **Case #7-2024, 150 W. Argonne Drive** (Landmark #77, Heinzelman Bakery Building, Downtown Kirkwood National Register District) – Mr. Lesinski presented

plans for projecting building signs for 4 Hands/Peacemaker restaurant that have been approved by the ARB. In response to the Commission's questions regarding the sign lighting, Mr. Lesinski said that there is a channel on the outer edge with LED lights to ensure more even lighting coverage. Comr. Karpowicz made a motion to approve the sign plans as submitted. Comr. Senne seconded the motion and it passed unanimously.

IV. New Business

- a. Citizens Comments/Seeking Advice to preserve their historic properties – At Ms. Lowry's request from the project architect, the Commission discussed the options for a ramp at 142 E. Monroe Avenue for ADA accessibility.

- V. Meeting Adjournment** – Motion to adjourn at 6:55 p.m. by Comr. Seymour, seconded by Comr. Karpowicz, and unanimously approved.

Ryan Molen, Chair



**Landmarks Commission
Special Called Meeting Minutes
Thursday, May 23, 2024, 8:00 a.m.
Main Level Conference Room
Kirkwood City Hall
139 S. Kirkwood Road
Kirkwood, MO 63122**

Pursuant to notice of meeting duly given, the Landmarks Commission met in the Main Level Conference Room. Present: Chair Ryan Molen, Commissioners Michael Karpowicz, Kristy Piasecki, Aaron Senne, Noelle Seymour, and Planner II Amy Lowry. The meeting was called to order at 8:00 a.m.

I. Certificates of Appropriateness – Unfinished Business

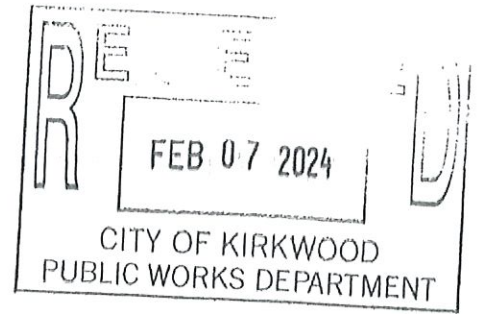
- a. **Case #1-2022 Amended, 150 W. Argonne Drive** (Landmark #77, Heinzelman Bakery Building, Downtown Kirkwood National Register District) – Drew Lesinski and Ryan Pennington presented the isometric drawing and construction plans for the bar rooftop screening that had been requested by the Commission at the May 8 meeting. The Commission had no specific comments on the screening. Comr. Karpowicz made a motion to approve the rooftop screening as submitted. Comr. Piasecki seconded the motion and it passed unanimously.

- II. Meeting Adjournment** – Motion to adjourn at 8:05 a.m. by Comr. Seymour, seconded by Comr. Piasecki, and unanimously approved.

Ryan Molen, Chair



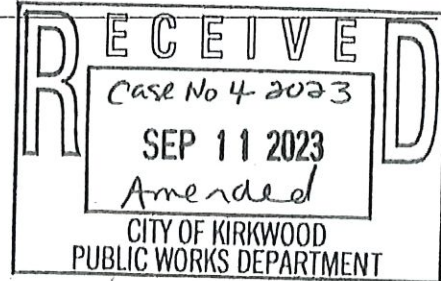
Application for Certificate of Appropriateness



Please submit the application with supporting documentation by the first Wednesday of the month to the Building Department. Failure to supply sufficient information may result in the application being denied or postponed. It is recommended that you or your representative be present at the Landmarks Commission meeting on the second Wednesday of the month at 7:00 p.m. in City Hall.

1. Property Address 142 W. Monroe Ave

- 2. Property Status: [X] Local Landmark Designation, [] National Register of Historic Places, [] Within a Historic District



3. Name of Applicant Kenneth Schmitz

Mailing Address 5704 Delor Street

City/State Saint Louis Zip Code 63109

Office Phone 314-639-1437 Cell Phone ()

Home Phone () E-Mail kenschmitzlc@gmail.com

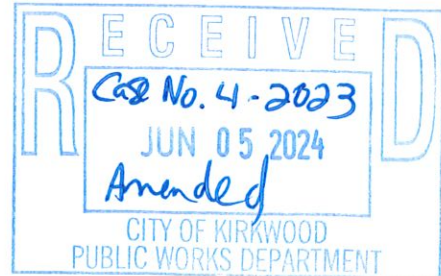
- 4. Relationship of Applicant to Property: [] Owner, [X] Contractor, [] Architect, [] Attorney, [] Other - Please specify

5. Existing Building Use Office

6. Proposed Building Use Office

- 7. Proposed Change to: [X] Primary Structure, [] Accessory Structure, [] Landscape Element

- 8. Nature of Proposed Change: [] Demolition, [] Window Configuration, [] Addition, [] Sign Erection or Placement, [X] Alteration to Exterior, [] Fence, [] New Construction, [] Landscape or Hardscape Element, [] Other - Please Specify ADA Lift installation/West porch replacement, South porch repairs



9. Description of Proposed Improvements Interior rehab, ADA lift, porch repair/replace

10. Accompanying Documentation (8 copies each)

- Site Plan
- Structural Report for Demolitions
- Elevations
- Landscape Plan
- Floor/Building Plans
- Photos
- Other - Please Specify _____

11. Existing Materials/Construction Wood Frame Brick Stone Block
 Stucco Other _____

12. Proposed Materials/Construction Wood Frame Brick Stone Block
 Stucco Other _____

13. If materials differ from existing, explain reasons _____

14. Material samples should be available for review at Commission meeting (preferable) or on site.
Site Location of Materials _____

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature Kenneth Schmitz Date 9-11-23

Please print name Kenneth Schmitz

COMMISSION ACTION Approved Approved with Conditions Disapproved

Signature *Lynia Wally* Date 9/13/23
Lynia Wally 2/14/24

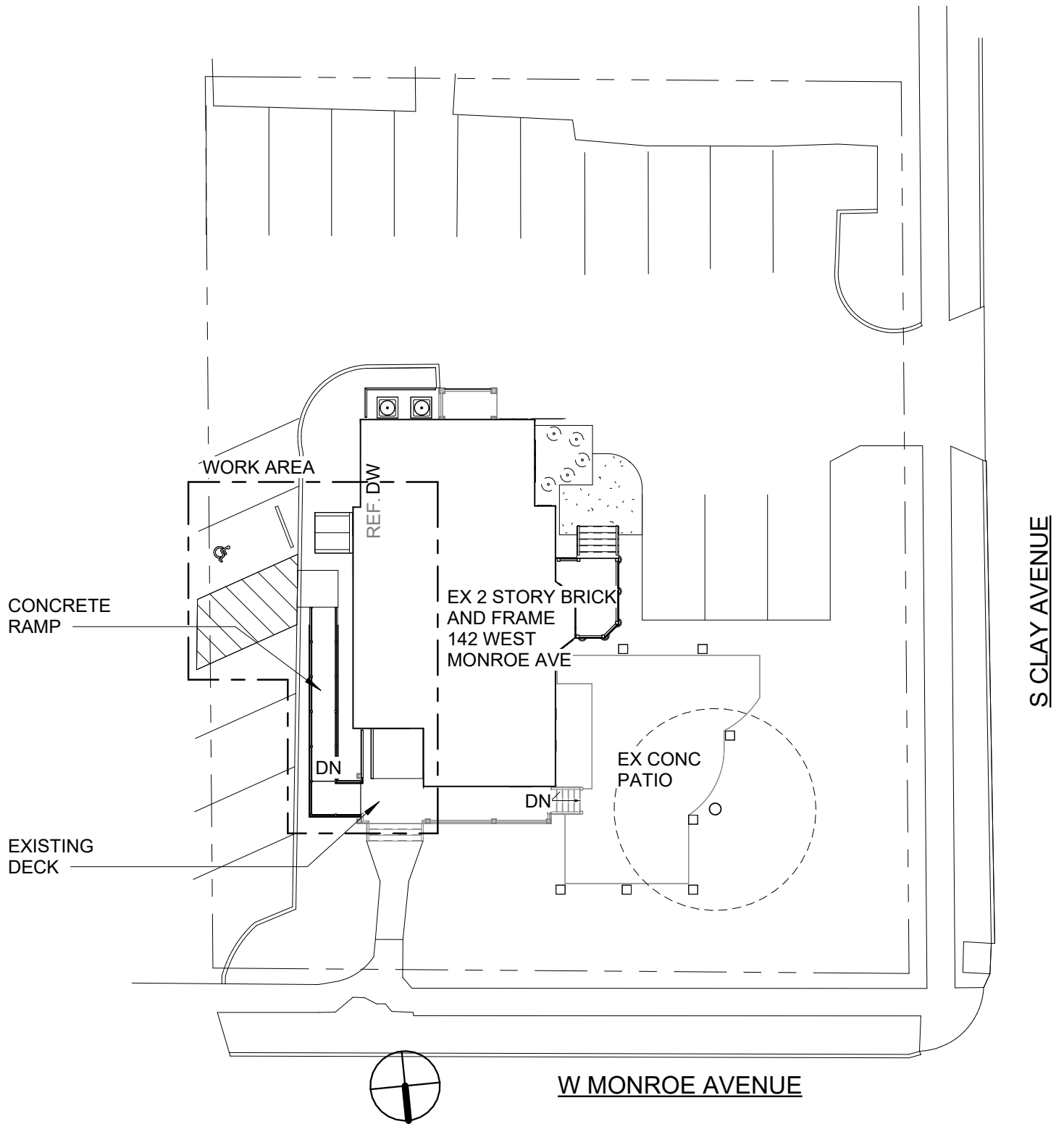
Comments/Recommendations Explore white paint and/or upper
clear panel 2/14/24



osnova
architecture

101 S BRENT AVE
ST LOUIS, MO
63122
636 . 346 . 1787

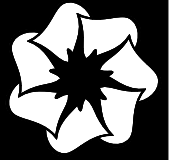
These Drawings are the sole and absolute property of the Architect. Any use, copying and reproducing of these Drawings without express written consent is illegal. The Architect takes no responsibility for work that does not bear his seal and signature.



1 SITE PLAN-RAMP
1" = 20'-0"

No.	Description	Date

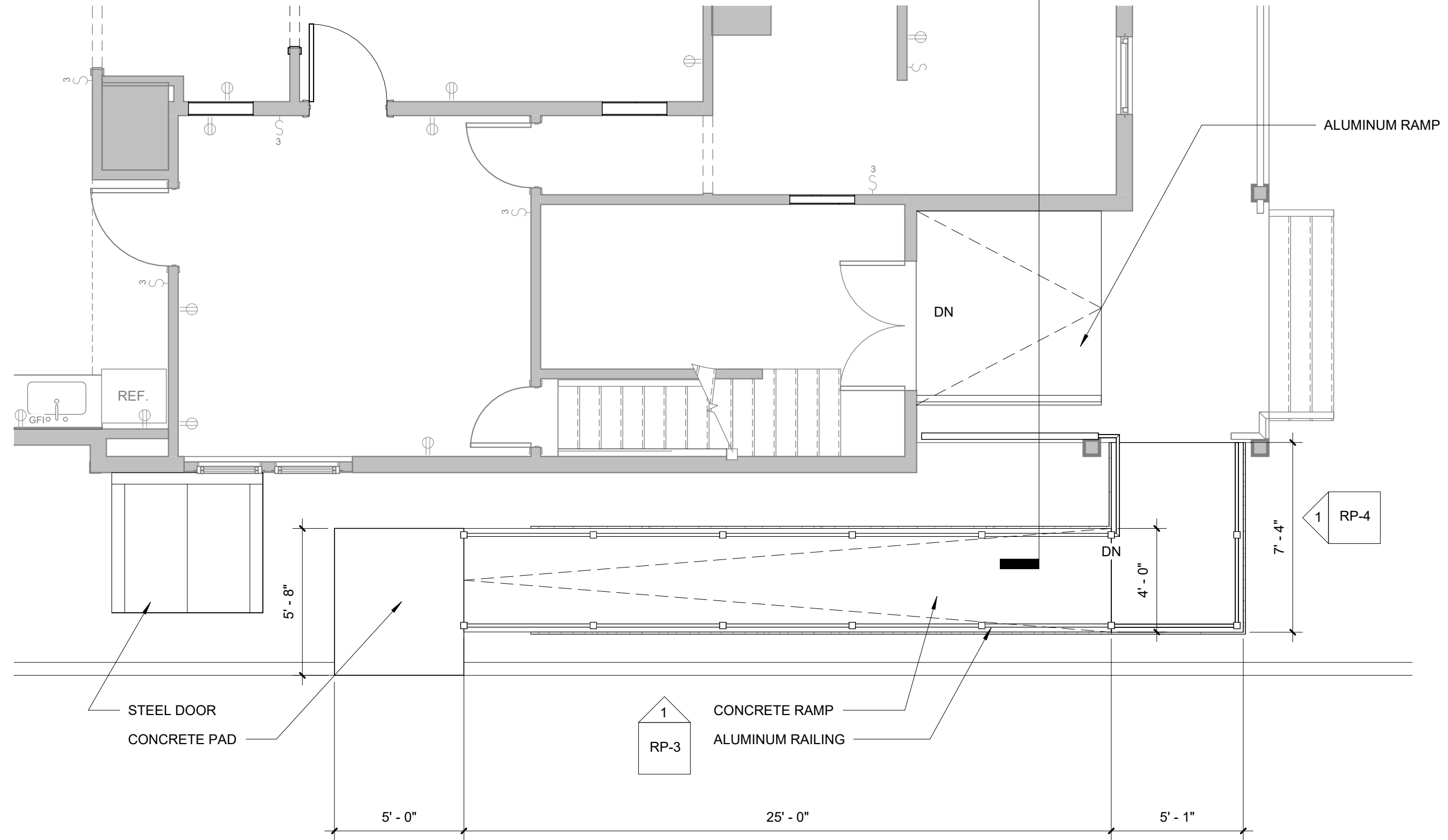
RP-1	SITE PLAN	project: 142 West Monroe Avenue	owner: Mike Moloney
Project #	24058		
Date	06/05/2024		



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architecture

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63122
636 . 346 . 1787

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No.	Description	Date

1 FIRST FLOOR PLAN - RAMP
1/4" = 1'-0"

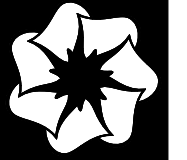
RP-2 PLAN

Project # 24058

Date 06/05/2024

project: 142 West Monroe Avenue

owner: Mike Moloney



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EXISTING SIDING

ALUMINUM RAILING

CONCRETE RAMP

STONE VENEER,
MATCH EX
FOUNDATION

No.	Description	Date

1 EAST ELEVATION
1/4" = 1'-0"

RP-3 EAST ELEVATION

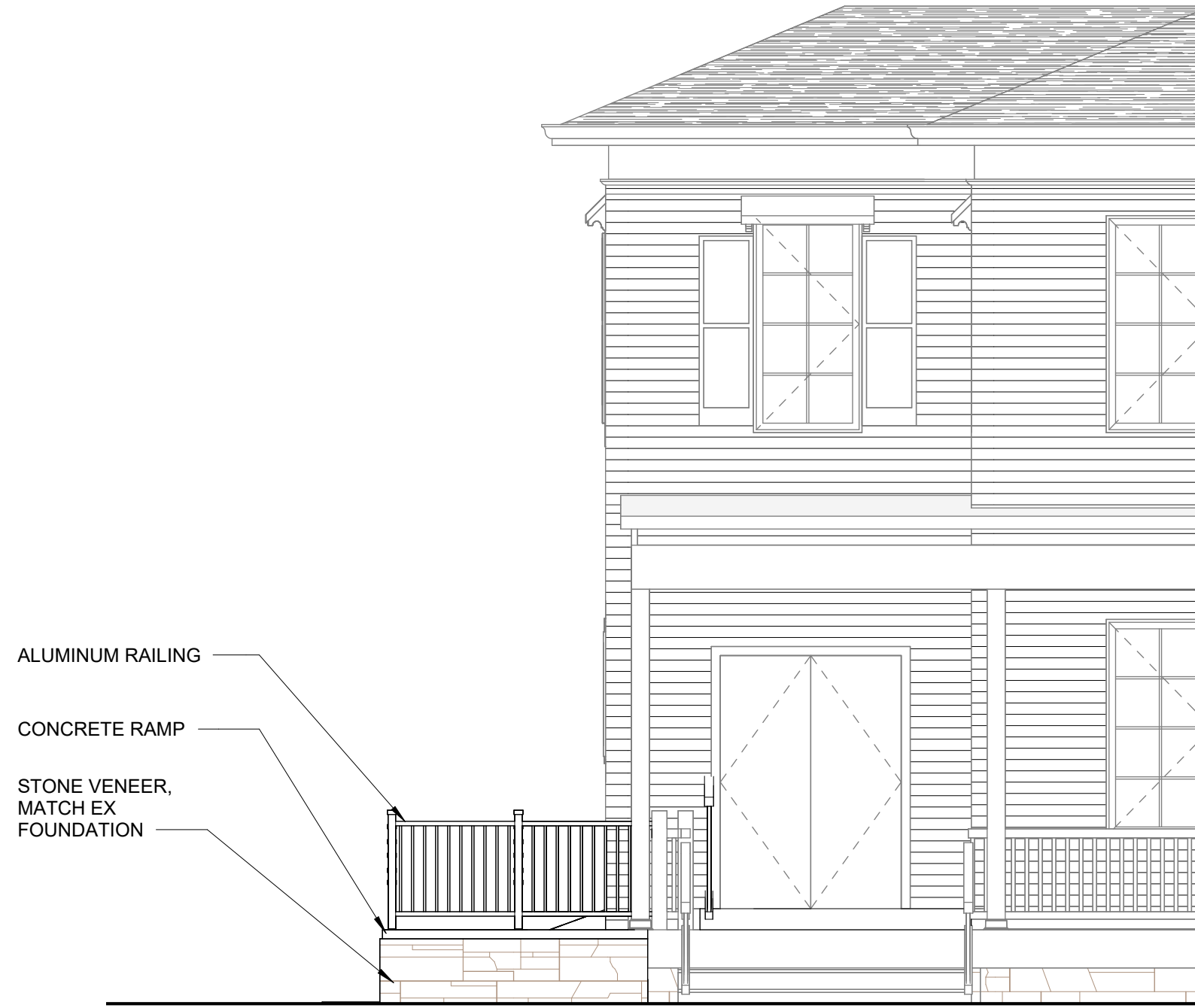
Project #	24058
Date	06/05/2024
project:	142 West Monroe Avenue
owner:	Mike Moloney



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architecture

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ST LOUIS, MO
63122
636 . 346 . 1787

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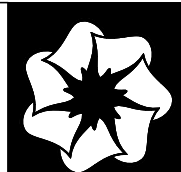
1 Elevation 1 - a
1/4" = 1'-0"

No.	Description	Date

RP-4 NORTH ELEVATION

Project # 24058 project: 142 West Monroe Avenue

Date 06/05/2024 owner: Mike Moloney



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architecture

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No.	Description	Date

RP-5 VIEWS

Project # 24058

Date 06/05/2024

project: 142 West Monroe Avenue

owner: Mike Moloney



Kirkwood Landmarks Commission

Application for Certificate of Appropriateness

Please submit the application with supporting documentation by the first Wednesday of the month to the Building Department. Failure to supply sufficient information may result in the application being denied or postponed. It is recommended that you or your representative be present at the Landmarks Commission meeting on the second Wednesday of the month at 7:00 p.m. in City Hall.

1. **Property Address** 13 Taylor Woods Dr

2. **Property Status** Local Landmark Designation
 National Register of Historic Places
 Within a Historic District

3. **Name of Applicant** Bradley and Erin Witbrood / The Pool Specialists
Mailing Address 13 Taylor Woods Dr 11766 Missouri Bottom Rd
City/State Saint Louis, MO 63122 **Zip Code** St. Louis, MO 65042
Office Phone () **Cell Phone** (636) 734-3323
Home Phone () **E-Mail** JBailey@pspools.com

4. **Relationship of Applicant to Property**

Owner Contractor Architect Attorney
 Other – Please specify _____

5. **Existing Building Use** _____

6. **Proposed Building Use** _____

7. **Proposed Change to** Primary Structure Accessory Structure Landscape Element

8. **Nature of Proposed Change**

<input type="checkbox"/> Demolition	<input type="checkbox"/> Window Configuration
<input type="checkbox"/> Addition	<input type="checkbox"/> Sign Erection or Placement
<input type="checkbox"/> Alteration to Exterior	<input type="checkbox"/> Fence
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Landscape or Hardscape Element
<input type="checkbox"/> Other – Please Specify <u>Swimming pool</u>	



9. **Description of Proposed Improvements** Swimming pool

10. **Accompanying Documentation (8 copies each)**

- Site Plan
- Elevations
- Floor/Building Plans
- Other – Please Specify Rendering + Storm water
- Structural Report for Demolitions
- Landscape Plan
- Photos

11. **Existing Materials/Construction**

- Stucco
- Other _____
- Wood Frame
- Brick
- Stone
- Block

12. **Proposed Materials/Construction**

- Stucco
- Other _____
- Wood Frame
- Brick
- Stone
- Block

13. **If materials differ from existing, explain reasons** _____

14. **Material samples should be available for review at Commission meeting (preferable) or on site.**

Site Location of Materials _____

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature _____ Date 6/5/24

Please print name Jason Bailey

COMMISSION ACTION Approved Approved with Conditions Disapproved

Signature _____ Date _____

Conditions _____

Comments/Recommendations _____



SWPPP NOTES:

CONTRACTOR SHALL FILE AN EPA NOTICE OF INTENT AND A NOTICE OF TERMINATION IF DISTURBING MORE THAN ONE ACRE.

CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING.

CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND ADJACENT STREETS.

CONTRACTOR SHALL INSPECT AND REPAIR EROSION CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS AFTER A RAIN EVENT OF ONE-HALF INCH OR GREATER. IF EROSION IS OBSERVED DURING INSPECTIONS CONTRACTOR SHALL STABILIZE AREAS AND INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO CONTROL EROSION.

DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR MORE THAN 14 DAYS SHALL BE STABILIZED TO PREVENT EROSION.

AFTER CONSTRUCTION AND FINAL SEEDING AND LANDSCAPING REMOVE EROSION CONTROL MEASURES. STABILIZE, SEED OR SOD ANY AREAS DISTURBED BY REMOVAL.

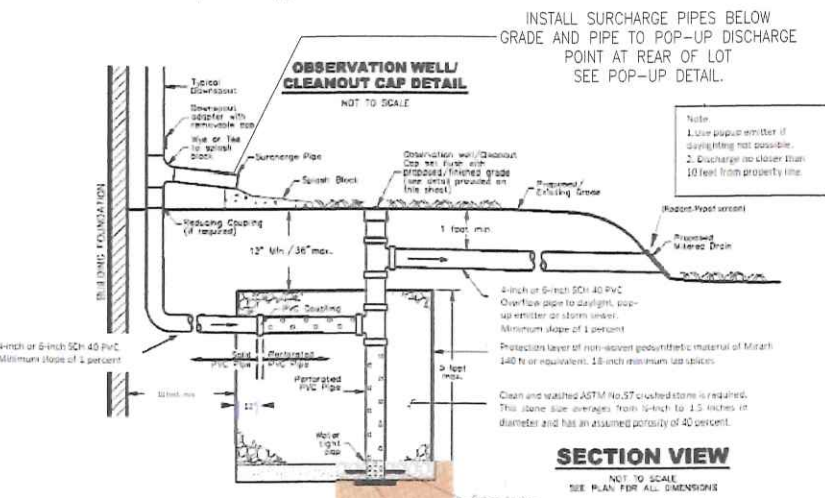
CONTRACTOR SHALL MONITOR STABILIZED AREAS UNTIL FINAL STABILIZATION IS REACHED. REPAIRING ANY AREAS THAT BECOME UNSTABLE.

PROPOSED DRYWELL
 Installed Aggregate Dimensions
 29'L X 10'W X 4.0'D
 Providing 1,160 CF of Gravel

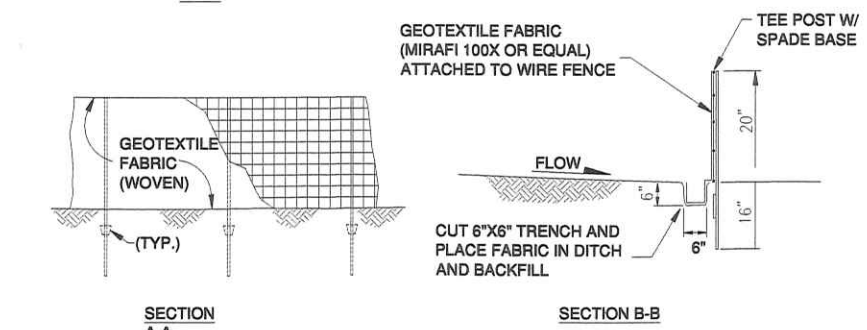
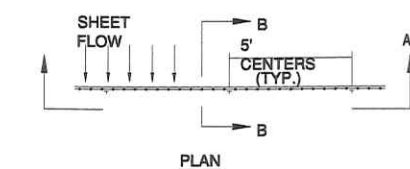
Field Verify Dry Well Location and discharge point is 10' from all property lines.

Dry well minimum cover 12'.

Install filter sock around all perforated pipe.



DRY WELL DETAIL
 NTS



UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE NOT BEEN INVESTIGATED OR INFORMATION PROVIDED TO US. THIS PLAN DOES NOT REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, DEPTH, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR SHALL COMPLY WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMO.

STORM WATER MANAGEMENT PLAN ONLY | NOT FOR DRAINAGE, POOL, WALL, PAVEMENT, WALK, DECK OR BUILDING CONSTRUCTION

NOTES:

THIS PLAN IS FOR STORMWATER MANAGEMENT ONLY. THIS PLAN PROVIDES DETAILS FOR A DRY WELL TO ADDRESS ADDITIONAL RUNOFF. SEE POOL PLANS FOR GRADING AND DRAINAGE RELATED TO THE POOL INSTALLATION.

PRIOR TO CONSTRUCTION LOCATE ALL UTILITIES, STRUCTURES, DRAINAGE PIPES IN THE LIMITS OF CONSTRUCTION. ADJUST OR RELOCATE EXISTING UTILITIES OR ADJUST THE LOCATION OF THE DRY WELL AND PIPING TO AVOID CONFLICTS.

BOTTOM OF DRYWELL SOIL SHALL NOT BE CHANGED OR COMPACTED. PROTECT DURING CONSTRUCTION.

WE RECOMMEND CLEAN OUTS BE INSTALLED AT ALL BENDS IN PROPOSED DRY WELL SYSTEM. CONTRACTOR TO COORDINATE WITH HOME OWNER OPTIONS TO INSTALL CLEAN OUTS FLUSH WITH GRADE, OR BELOW GRADE TO AVOID VISIBILITY. IF THEY ARE INSTALLED BELOW GRADE PROVIDE HOME OWNER WITH PHOTOS WITH DIMENSIONS FROM CORNERS OF HOUSE TO "TWO TAPE" AND LOCATE THEM IN THE FUTURE. PROVIDE WATER/SOIL TIGHT SCREW CAPS FOR EASE OF ACCESS.

PROVIDE A MINIMUM SLOPE ON ALL STORM PIPING OF 1%.

ALL GRADING SHALL HAVE POSITIVE DRAINAGE MATCHING EXISTING DRAINAGE PATTERNS.

ALL PIPE SHALL BE SDR 35, SCH 40 PVC OR TRIPLE WALL HDPE PIPE MEETING ASTM F810.

ALL PIPE FITTINGS SHALL BE WATER TIGHT.

ALL PIPE SHALL HAVE ADEQUATE POSITIVE DRAINAGE SLOPE.

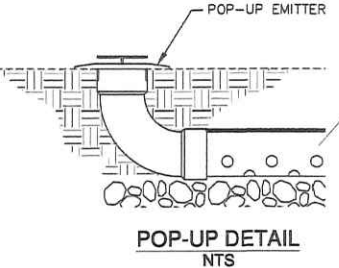
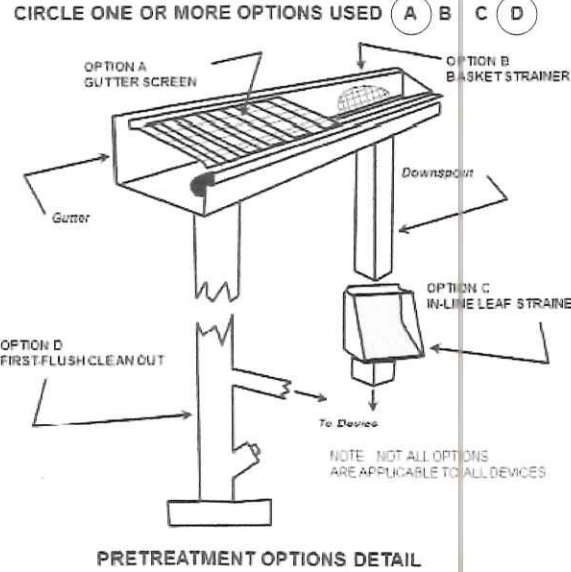
CONTRACTOR SHALL VERIFY POSITIVE DRAINAGE FROM DRY WELL PRIOR TO EXCAVATION OR CONSTRUCTION.

PROPOSED FENCE LOCATION IS APPROXIMATE. INSTALLER SHALL VERIFY PROPERTY LINES AND REQUIRED SETBACKS PRIOR TO INSTALLATION.

CONTRACTOR SHALL COORDINATE THE INSTALLATION OF FENCE AND POOL EQUIPMENT ADJACENT TO DRY WELL DRAINAGE LINES TO PREVENT DAMAGE TO THE DRAINAGE LINES.

KEYED NOTES:

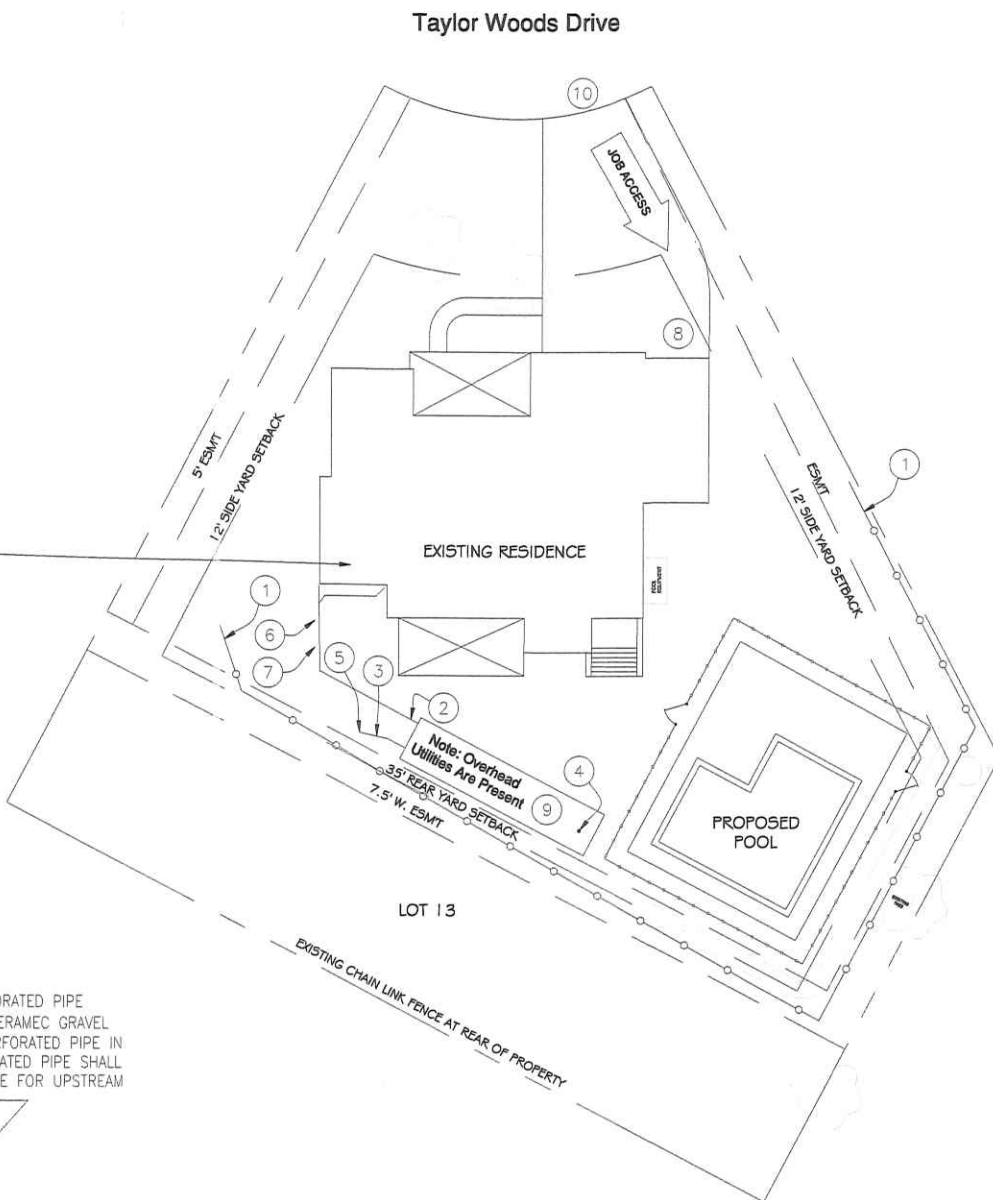
- 1 EROSION CONTROL FENCE. SEE DETAIL. SEE SWPPP NOTES.
- 2 INFLOW PIPE TO DRY WELL. SEE DETAIL.
- 3 OUTFLOW PIPE FROM DRY WELL. SEE DETAIL.
- 4 OBSERVATION WELL/CLEANOUT. SEE DETAIL.
- 5 DRY WELL DISCHARGE POINT SEE DETAIL.
- 6 AREA OF LAND DISTURBANCE 0.095 ACRES
- 7 PROJECT AREA (SAME AS DISTURBED AREA)
- 8 LAY DOWN AREA
- 9 DRYWELL. SEE DETAIL.
- 10 SITE ACCESS WILL BE THROUGH THE PUBLIC STREET AND DRIVE WAY. CONTRACTOR SHALL KEEP STREET CLEAR OF MUD AND DEBRIS. AND REPAIR ALL GRASS AREAS AFTER CONSTRUCTION IS COMPLETE.



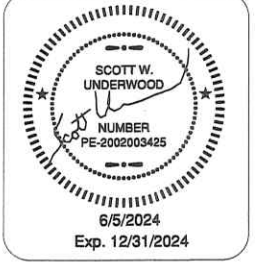
MIN. 4' OF PERFORATED PIPE ON 12" OF CLEAN MERRIMAC GRAVEL. WRAP GRAVEL AND PERFORATED PIPE IN FILTER FABRIC. PERFORATED PIPE SHALL CONNECT TO SOLID PIPE FOR UPSTREAM RUN.

ALL GUTTERS DRAINING TO DRY WELL SHALL HAVE GUTTER PROTECTION INSTALLED. SEE PRETREATMENT OPTIONS DETAIL OPTION A.

ALL DOWNSPOUTS DRAINING TO DRY WELL SHALL HAVE FIRST-FLUSH CLEAN OUTS. SEE PRETREATMENT OPTIONS DETAIL OPTION D.



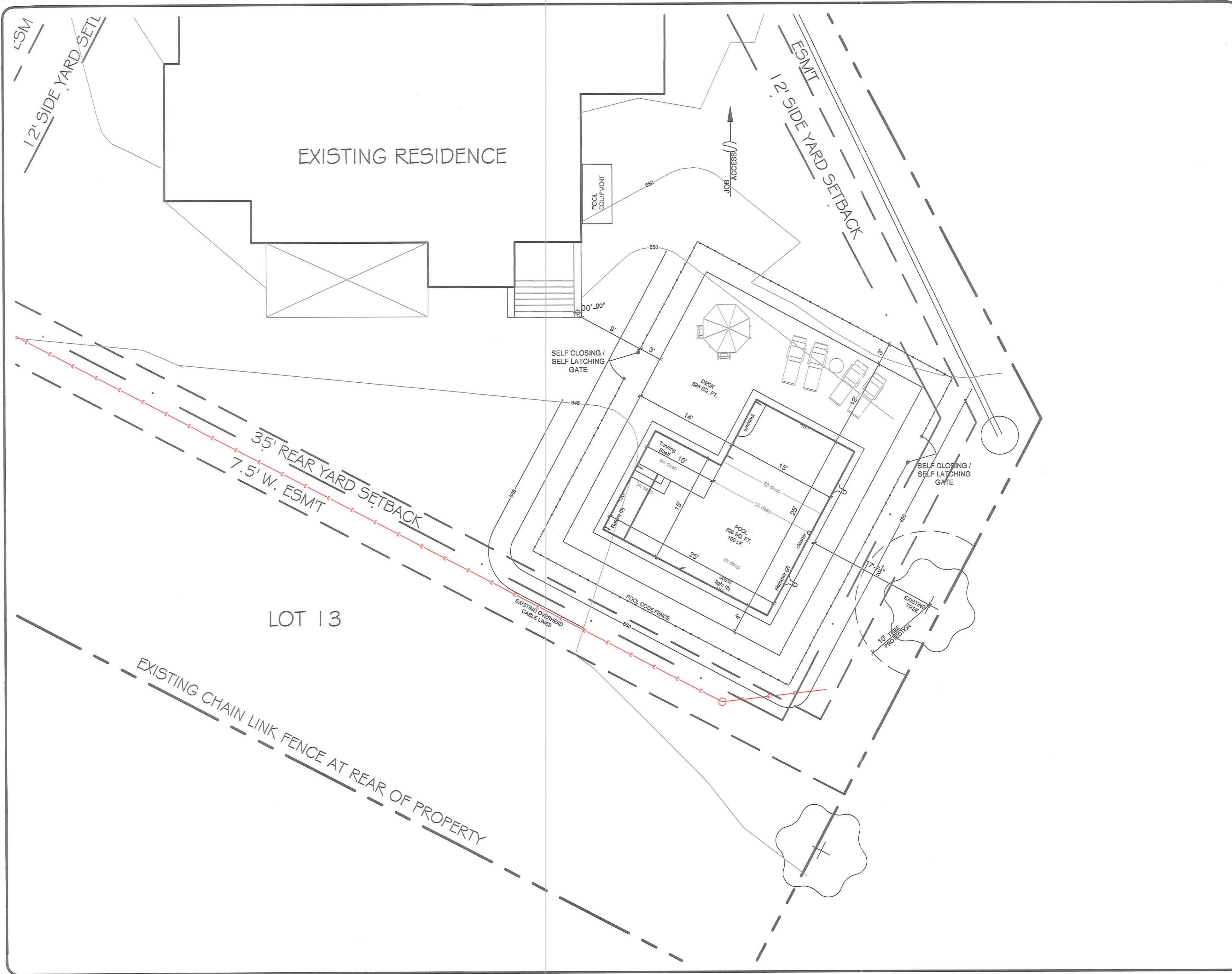
DATE: 6/5/24	SCALE: 1" = 20'	FILE:	DRAWN BY: cad
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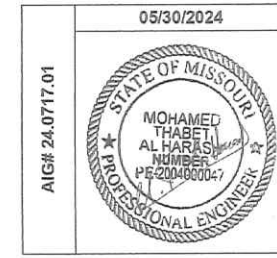
PREPARED FOR
 The Pool Specialists
 11766 Missouri Bottom Rd.
 Hazelwood, MO 63042
 Phone: 314.731.0055

Scott Underwood, PE
 Scott@UnderwoodEngineering
 314-82-SITES

STORM WATER MANAGEMENT PLAN
POOL PROJECT
 13 Taylor Woods Drive
 Kirkwood, MO



DATE:	05/29/24
SCALE:	1/8"=1'-0"
FILE #:	
SUPPLY/SOR:	
DRAWN BY:	db



POOL PLAN

©2024 THE POOL SPECIALISTS

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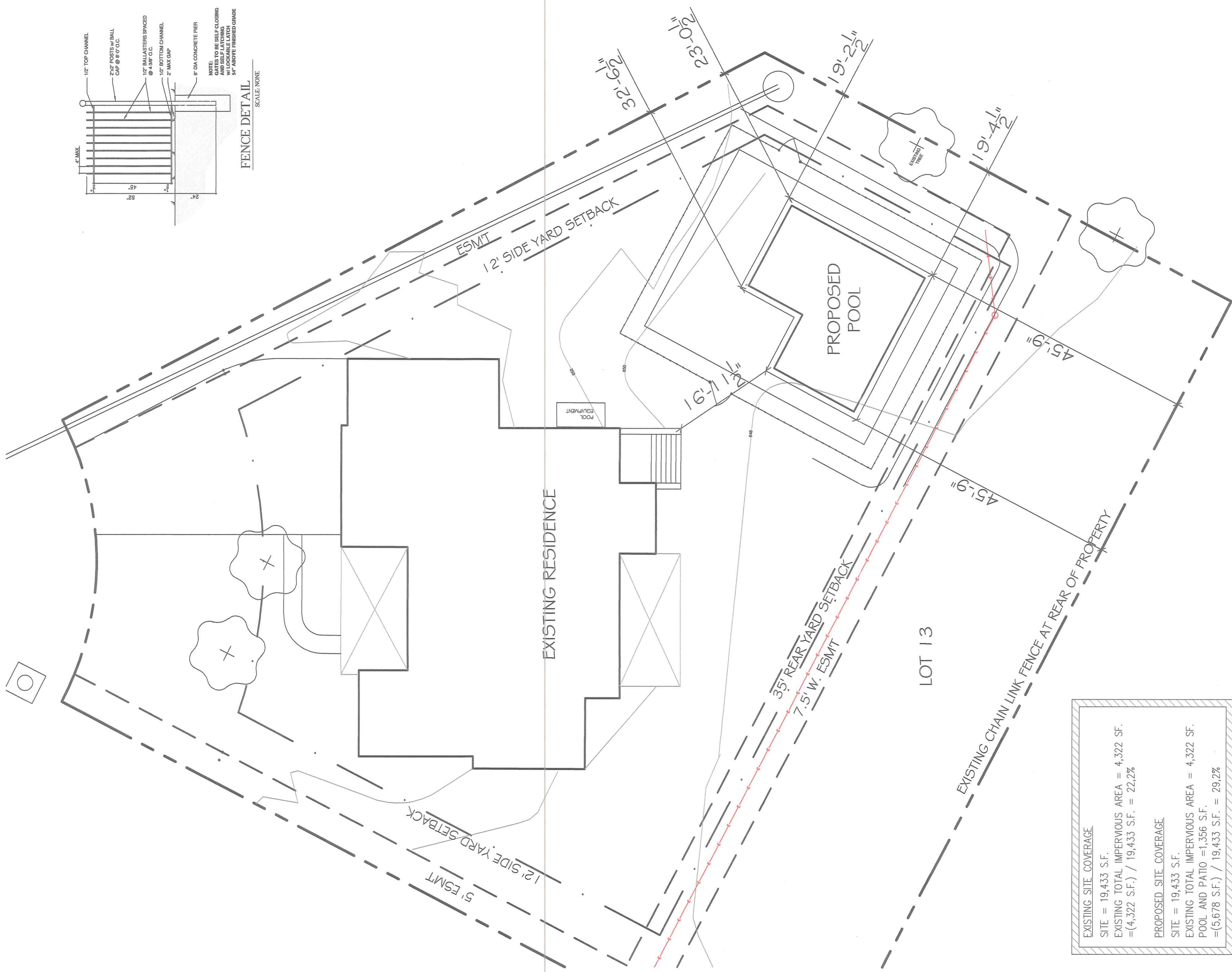
SWIMMING POOL SERVICE & CONSTRUCTION

11766 MISSOURI BOTTOM RD
ST. LOUIS, MO. 63042
TEL: (314)731-0055 FAX: (314)731-2178

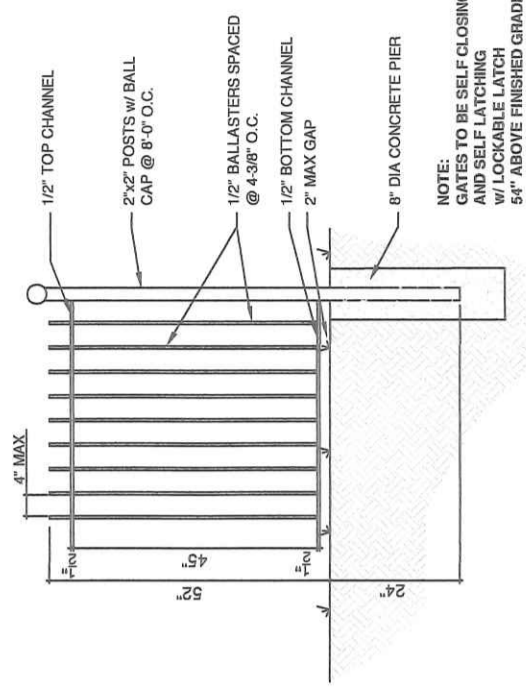


CUSTOM DESIGN FOR:

THE WITBRODT RESIDENCE
13 TAYLOR WOODS DR
KIRKWOOD, MO 63122



EXISTING SITE COVERAGE	
SITE = 19,433 S.F.	
EXISTING TOTAL IMPERVIOUS AREA = 4,322 SF.	
= (4,322 S.F.) / 19,433 S.F. = 22.2%	
PROPOSED SITE COVERAGE	
SITE = 19,433 S.F.	
EXISTING TOTAL IMPERVIOUS AREA = 4,322 SF.	
POOL AND PATIO = 1,356 S.F.	
= (5,678 S.F.) / 19,433 S.F. = 29.2%	

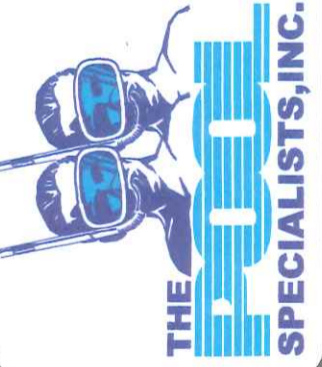


FENCE DETAIL
SCALE: NONE

NOTE:
GATES TO BE SELF CLOSING
AND SELF LATCHING
AND BE 5\"/>

CUSTOM DESIGN FOR:

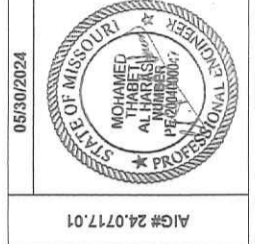
THE WHITBRODT RESIDENCE
13 TAYLOR WOODS DRIVE
KIRKWOOD, MO 63122



SWIMMING POOL SERVICE
& CONSTRUCTION
11766 MISSOURI BOTTOM RD
ST. LOUIS, MO. 63042
TEL: (314)731-0055 FAX: (314)731-2178

SITE PLAN

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FOR USE ONLY ON THIS PROJECT. ANY USE OF THESE
DESIGNS IN WHOLE OR IN PART WILL RESULT IN
DESIGN AND DRAFTING CHARGES



DATE: 05/29/24
SCALE: 1" = 10'-0"
FILE #:
SUPERVISOR:
DRAWN BY: JMB

POOLS CODE REQUIREMENTS:

- THE INSTALLATION SHALL COMPLY WITH THE 2021 ISPCS. & ALL APPLICABLE CITY AND COUNTY CODES AND ORDINANCES. ALL REQUIRED INSPECTIONS AND PERMITS SHALL BE OBTAINED.
- RAILINGS SHALL BE PROVIDED AT ALL CODE REQUIRED LOCATIONS.
- RAILINGS SHALL BE BY S.R.SMITH COMPANY OR APPROVED EQUAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WORKER AND JOBSITE SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC 2017 CODE. ALL ELECTRICAL INSTALLATION SHALL BE DONE BY A QUALIFIED LICENSED ELECTRICIAN.
- ALL HEATER EQUIPMENT SHALL BE INSTALLED BY COUNTY LICENSED PROFESSIONAL MECHANICAL CONTRACTOR.

GUNITED POOL DETAILS

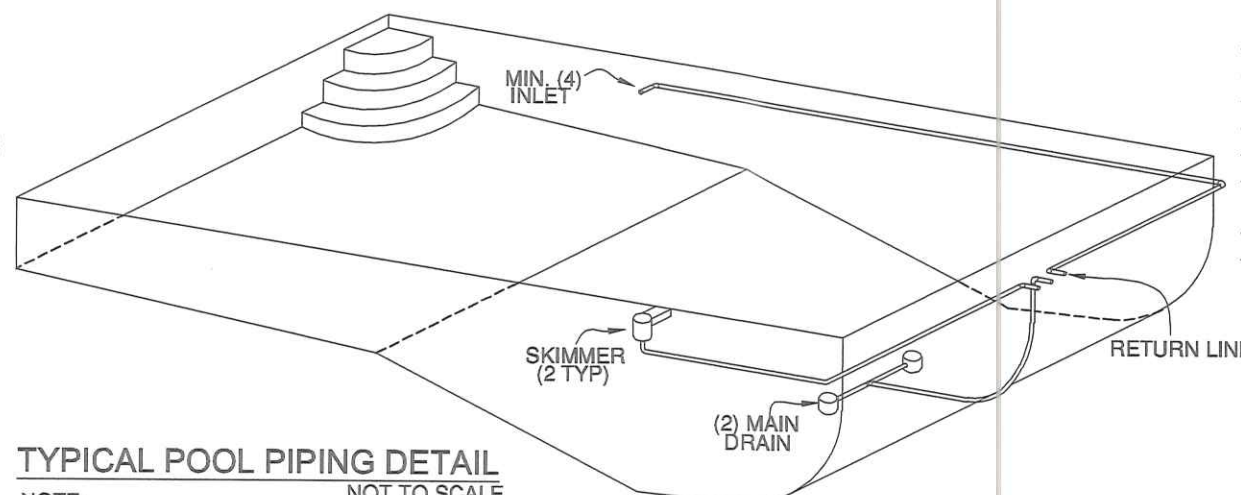
-THE POOL SHAPE MAY BE CONSTRUCTED IN ANY CONFIGURATION WITHIN THE CURRENT NATIONAL SPA & POOL INST. STANDARDS FROM A #1. TO A #V, DIVING POOL SAFETY ENVELOPE, W/ MAX. BREAK SLOPE OF 3:1. -SAFETY ROPE & FLOATS TO BE LOCATED @ 12" MIN., & 18" MAX. FROM TOP OF BREAK LINE @ SHALLOW END OF POOL W/ MAX. DEPTH OF 4'-0".

-POOL PARAMETERS TO BE UP TO 1,000 SQ. FT. WATER SURFACE AREA W/IN 9'-6" MAX DEPTH, AND 4'-0" CURVE RADIUS. REFER TO SUBMITTED LAYOUT PLANS, AND SPECS. FOR N.S.P.I. TYPE INFO.

9. WHERE THE WALLS OF A DWELLING SERVE AS PART OF A BARRIER, ONE OF THE FOLLOWING SHALL APPLY:

-9.1 ALL DOORS WITH DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM THAT WILL PRODUCE AN AUDIBLE WARNING WHEN THE DOOR HAS BEEN OPENED. THIS ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS IMMEDIATELY WHEN OPENED. ALARM SHALL HAVE A MIN. SOUND PRESSURE RATING OF 85 DBAAT 10 FEET (3,048 MM) & MUST BE A DISTINCTIVE & DIFFERENT SOUND THAN OTHER HOUSEHOLD ALARMS (FIRE, DOOR BELLS, TELEPHONE, ETC.). ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. ALARM SHALL BE EQUIPPED WITH A MANUAL BYPASS FOR SINGLE OPEN USE FROM EITHER SIDE OF DOOR. SUCH DEACTIVATION SHALL NOT LAST FOR MORE THAN 15 SECONDS. TOUCH PADS OR SWITCHES, TO BE A MIN. OF 54 INCHES (1,372MM) ABOVE DOOR THRESHOLD.

ENCLOSURE: THE ENTIRE POOL AREA SHALL BE ENCLOSED. FENCE SHALL BE AT LEAST 48 INCHES ABOVE FINISH GROUND LEVEL. ACCESS GATES WILL COMPLY WITH IRC-2021/IBC-2021 CODES & SHALL BE EQUIPPED TO ACCOMMODATE A LOCKING DEVICE. ALL ACCESS GATES SHALL OPEN OUTWARD AND WILL BE SELF-CLOSING AND SELF-LATCHING DEVICE.



TYPICAL POOL PIPING DETAIL
NOT TO SCALE

NOTE:

- VERIFY FIRM VIRGIN SOIL FOR POOL DECK - (OR TREAT AS NOTED ON LONGITUDINAL POOL SECTION.)
- #8 COPPER GROUND (4) TIMES MIN. TO STEEL REINF. & TO LADDER, LIGHT, ACHORS, JUMP BOARD JIGS, & WIRE MESH OF DECKING. INSTALLATION SHALL COMPLY WITH 2017 NEC. ART. 680 (SEE ELECTRICAL BOND NOTE.)

ELECTRICAL BONDING:

- BOND WIRE TO BE BONDED TO MESH W/ SPLIT BOLT CONNECTORS.

DESIGN LOAD:

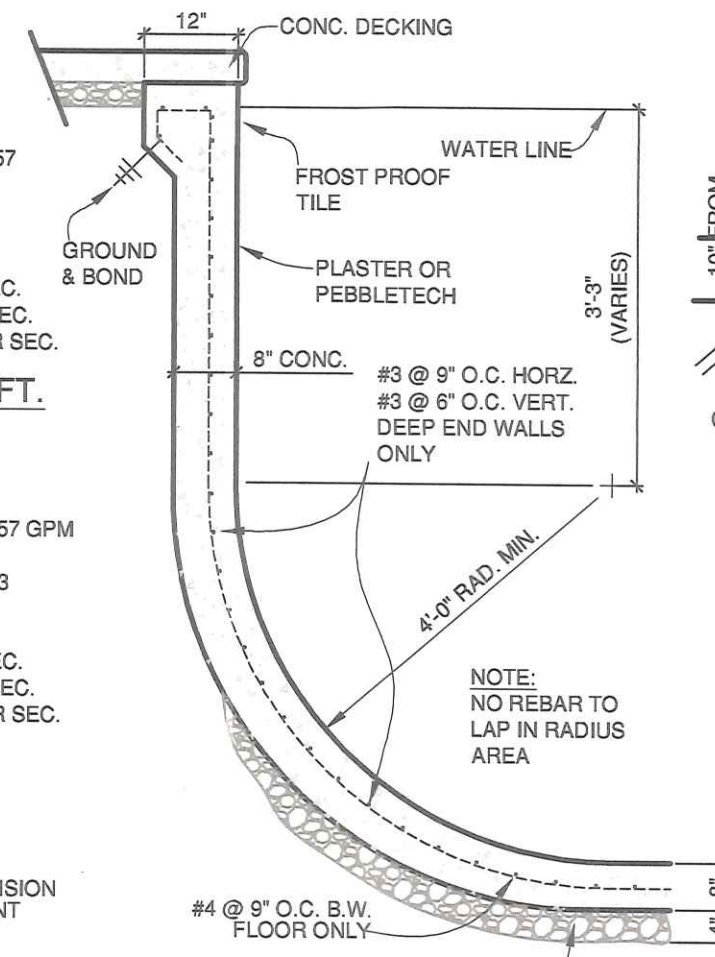
- EQUIVALENT FLUID DENSITY (=) 60LB. PER CUBIC FOOT

POOLS 650 SQ. FT. OR LESS

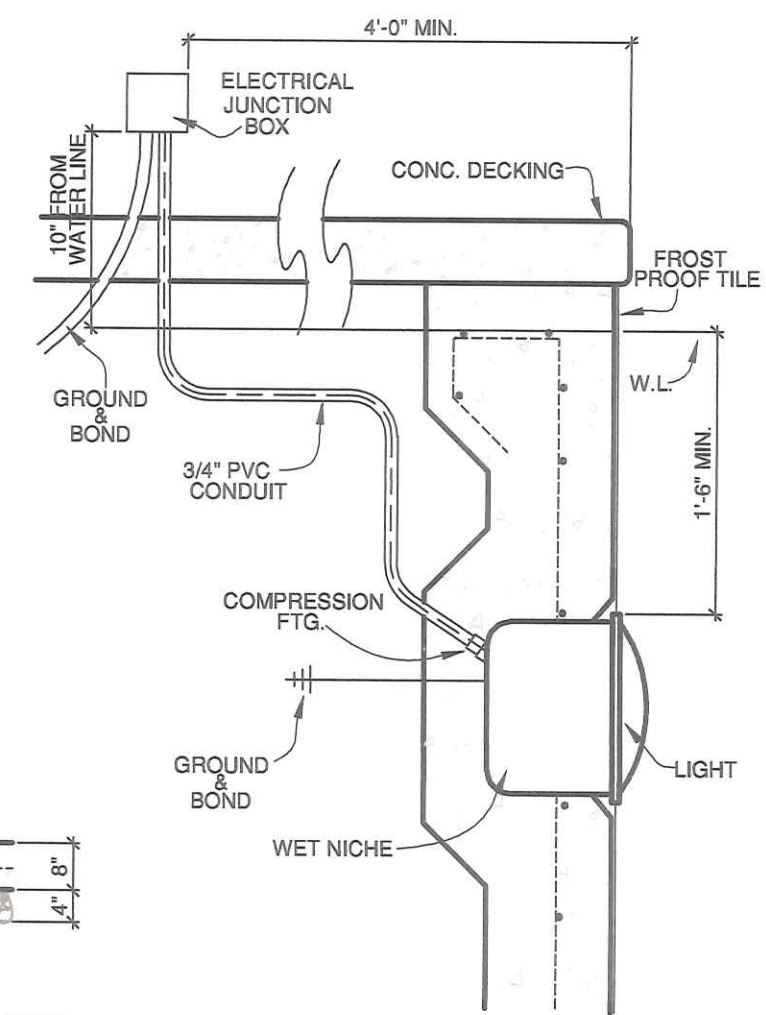
-AREA: 650 SF
-AVERAGE DEPTH: 5.5'
-GALLONS: 26,750
-FILTER: PENTAIR CLEAN & CLEAR PLUS 420
-FILTER CAPACITY @ 8 HRS. 72000 GALLONS @ .357 GPM PER SF. OF FILTER AREA
-PUMP: PENTAIR 3/4 HP WISPER FLO 011512
-PUMP CAPACITY: 60 GPM @ 60 TDH
-ACTUAL TURN OVER RATE 7.43 HRS
-RETURN PIPE SIZE 2" 60 GPM 5.74FT PER SEC.
-SKIMMER PIPE SIZE 2" 60 GPM 5.74FT PER SEC.
-MAIN DRAIN PIPE SIZE 2" 60 GPM 5.74FT PER SEC.

POOLS 651 SQ. FT. TO 1,000 SQ. FT.

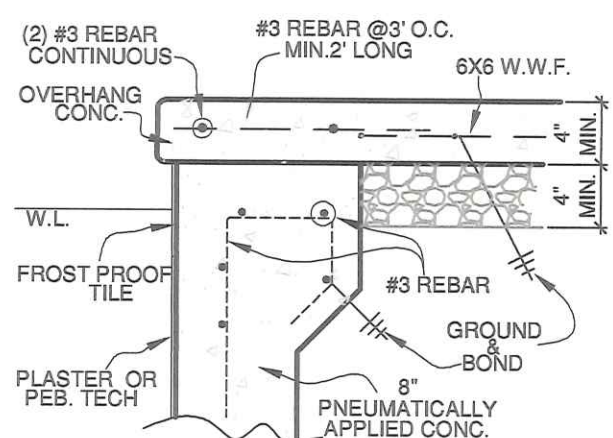
-AREA: 1,000 SF
-AVERAGE DEPTH: 5.5'
-GALLONS: 41,100
-FILTER: PENTAIR CLEAN & CLEAR PLUS 420
-FILTER CAPACITY @ 8 HRS. 72000 GALLONS @ .357 GPM PER SF. OF FILTER AREA
-PUMP: PENTAIR PENTAIR 1 HP WISPER FLO 011513
-PUMP CAPACITY: 60 GPM @ 60 TDH
-ACTUAL TURN OVER RATE 8.8 HRS
-RETURN PIPE SIZE 2" 80 GPM 7.65FT PER SEC.
-SKIMMER PIPE SIZE 2" 80 GPM 5.35FT PER SEC.
-MAIN DRAIN PIPE SIZE 2" 80 GPM 5.35FT PER SEC.



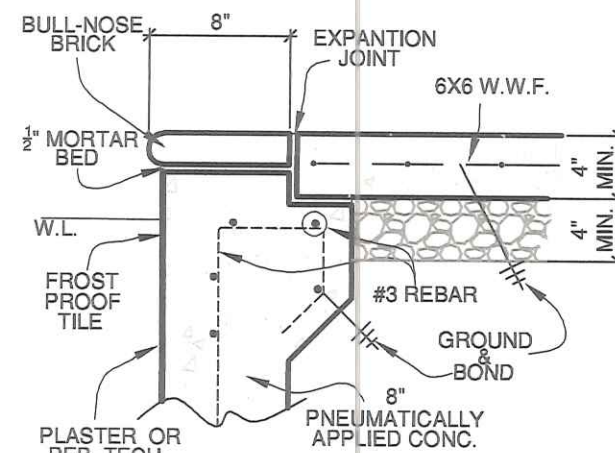
POOL WALL SECTION @ DEEP END
DESIGN LOAD: EQUIVALENT FLUID DENSITY (=) 60LB. PER CUBIC FOOT



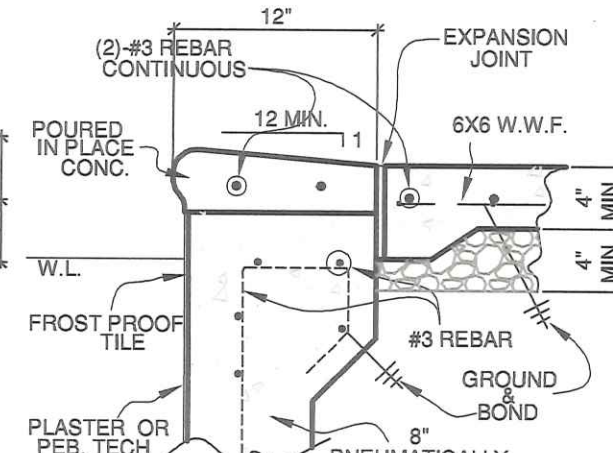
UNDER WATER LIGHT DETAIL
1"=1'-0"



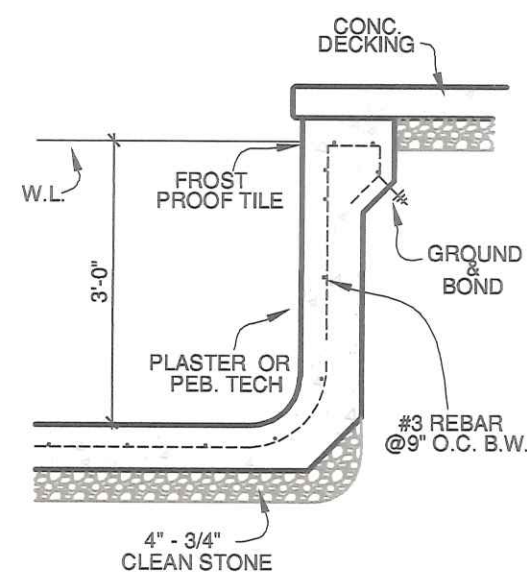
OVER HANG DECK
1"=1'-0"



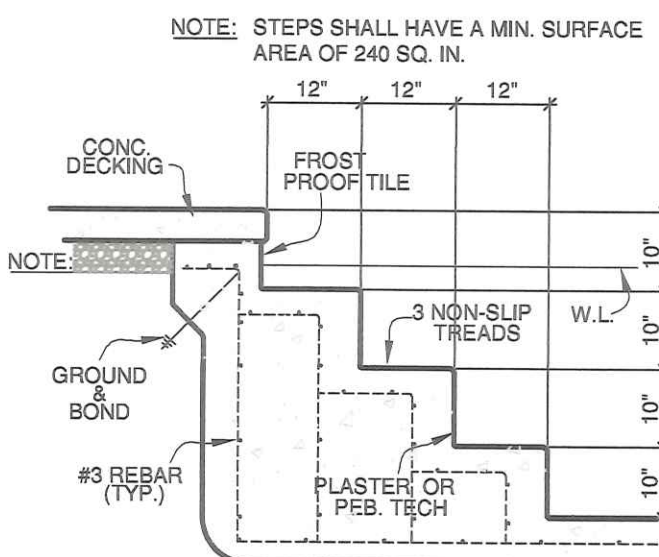
BRICK COPING
1"=1'-0"



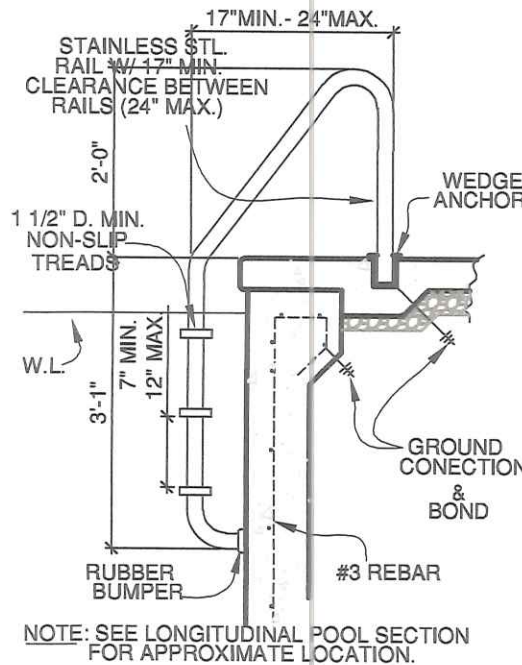
POURED IN PLACE
1"=1'-0"



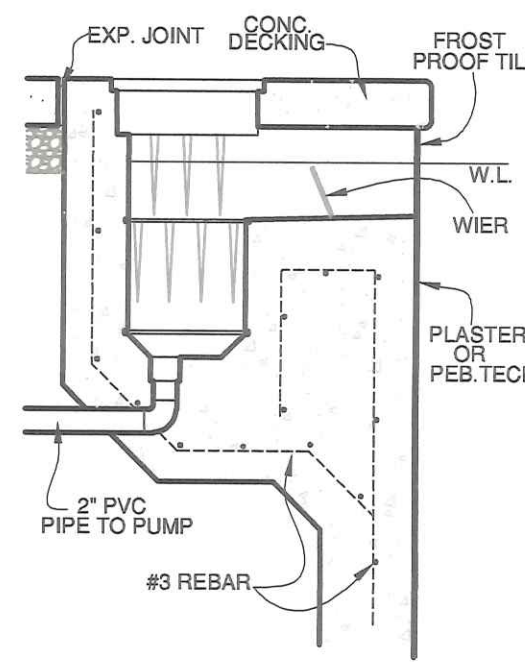
WALL SECT. @ SHALLOW END
1/2"=1'-0"



IN-POOL STEP DETAIL
1/2"=1'-0"



LADDER DETAIL
1/2"=1'-0"

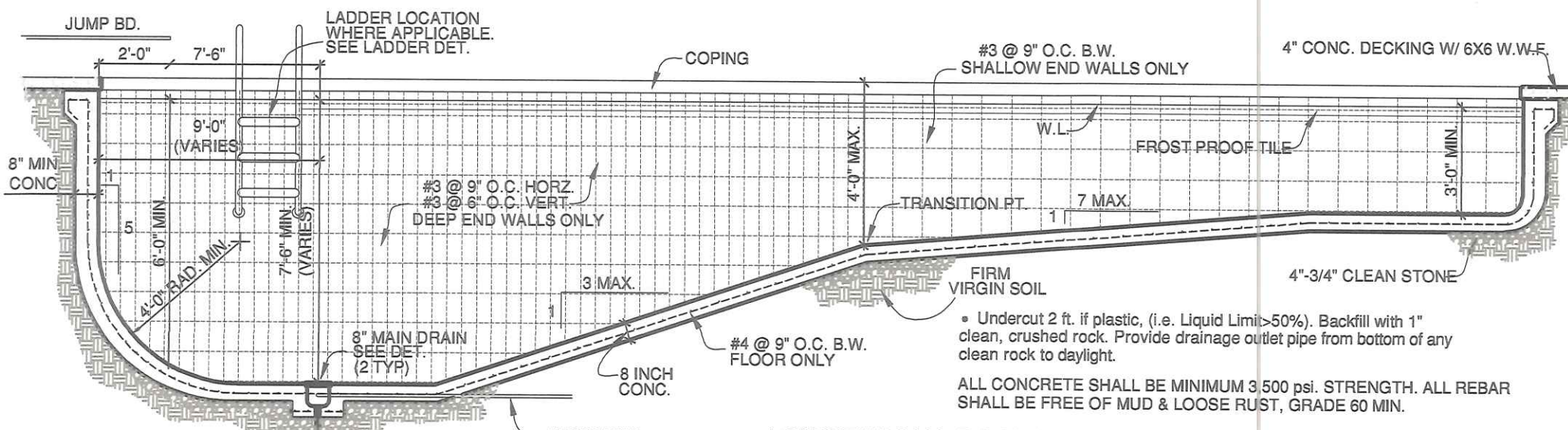


SKIMMER DETAIL
3/4"=1'-0"

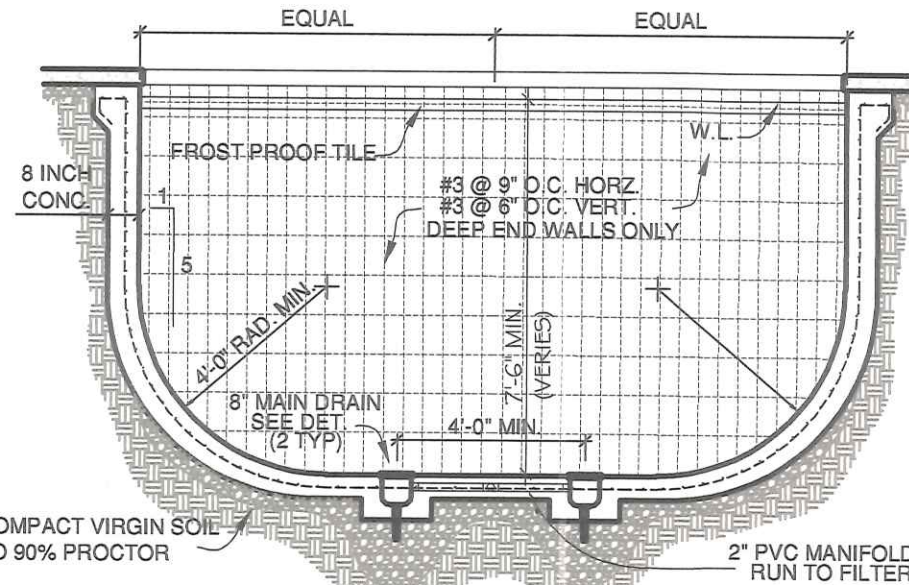
NOTE: STEPS SHALL HAVE A MIN. SURFACE AREA OF 240 SQ. IN.

NOTE: ALL IN-POOL STEP APPLICATIONS TO BE LIMITED TO A MAX. OF (3) TREADS WHEREAS NO HANDRAIL IS REQUIRED BY IRC-2018/IBC-2018 CODES.

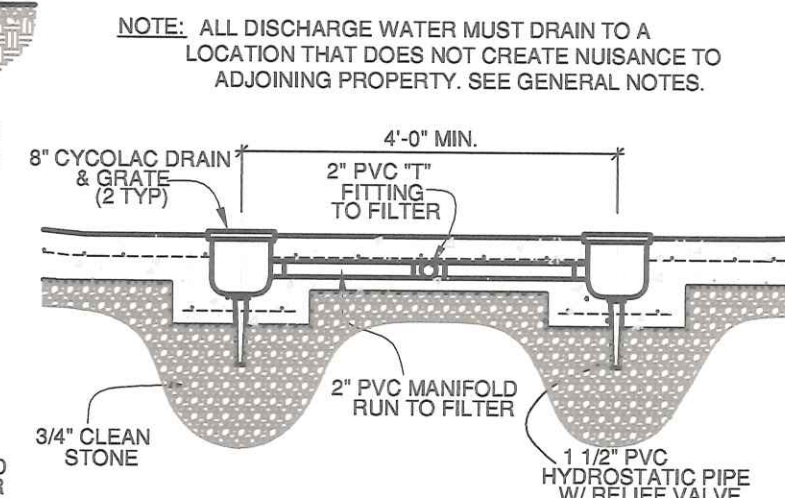
NOTE: SEE LONGITUDINAL POOL SECTION FOR APPROXIMATE LOCATION.



LONGITUDINAL POOL SECTION
POOL DIMENSIONS BASED ON NATIONAL SPA & POOL INST. DESIGN LOAD: EQUIVALENT FLUID DENSITY (=) 60LB. PER CUBIC FOOT

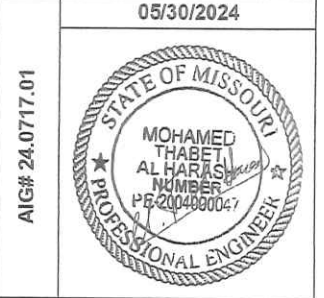


TRANSVERSE POOL SECTION
DESIGN LOAD: EQUIVALENT FLUID DENSITY (=) 60LB. PER CUBIC FOOT



MAIN DRAIN DETAIL
1/2"=1'-0"

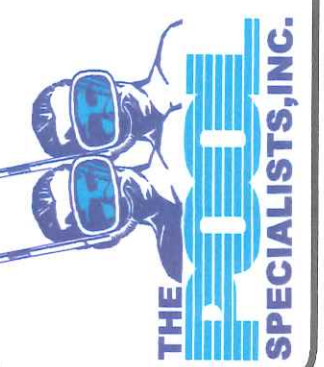
DATE: 05/29/24
SCALE: 1/8"=1'-0"
FILE #:
SUPERVISOR:
DRAWN BY: db



POOL PLAN

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SWIMMING POOL SERVICE & CONSTRUCTION
11766 MISSOURI BOTTOM RD
ST. LOUIS, MO. 63042
TEL: (314)731-0055 FAX: (314)731-2178



CUSTOM DESIGN FOR:
THE WITBRODT RESIDENCE
13 TAYLOR WOODS DR
KIRKWOOD, MO 63122



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