



**Landmarks Commission  
Agenda  
Wednesday, March 13, 2024, 7:00 p.m.  
City Council Chambers  
Kirkwood City Hall  
139 S. Kirkwood Road  
Kirkwood, MO 63122**

- I. Approval of Minutes of February 14, 2024** and any additions or modifications to the current agenda.
- II. Certificates of Appropriateness – New Business**
  - a. **Case #5-2024, 718 Culloden Rd** (Barrett Brae Historic District) – In-ground pool.
  - b. **Case #6-2024, 1409 Lark Ave** (Sugar Creek Ranch Historic District) – Accessory shed.
- III. New Business**
  - a. Citizens Comments/Seeking Advice to preserve their historic properties
  - b. Favorite Building Awards 2024
- IV. Meeting Adjournment**

**Staff Liaison:** Amy Lowry. Phone: 314-822-5815 Email: [lowryag@kirkwoodmo.org](mailto:lowryag@kirkwoodmo.org)

**Landmarks Commission:** Chair Ryan Molen; Commissioners Michael Karpowicz, Michael Kleckner, Kristy Piasecki, Aaron Senne, Noelle Seymour, Jessica Worley.

**Accommodation:** The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as a CD, by calling 314-822-5802.



**Landmarks Commission  
Minutes  
Wednesday, February 14, 2024, 7:00 p.m.  
City Council Chambers  
Kirkwood City Hall  
139 S. Kirkwood Road  
Kirkwood, MO 63122**

Pursuant to notice of meeting duly given, the Landmarks Commission met in the City Council Chambers. Present: Vice Chair Jessica Worley, Commissioners Michael Karpowicz, Kristy Piasecki, Aaron Senne, and Planner II Amy Lowry. The meeting was called to order at 7:00 p.m.

**I. Approval of Minutes** – Motion to approve the January 10, 2024 meeting minutes as submitted by Comr. Senne, seconded by Comr. Piasecki, and unanimously approved.

**II. Certificates of Appropriateness – Unfinished Business**

- a. **Case #1-2022 Amended, 150 W. Argonne Drive** (Landmark #77, Heinzelman Bakery Building, Downtown Kirkwood National Register District) – Project Manager Drew Lesinski presented changes to rear bar area for the 4 Hands/ Peacemaker restaurant and outdoor use project. He explained that the roofed area was being extended 5.5' to cover the door from the main building. Comr. Karpowicz made a motion to approve the plans as submitted. Comr. Piasecki seconded the motion and it passed unanimously.
- b. **Case #4-2023 Amended, 142 W. Monroe Avenue** (Landmark #10, Hoffman-Ward House) – Architect Ken Schmitz presented a change to the previously approved plans for a new accessible entrance to be moved from the west side of the building to the rear. Comr. Karpowicz questioned whether the upper panel of the handicap lift was proposed to be solid or clear, and whether there might be partial screening of the lift. Comr. Piasecki remarked that it should be visible. Mr. Schmitz said the proposed material was painted steel, but he will look into whether the upper panel is available in a clear option and whether the entire lift may be white to match the building. Comr. Karpowicz made a motion to approve the amended plans as submitted, with a suggestion that the applicant explore the options of a clear upper panel and/or a color to match the building. Comr. Piasecki seconded the motion and it passed unanimously.
- c. **Case #10-2023 Amended, 760 N. Taylor Avenue** (North Taylor Historic District) – Builder Nick Luizza presented plans for an in-ground pool with additional information regarding fencing and landscaping. The Commission complimented the renderings and details on the landscaping. Vice Chair Worley made a motion to approve the plans as submitted. Comr. Karpowicz seconded the motion and it passed unanimously.
- d. **Case #6-2023 Amended, 141 Horseshoe Drive** (Sugar Creek Ranch Historic District) – Owner Beste Shireman presented changes on the front façade for the previously approved house plan. The following amendments are requested: front door widening (solid slab, acorn wood, light color with black grain), reversal of door and sidelight, narrower sidelight, removal of upper clerestory window, and removal of stone veneer to left of door in favor of vertical board and batten siding.

Vice Chair Worley questioned whether the side window would match the stair window in height. Ms. Shireman acknowledged a drawing error and said that it would. Comr. Senne made a motion to approve the amended plans as submitted, with a caveat that the sidelight go to the floor to match the front door. Comr. Piasecki seconded the motion and it passed unanimously.

### III. Certificates of Appropriateness – New Business

- a. **Case #2-2024, 141 Horseshoe Drive** (Sugar Creek Ranch Historic District) – Owner Beste Shireman presented plans for an in-ground pool. She said that there would be terracing around the pool to avoid a big drop-off in the rear of the lot. The proposed fence is black metal and the pool equipment will be screened. Vice Chair Worley made a motion to approve the plans as submitted, with the stipulation that the final fence design as chosen by the homeowners be sent to the Commission. Comr. Karpowicz seconded the motion and it passed unanimously.
- b. **Case #3-2024, 434 N Harrison** (Landmark #19, Robertson-Kraft House) – Builder Mike Mahn presented plans for an in-ground pool. Ms. Lowry remarked that a shed on the property would be relocated to be closer to the pool. The Commission questioned the fence location and received clarification from Mr. Mahn. Comr. Karpowicz made a motion to approve the plans as submitted. Comr. Senne seconded the motion and it passed unanimously.
- c. **Case #4-2024, 740 N. Taylor** (North Taylor Historic District) – Architect David Pape presented plans for an accessory dwelling unit/carriage house with a first floor garage, first floor half bath and living quarters on the 2<sup>nd</sup> floor. Ms. Lowry said that the ADU use would need to be reviewed and approved by the Planning and Zoning Commission and City Council as a Special Use Permit (SUP). Mr. Pape said that the ADU is designed to match the house with the same materials and roof pitch. The existing fence would be reworked to enclose the pool and allow access to the garage. Comr. Senne questioned whether the gable trim could be modified to match the house and Mr. Pape agreed. Comr. Senne made a motion to approve the plans as submitted with the stipulations that the gable end trim be revised to match the house and the ADU SUP be approved by City Council. Comr. Piasecki seconded the motion and it passed unanimously.

### IV. New Business

- a. Citizens Comments/Seeking Advice to preserve their historic properties – none.
- b. Favorite Building Awards 2024 – The Commission discussed the awards and decided to move forward with nominations and to hold the event on May 8.

- V. Meeting Adjournment** – Motion to adjourn at 7:45 p.m. by Vice Chair Worley, seconded by Comr. Piasecki, and unanimously approved.

---

Jessica Worley, Vice Chair



**Landmarks Commission  
Work Session Minutes  
Wednesday, February 14, 2024, 6:30 p.m.  
Main Level Conference Room  
Kirkwood City Hall  
139 S. Kirkwood Road  
Kirkwood, MO 63122**

Pursuant to notice of meeting duly given, the Landmarks Commission met in the Main Level Conference Room for a work session. Present: Vice Chair Jessica Worley, Commissioners Michael Karpowicz, Kristy Piasecki, Aaron Senne, and Planner II Amy Lowry. The meeting was called to order at 6:30 p.m.

**I. Discussion**

The Landmarks Commission discussed business relating to the following cases to be considered on February 14, 2024 at 7:00 p.m. in the Council Chambers:

**Certificates of Appropriateness – Unfinished Business**

- a. **Case #1-2022 Amended, 150 W. Argonne Drive** (Landmark #77, Heinzelman Bakery Building, Downtown Kirkwood National Register District) – The Commission discussed the proposed changes to the rear bar area for the restaurant and outdoor use project.
- b. **Case #4-2023 Amended, 142 W. Monroe Avenue** (Landmark #10, Hoffman-Ward House) – The Commission previously approved the new accessible entrance on the west side of the building. The lift is now proposed in the rear.
- c. **Case #10-2023 Amended, 760 N. Taylor Avenue** (North Taylor Historic District) – The Commission previously reviewed plans in December for an in-ground pool and had requested additional information about the project – which is now supplied.
- d. **Case #6-2023 Amended, 141 Horseshoe Drive** (Sugar Creek Ranch Historic District) – The homeowners asked for advice in January and the Commission suggested a wider door with a smaller sidelight. It looks like the Commission's suggestions were followed regarding the revised entrance for new house.

**Certificates of Appropriateness – New Business**

- e. **Case #2-2024, 141 Horseshoe Drive** (Sugar Creek Ranch Historic District) – The Commission discussed the terracing on the lot for the in-ground pool.
- f. **Case #3-2024, 434 N Harrison** (Landmark #19, Robertson-Kraft House) – The Commission had previously approved an addition and detached garage on this property. An in-ground pool is now proposed.
- g. **Case #4-2024, 740 N. Taylor** (North Taylor Historic District) – Ms. Lowry explained that an Accessory Dwelling Unit carriage house and garage would need review and approval by the Planning and Zoning Commission and City Council as a Special Use Permit. The Commission discussed the proposed design and its match to the house in style and materials.



**II. Meeting Adjournment** – There being no other business, the meeting was adjourned at 6:55 p.m.

---

Jessica Worley, Vice Chair



# Kirkwood Landmarks Commission

## Application for Certificate of Appropriateness

Please submit the application with supporting documentation by the first Wednesday of the month to the Building Department. Failure to supply sufficient information may result in the application being denied or postponed. It is recommended that you or your representative be present at the Landmarks Commission meeting on the second Wednesday of the month at 7:00 p.m. in City Hall.

1. **Property Address** 718 Culloden Rd.

2. **Property Status**
- Local Landmark Designation
  - National Register of Historic Places
  - Within a Historic District

3. **Name of Applicant** Corrina Vratny

Mailing Address 718 Culloden Rd.

City/State Kirkwood, MO Zip Code 63122

Office Phone ( ) Cell Phone ( 314 ) 422-6160

Home Phone ( ) E-Mail

4. **Relationship of Applicant to Property**

- Owner  Contractor  Architect  Attorney
- Other – Please specify

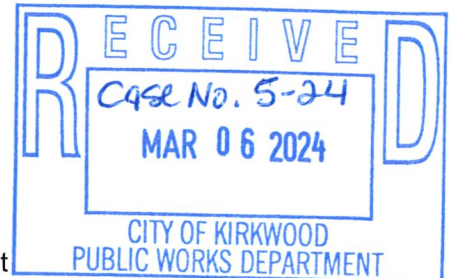
5. **Existing Building Use** Single Family Home

6. **Proposed Building Use** Single Family Home with a Pool

7. **Proposed Change to**  Primary Structure  Accessory Structure  Landscape Element

8. **Nature of Proposed Change**

- Demolition  Window Configuration
- Addition  Sign Erection or Placement
- Alteration to Exterior  Fence
- New Construction  Landscape or Hardscape Element
- Other – Please Specify



9. **Description of Proposed Improvements**

Install 12 x 24' pool within 3 feet of existing rear concrete patio. Extend concrete patio to pool between existing patio and pool. Surround with 5' metal fence.

10. **Accompanying Documentation (8 copies each)**

- Site Plan
- Elevations
- Floor/Building Plans
- Other – Please Specify Pool construction drawing, fencing details
- Structural Report for Demolitions
- Landscape Plan
- Photos

11. **Existing Materials/Construction**

- Wood Frame
- Brick
- Stone
- Block
- Stucco
- Other \_\_\_\_\_

12. **Proposed Materials/Construction**

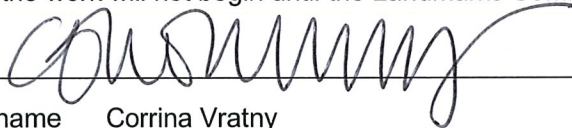
- Wood Frame
- Brick
- Stone
- Block
- Stucco
- Other See Pool construction drawing; and Fencing detail

13. **If materials differ from existing, explain reasons** \_\_\_\_\_

14. **Material samples should be available for review at Commission meeting (preferable) or on site.**

Site Location of Materials \_\_\_\_\_

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature  Date 10/26/2023

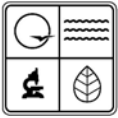
Please print name Corrina Vratny

COMMISSION ACTION  Approved  Approved with Conditions  Disapproved

Signature \_\_\_\_\_ Date \_\_\_\_\_

Conditions \_\_\_\_\_

Comments/Recommendations \_\_\_\_\_



**ARCHITECTURAL/HISTORIC INVENTORY FORM**

1. SURVEY NO.		2. SURVEY NAME:			
3. COUNTY:		4. ADDRESS (STREET NO.)		STREET (NAME)	
5. CITY:		VICINITY: <input type="checkbox"/>		6. UTM:                      OR                      LAT:	
		/                      /		LONG:                      T:                      R:                      S:	
8. HISTORIC NAME (IF KNOWN):			9. PRESENT/OTHER NAME (IF KNOWN):		
10. OWNERSHIP: <input type="checkbox"/> PRIVATE <input type="checkbox"/> PUBLIC		11A. HISTORIC USE (IF KNOWN):		11B. CURRENT USE:	

**HISTORICAL INFORMATION**

12. CONSTRUCTION DATE:		15. ARCHITECT:		18. PREVIOUSLY SURVEYED? <input type="checkbox"/> CITE SURVEY NAME IN BOX 22 CONT. (PAGE 3)	
13. SIGNIFICANT DATE/PERIOD:		16. BUILDER/CONTRACTOR:		19. ON NATIONAL REGISTER? <input type="checkbox"/> INDIVIDUAL <input type="checkbox"/> DISTRICT CITE NOMINATION NAME IN BOX 22 CONT. (PAGE 3)	
14. AREA(S) OF SIGNIFICANCE:		17. ORIGINAL OR SIGNIFICANT OWNER:		20. NATIONAL REGISTER ELIGIBLE <input type="checkbox"/> INDIVIDUALLY ELIGIBLE <input type="checkbox"/> DISTRICT POTENTIAL ( <input type="checkbox"/> C <input type="checkbox"/> NC ) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED	
21. HISTORY AND SIGNIFICANCE ON CONTINUATION PAGE. <input type="checkbox"/>			22. SOURCES OF INFORMATION ON CONTINUATION PAGE. <input type="checkbox"/>		

**ARCHITECTURAL INFORMATION**

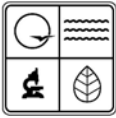
23. CATEGORY OF PROPERTY: <input type="checkbox"/> BUILDING(S) <input type="checkbox"/> SITE <input type="checkbox"/> STRUCTURE <input type="checkbox"/> OBJECT		30. ROOF MATERIAL: _____		37. WINDOWS: <input type="checkbox"/> HISTORIC <input type="checkbox"/> REPLACEMENT PANE ARRANGEMENT:	
24. VERNACULAR OR PROPERTY TYPE:		31. CHIMNEY PLACEMENT:		38. ACREAGE (RURAL):  VISIBLE FROM PUBLIC ROAD? <input type="checkbox"/>	
25. ARCHITECTURAL STYLE:		32. STRUCTURAL SYSTEM:		39. CHANGES (DESCRIBE IN BOX 41 CONT.): <input type="checkbox"/> ADDITION(S)   DATE(S): <input type="checkbox"/> ALTERED        DATE(S): <input type="checkbox"/> MOVED         DATE(S): <input type="checkbox"/> OTHER         DATE(S): ENDANGERED BY:	
26. PLAN SHAPE:		33. EXTERIOR WALL CLADDING:			
27. NO. OF STORIES:		34. FOUNDATION MATERIAL:			
28. NO. OF BAYS (1 <sup>ST</sup> FLOOR):		35. BASEMENT TYPE:		40. NO. OF OUTBUILDINGS (DESCRIBE IN BOX 40 CONT.):	
29. ROOF TYPE:		36. FRONT PORCH TYPE/PLACEMENT:		41. FURTHER DESCRIPTION OF BUILDING FEATURES AND ASSOCIATED RESOURCES ON CONTINUATION PAGE. <input type="checkbox"/>	

**OTHER**

42. CURRENT OWNER/ADDRESS:		43. FORM PREPARED BY (NAME AND ORG.):		44. SURVEY DATE:	
				45. DATE OF REVISIONS:	

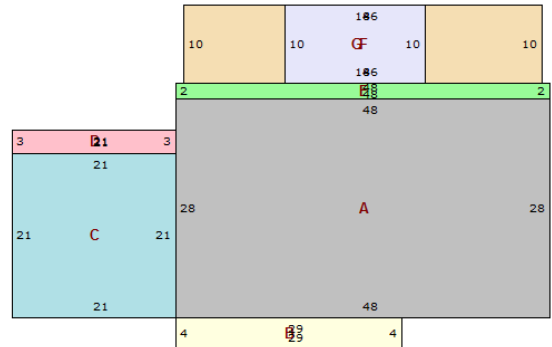
**FOR SHPO USE**

DATE ENTERED IN INVENTORY:		LEVEL OF SURVEY <input type="checkbox"/> RECONNAISSANCE <input type="checkbox"/> INTENSIVE		ADDITIONAL RESEARCH NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO	
NATIONAL REGISTER STATUS: <input type="checkbox"/> LISTED <input type="checkbox"/> IN LISTED DISTRICT NAME: <input type="checkbox"/> PENDING LISTING <input type="checkbox"/> ELIGIBLE (INDIVIDUALLY) <input type="checkbox"/> ELIGIBLE (DISTRICT) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED			OTHER:		



**LOCATION MAP (include north arrow)**

**SITE MAP/PLAN (include north arrow)**



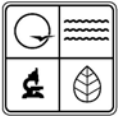
Key Area	Description	Floor
Main Dwelling - MASONRY AND FRAME		
A	1,344 ft <sup>2</sup> Stories - 1	
	Basement - FULL	
B	116 ft <sup>2</sup> OPEN FRAME PORCH	FIRST
C	441 ft <sup>2</sup> FRAME GARAGE	FIRST
D	96 ft <sup>2</sup> CONCRETE OR MASONRY PATIO	LOWER
	FRAME OVERHANG	FIRST
E	480 ft <sup>2</sup> CONCRETE OR MASONRY PATIO	LOWER
F	180 ft <sup>2</sup> WOOD DECK	FIRST
Total Living Area - 1,440 ft <sup>2</sup>		

**PHOTOGRAPH**

PHOTOGRAPHER:	DATE:	DESCRIPTION:
---------------	-------	--------------

INSERT PHOTOGRAPH OF PRIMARY STRUCTURE ON PROPERTY.





**ARCHITECTURAL/HISTORIC INVENTORY FORM**

**ADDITIONAL INFORMATION**

21. (CONT.) HISTORY AND SIGNIFICANCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.

22. (CONT.) SOURCES OF INFORMATION. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.

40. (CONT.) DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.

41. (CONT.) DESCRIPTION OF PRIMARY RESOURCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.



BOUNDARY RETRACEMENT AND IMPROVEMENT LOCATION SURVEY

BARRETT BRAE

ST. LOUIS COUNTY, MISSOURI

OSAGE HILLS  
P.B. 23 PG. 48



SCALE:

1 inch = 30 ft.

BASIS OF BEARING.  
P.B. 71 Pg. 21

Found 1/2" Iron Rod  
N 61°28'47" E 0.42'

N 03°19'30" W 115.00' (R & S)

10' Easement P.B. 71 PG. 21

N 16°10'30" W  
30.40' (R & S)

Found Rebar & Cap  
Disturbed  
Reset

LOT  
36

Land Area  
24,838 S.F.  
0.57 Acres

10' W SEWER EASEMENT  
P.B. 71 PG. 21

5' U.E. Easement (3686/411)

5' Easement (P.B. 71 PG. 21)

LOT  
35

S 61°28'47" W  
S 84°15'00" W  
N 235.51' (S)  
N 206.49' (R)

5' Easement (P.B. 71 PG. 21)

LOT  
37

12' 30' fence

POOL  
24' 12'  
3' New Conc.

Frame Shed  
No Permanent  
Foundation

Wood Deck  
Conc.

1 Story Brick &  
Frame Residence  
# 718

5' Easement (P.B. 71 PG. 21)

28' Building Line

Asphalt

Wood Porch

Found Iron Pipe  
W/Cap

S 17°25'30" E  
200.00' (R & S)

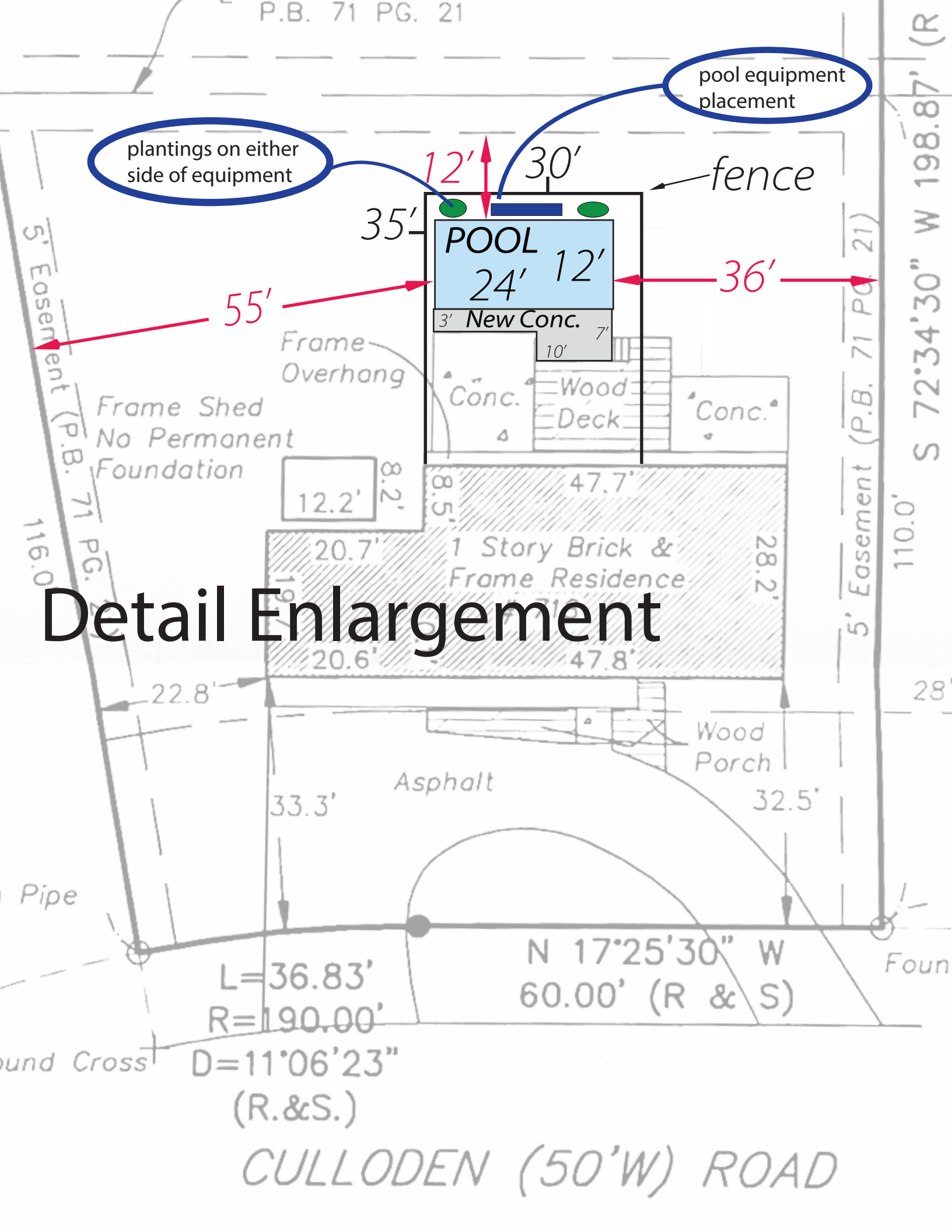
Found 1/2" Iron Pipe

L=36.83'  
R=190.00'

N 17°25'30" W  
60.00' (R & S)

Found Cross  
D=11°06'23"  
(R.&S.)

CULLODEN (50'W) ROAD



pool equipment placement

plantings on either side of equipment

fence

POOL

24' 12'

12'

30'

35'

36'

55'

3' New Conc.

Frame Overhang

Conc.

Wood Deck

Conc.

Frame Shed No Permanent Foundation

12.2' 8.2'

5.8'

47.7'

28.2'

# Detail Enlargement

20.7'

1 Story Brick & Frame Residence

20.6'

47.8'

22.8'

Wood Porch

Asphalt

33.3'

32.5'

Pipe

L=36.83'

N 17°25'30" W 60.00' (R & S)

R=190.00'

D=11'06'23"

(R.&S.)

CULLODEN (50'W) ROAD

ound Cross

Foun

5' Easement (P.B. 71 PG. 21) 116.0'

5' Easement (P.B. 71 PG. 21)

S 72°34'30" W 198.87' (R

110.0'

28'

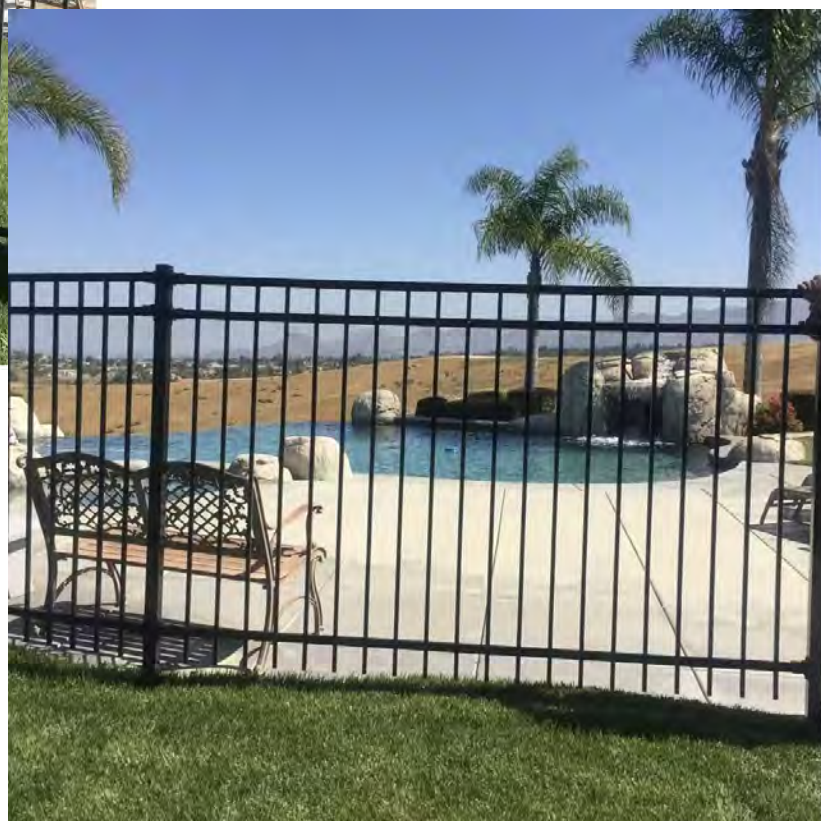
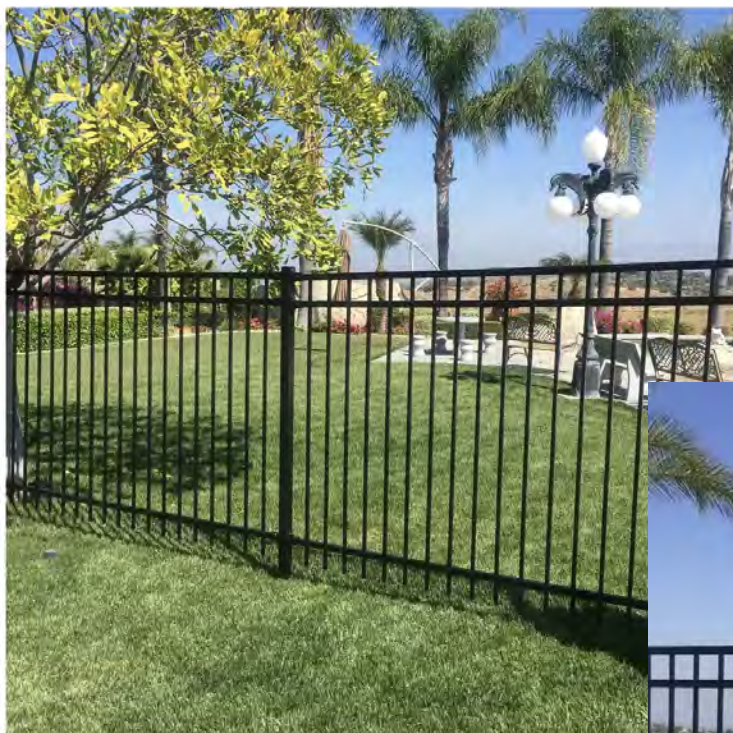


# FENCING

Materials:

U.S. Door and Fence Pro Series  
4.84 ft. x 7.67 ft. Black Steel  
Adjustable Fence Panel

<http://www.usdoor-fence.com/adjustable-flush-top>





# POOL

Radiant Pools Rectangular Pool  
12' x 24'

Pool will be installed partially in ground as shown in the second image





# LANDSCAPING

Plantings around the pool will include a mix of cypress bushes, ornamental grasses, deciduous bushes

cypress



variety of ornamental grasses



red twig dogwood



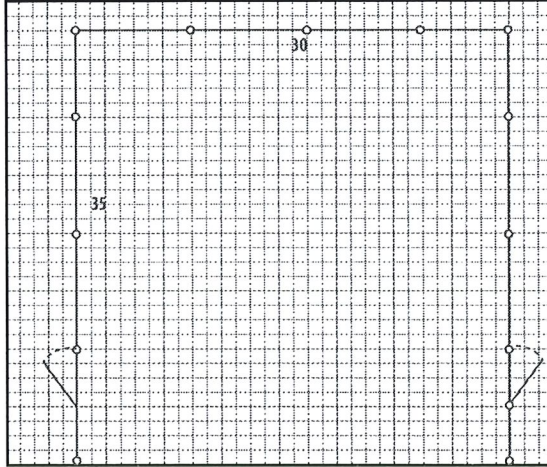




# PLANNING AND INSTALLATION GUIDE ORNAMENTAL STEEL FENCE

## 1 Plan

Draw your fence plan on the grid below.



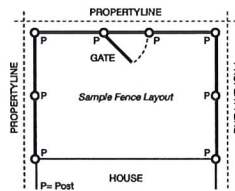
### NOTES

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



The following charts will help you determine the correct heights for panels, posts and the proper spacing for panels and gates.

Comparison of Heights			
Fence Height (Post Height Above Ground)	Panel Height	Flanged Post Height	Post w/o Flange Minimum Length
3' (36")	32"	36"	54"
3-1/2' (42")	38"	42"	60"
4' (48")	44"	48"	66"
5' (60")	58"	60"	78"
6' (72")	70"	72"	90"

Post Spacing for Gates		
Actual Gate Width	Actual Opening Between Posts	
	Using Standard Gate Hardware Kit	Gate with Lockbox Using Standard Gate Hardware Kit
33"	36"	35-3/4"
39"	42"	41-3/4"

Post Spacing for Panels					
Panel Length			Post Spacing (Center-to-Center)		
Basic Grade	Standard Grade	Premium Grade	Basic Grade	Standard Grade	Premium Grade
94"	93"	92"	96-1/2"	95-1/2"	94-1/2"

## Before You Start Your Project, Remember:

Tape measure, post hole digger, hoe, shovel, wrench, pliers, carpenter's level, wheel barrow, gloves, rope, string, wood stakes, and chalk line.

## 2 Components Needed

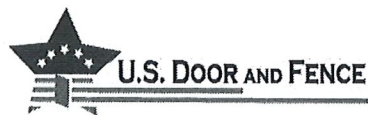
For 100 ft of Fence, You'll Need		For 150 ft of Fence, You'll Need		For 200 ft of Fence, You'll Need	
Qty	Description	Qty	Description	Qty	Description
13	Fence Panels	19	Fence Panels	25	Fence Panels
1	Gate *	1	Gate *	1	Gate *
15	Posts	21	Posts	27	Posts
13	Mounting Brackets	19	Mounting Brackets	25	Mounting Brackets
1	Gate Hardware Kit	1	Gate Hardware Kit	1	Gate Hardware Kit
20	Bags of Quick Set Concrete	28	Bags of Quick Set Concrete	36	Bags of Quick Set Concrete

NOTE: For surface mounting installation you will need to use masonry or anchor bolts with flanged posts.  
\* Quantities may vary based on application.

## 3 Choose Panels, Gates & Accessories

Description	Quantity To Use	Qty. To Buy	Price Each	Total Price
Panel	Quantity varies based on application			
Gate	Quantity varies based on application			
Post	One per panel, plus one, plus one additional for each gate			
Post with Flange				
Mounting Bracket	One pack of four per panel			
Gate Hardware Kit	1 kit per gate			
Gate Cane Bolt	1 per gate			
Masonry Anchor	One pack of four per post, if needed			
Gate Flat Wall Hardware Kit	1 kit per gate			
Gravity Latch Kit	1 kit per gate			
Plastic Post Tops	1 per post			

Learn more at  
[homedepot.com](http://homedepot.com)

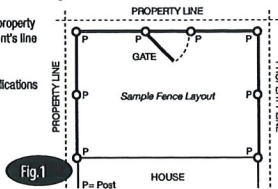




## IMPORTANT

### Before you start working it is important to check:

- That fence footings do not cross legally established property lines. If you are uncertain, refer to the real estate agent's line plot or consult a professional surveyor.
- Locally adopted building codes for specific code applications and requirements. A permit may be required.
- With your local utility companies for the location of underground cables or pipelines.



## 1 Layout Your Fence

Read this instruction sheet completely before starting work. Accurately laying out your fence line is the most critical step.

### STEP 1

Locate the boundary lines to your property.

### STEP 2

Drive stakes into the ground along the property line and stretch a string taut between each stake. Extend the string approximately 24" beyond the end of the property line (Fig. 1). It is recommended that all posts be set approximately 6" inside of the property line so that the post footings do not encroach onto the adjoining property.

### STEP 3

Mark the location of each terminal post with a stake (end posts, corner posts and gate posts are called terminal posts). When determining the location of gate posts, refer to the chart on reverse side for actual gate opening sizes. **NOTE:** If you are using flanged posts to mount your fence on concrete or wood, use a chalk line instead of a string line to mark the fence line. Anchor the flanged posts with MA250 masonry anchors (on concrete) or lag screws (on wood).

## 2 Installing Fence Over Sloped Terrain

If you are installing your fence over sloped terrain, there are two options.

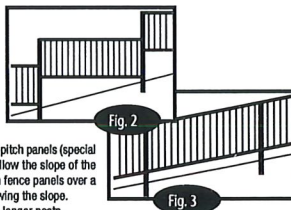
### A. STEPPING THE FENCE PANELS (Special Order)

All styles can be stepped to follow the slope of the terrain (Fig. 2). When laying-out a stepped installation, putting the posts closer together will lessen the gap below the fence on the low end of the slope.

### B. ADJUSTABLE PITCH FENCE PANELS

Columbia style fencing is available in adjustable pitch panels (special order) which allow you to adjust the panel to follow the slope of the terrain (Fig. 3). When laying-out adjustable pitch fence panels over a sloped terrain, measure your post spacing following the slope.

**NOTE:** For a stepped installation you will need to use longer posts.



## 3 Setting Your Terminal Posts

Although post depth and hole diameter will be determined by local weather and soil conditions, holes for terminal posts and line posts are typically dug 8" in diameter, 18"-24" deep with sloped sides (Fig. 4).

### STEP 1

Dig all terminal post holes.

### STEP 2

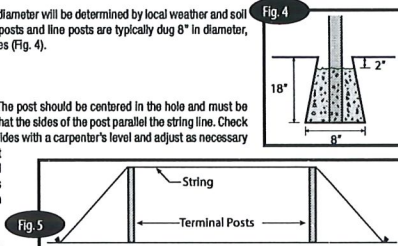
Position the post in the hole. The post should be centered in the hole and must be square with the fence line so that the sides of the post parallel the string line. Check the post on the two adjacent sides with a carpenter's level and adjust as necessary so that it is plumb. The height of the fence above the ground is determined at this time as well. Refer to the chart on reverse side.

### STEP 3

Pour concrete around the post, fill to 2" below ground level. You may need to tie off the posts using stakes and string to keep them from moving while the concrete cures. Once the concrete is completely dry, fill the remainder of the hole with dirt.

### STEP 4

After the terminal post footings have hardened enough to remain stable, stake and stretch a string line taut across the tops of the posts on each end of the fence line to designate the desired height of the line posts (Fig. 5).



## 4 Locating and Setting Your Line Posts

### STEP 1

Working along the string line, stake out the position of all line posts. If your line of fence does not work out to even increments of standard fence sections, you will need to trim a fence panel to fit the odd spacing on the end. If this becomes necessary, consider trimming an even amount off of each end of the panel so that the space from the last picket to the post remains consistent (Fig. 6). For aesthetic reasons, you may want to consider splitting the difference and trimming the panel on each end of your fence line, or trimming a portion off of each panel in your fence line, so that all panels are the same size. Choose the option that works best and and position line posts accordingly.

### STEP 2

Dig all line post holes.

### STEP 3

Set all line posts as you did the terminal posts, using the string line at the top of the posts to determine the proper post height.



## 5 Hanging Your Fence Panels

If you cut fence sections, the length of the rails should be 1/2" less than the opening between posts. Cut ends must be thoroughly cleaned, primed with a zinc-rich primer and painted with a high-quality rust inhibiting enamel paint to ensure against corrosion of the exposed metal.

### STEP 1

Place all four of the fence mounting brackets into the ends of the panel rails with the tabs facing downward.

### STEP 2

Place the panel between the posts and align the top of the panel with the top of the post. Place blocks under the panel to hold it at the desired height. Mark the location of the mounting holes in the four mounting brackets.

### STEP 3

Remove the panel and drill 1/8" diameter pilot holes in the posts where marked.

### STEP 4

Replace the fence panel (with the mounting brackets still in the rails) and secure to the posts with the screws provided.

## 6 Hanging Your Gates

The following instructions detail hanging a gate using a standard gate hardware kit. If using another type of hardware, consult the installation instructions included with that hardware.

### STEP 1

On the hinge side of the gate, drill a 7/16" diameter hole 5" down from the top of the gate and one 5" up from the bottom of the gate (Fig. 7). Remove the outer nut on both hinge hanger bolts and adjust the inner nut so that when the bolt is inserted into the holes you've drilled in the gate frame, approximately 1" or more of threads are exposed. Replace outer nuts finger-tight and position the bolts so that the short end of the top bolt points up and the short end of the bottom bolt points down. Tighten the outer nuts.

### STEP 2

Position the gate in the opening and place blocks under the gate to achieve the desired height. Remove the nut and bolt from one hinge hanger bracket and slip the clamp onto the post. Position the hinge hanger bracket so that the bottom hinge hanger bolt is well seated in the bracket. Replace the nut and bolt and tighten.

### STEP 3

Repeat step 2 to attach the top hinge hanger bracket.

### STEP 4

Adjust the gate to hang squarely in the opening using the nuts on the hanger bolts. For example, if the latching side of the gate sags downward, "tighten" the nuts at the top or "loosen" the nuts at the bottom.

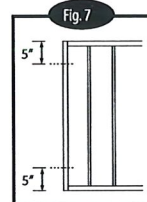
### STEP 5

Position the gravity latch striker bar on the gate at the desired height (mount striker bar to the outside of the gate to make the gate swing out, mount on the inside to make the gate swing in). Mark the position of the hole in the striker bar mounting plate. Drill 1/8" inch pilot holes in the post where marked. Replace the striker bar and mount it to the post with the screws provided.

### STEP 6

Remove the nut and bolt from the latch. Slip the clamp onto the post and position it so that the striker bar engages the latch smoothly. Replace the nut and bolt and tighten.

**NOTE:** For double gates, purchase two hardware kits: 1 gate hardware kit and 1 cane bolt. Mount the hinges and latch as described above for single gates. Mount the striker bar to the gate which will be used primarily for opening and entering. Mount the latch and the cane bolt to the gate which will be primarily stationary. Mount the cane bolt as described on the back of the package.

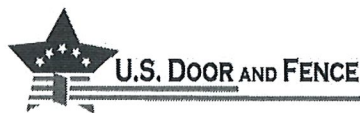


## 7 Touch-Up and Clean-Up Of Installation

Clean material as necessary with a soft rag and mild soap to remove dirt and any concrete that may have splashed onto the material. Rinse with clean water to remove all soap.

**NOTE:** FirstAlert products are constructed of steel for strength and durability. Due to the nature of steel, exposed, scratched or scraped areas will rust. Immediately upon completion of your installation, clean, prime and paint all areas damaged during handling and installation. Periodically check fence for signs of wear and oxidation and repaint as necessary.

Learn more at  
homedepot.com

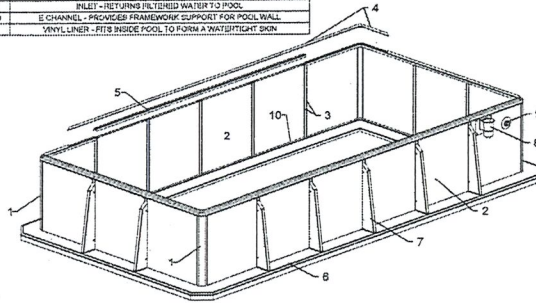




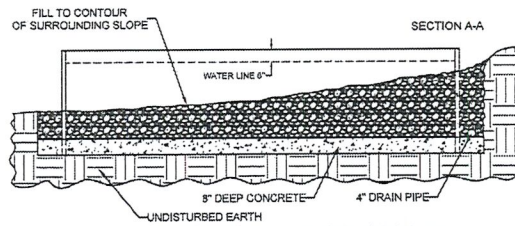
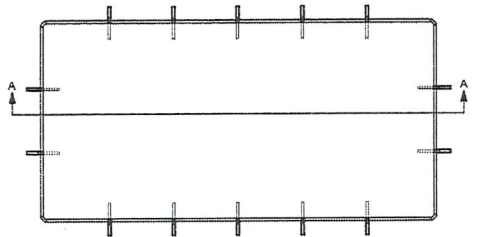
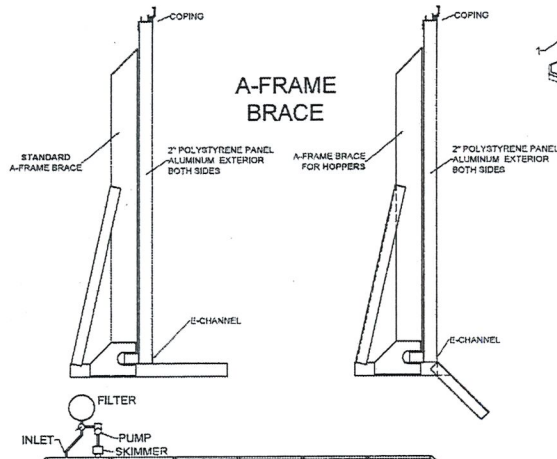
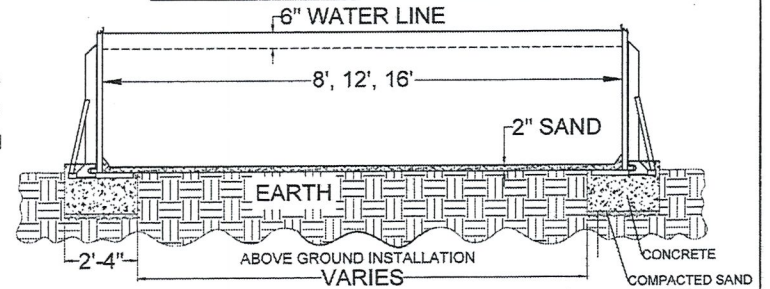
**ENGINEERING NOTES**

- POOL CAN BE INSTALLED IN GROUND, PARTIALLY IN GROUND, OR ABOVE-GROUND WHEN POOL IS INSTALLED ABOVE GROUND, SURFACE ON WHICH THE POOL WILL STAND MUST BE ABSOLUTELY LEVEL AND SOLID
- POOL CAN BE USED IN-GROUND UNDER THE FOLLOWING CONDITIONS
  - FILL POOL WITH WATER BEFORE BACKFILLING
  - BACK FILL MATERIAL TO BE POROUS OR GRANULAR (NO CLAY OR LARGE ROCKS)
  - POOL TO REMAIN PERMANENTLY FILLED
  - DRAINAGE MUST BE SUPPLIED USING DRAIN TILE OR CRUSHED STONE TO DRAIN WATER AWAY FROM POOL IF HIGH GROUND WATER OR SURFACE WATER IS ANTICIPATED, OR IF POOL IS INSTALLED AT THE BASE OF A HILL OR IN A CLAY CONDITION
  - SLOPE DECK SURFACE 1/4" PER FOOT AWAY FROM POOL
  - AN 8" CONTINUOUS CONCRETE BOND BEAM (COLLAR) MUST BE POURED AROUND THE ENTIRE PERIMETER
- WHEN PANELS ARE JOINED USING SPLINES, THE ASSEMBLY IS ELECTRICALLY BONDED. WHEN THE POOL IS FULLY ASSEMBLED THE ELECTRICAL CONTINUITY MEETS THE REQUIREMENTS OF THE US NATIONAL ELECTRIC CODE.
- CONSTRUCTION METHODS AND PRECAUTIONS ARE DICTATED BY GROUND AND SOIL CONDITIONS TO BE DETERMINED BY THE CONTRACTOR, WHO IS NOT AN AGENT OR EMPLOYEE OF RADIANT POOLS OR THE MANUFACTURER OF THE POOL COMPONENTS

POOL COMPONENTS	
1	CORNER CORRECTOR EXTRUSION (4) CONNECTS STRAIGHT WALLS
2	STRAIGHT WALL PANELS - 2 TO 8 PANELS JOIN TOGETHER ON EACH SIDE
3	SPLINES - 4 ARE PLD IN AT EACH JOINT TO CONNECT WALL PANELS
4	COPING FINISH CAP - ATTACHES TO VERSATILE BASE FOR FINISH PREFERENCE
5	VERSATILE COPING BASE - SECTIONS MOUNT OVER WALLS TO HOLD LINER
6	CONCRETE - ANCHORS A-FRAMES
7	SPLINES - OPTIONAL COVER FOR A-FRAME
8	SKIMMER - CONTINUALLY REMOVES SURFACE DEBRIS
9	INLET - RETURNS FILTERED WATER TO POOL
10	E-CHANNEL - PROVIDES FRAMEWORK SUPPORT FOR POOL WALL VINYL LINER - FITS INSIDE POOL TO FORM A WATERTIGHT SKIN

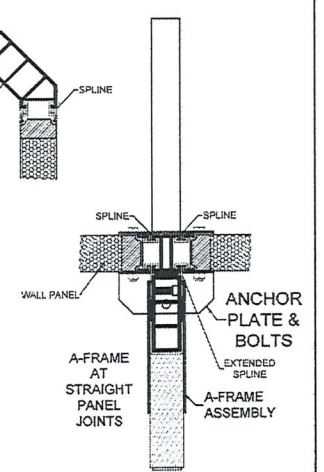
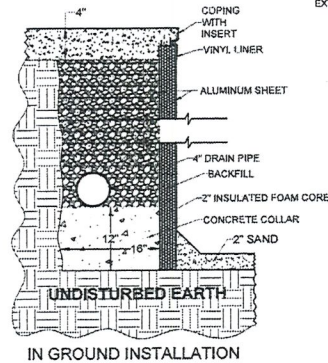


METRIC SERIES / 52" WALL HEIGHT / POOL SIZE / WATER GALLONAGE			
NOMINAL SIZE	STRAIGHT PANELS	# OF A-FRAMES	VOL. 44" OF WATER
8' X 12'	10	6	2,724 GAL.
12' X 18'	14	10	5,373 GAL.
12' X 24'	18	14	8,922 GAL.
16' X 28'	22	18	12,403 GAL.
16' X 32'	24	20	14,151 GAL.

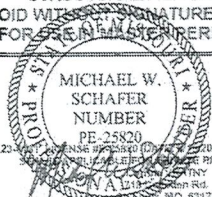


EXAMPLE: PARTIAL IN GROUND INSTALLATION

NON-DIVING POOL  
USE OF DIVING EQUIPMENT  
IS PROHIBITED



**STRUCTURAL P.E. REVIEW SEAL**  
VOID WITH SIGNATURE AND P.E. SEAL  
NOT FOR USE IN PERMIT APPLICATIONS



ISSUE#: 20110101  
NSP-4 (2011-2012) EXPIRATION DATE: 1/31/2024  
RESIDENTIAL POOLS:  
POOL PANELS SERVED STRUCTURALLY COMPLIANT WITH THE NSPI-4 & 5 (1995-2013), ANSHAP'S PRC-4 & 5 (2011-2012); NATIONALLY ACCEPTED IBC/IRC/SPSC (2009-2011) CODES AND ST. LOUIS COUNTY AMENDMENTS



440 NORTH PEARL STREET  
ALBANY, NY 12207  
PHONE: (518) 434-4161  
FAX: (518) 432-6554

**METRIC SERIES RECTANGLE POOLS**

DATE: 06/01/21	PERIMETER: VARIES	AREA: XXXX sq.ft.	GALLONAGE: XXXX gal.	DEALER: XXXXXX
CUSTOM FEATURES	DRAWN BY: STEVE	CHECKED BY: XXXXXX	CUSTOMER: XXXXXX	
PART NO.	SCALE NTS	FILE NAME: XXXXXX	PAGE 1 OF 1	



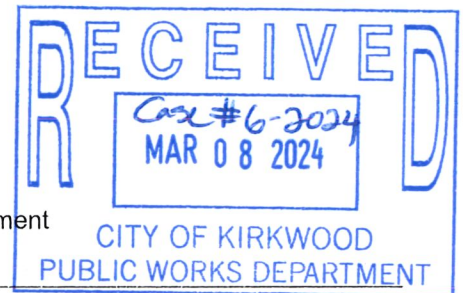
# Kirkwood Landmarks Commission

## Application for Certificate of Appropriateness

Please submit the application with supporting documentation by the first Wednesday of the month to the Building Department. Failure to supply sufficient information may result in the application being denied or postponed. It is recommended that you or your representative be present at the Landmarks Commission meeting on the second Wednesday of the month at 7:00 p.m. in City Hall.

- Property Address 1409 Lark Ave
- Property Status
  - Local Landmark Designation
  - National Register of Historic Places
  - Within a Historic District
- Name of Applicant Ken Bealka  
 Mailing Address 1616 Woodson Rd.  
 City/State Overland, MO. Zip Code 63114  
 Office Phone (314) 314-7870 Cell Phone (314) 399-4346  
 Home Phone (636) 459-8247 E-Mail KBEALKA@TUFFSHED.COM
- Relationship of Applicant to Property
  - Owner
  - Contractor
  - Architect
  - Attorney
  - Other – Please specify \_\_\_\_\_
- Existing Building Use N/A
- Proposed Building Use ACCESSORY BUILDING/STORAGE
- Proposed Change to
  - Primary Structure
  - Accessory Structure
  - Landscape Element
- Nature of Proposed Change
 

<input type="checkbox"/> Demolition	<input type="checkbox"/> Window Configuration
<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Sign Erection or Placement
<input type="checkbox"/> Alteration to Exterior	<input type="checkbox"/> Fence
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Landscape or Hardscape Element
<input type="checkbox"/> Other – Please Specify _____	
- Description of Proposed Improvements 12' x 16' TUFF SHED  
INSTALLED ON PROPERTY



10. **Accompanying Documentation (8 copies each)**

- Site Plan
- Elevations
- Floor/Building Plans
- Other – Please Specify \_\_\_\_\_
- Structural Report for Demolitions
- Landscape Plan
- Photos

11. **Existing Materials/Construction**

- Wood Frame
- Brick
- Stone
- Block
- Stucco
- Other \_\_\_\_\_

12. **Proposed Materials/Construction**

- Wood Frame
- Brick
- Stone
- Block
- Stucco
- Other \_\_\_\_\_

13. **If materials differ from existing, explain reasons**

NEW CONSTRUCTION

14. **Material samples should be available for review at Commission meeting (preferable) or on site.**

Site Location of Materials \_\_\_\_\_

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature

K. Bialka

Date 3/8/24

Please print name

KENNETH BIALKA

COMMISSION ACTION

Approved

Approved with Conditions

Disapproved

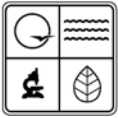
Signature \_\_\_\_\_

Date \_\_\_\_\_

Conditions \_\_\_\_\_

Comments/Recommendations \_\_\_\_\_





**ARCHITECTURAL/HISTORIC INVENTORY FORM**

1. SURVEY NO.		2. SURVEY NAME:			
3. COUNTY:		4. ADDRESS (STREET NO.)	STREET (NAME)		
5. CITY:	VICINITY: <input type="checkbox"/>	6. UTM:	OR	LAT:	7. TOWNSHIP/RANGE/SECTION:
8. HISTORIC NAME (IF KNOWN):		/ /		LONG:	T: R: S:
10. OWNERSHIP: <input type="checkbox"/> PRIVATE <input type="checkbox"/> PUBLIC		11A. HISTORIC USE (IF KNOWN):		11B. CURRENT USE:	

**HISTORICAL INFORMATION**

12. CONSTRUCTION DATE:	15. ARCHITECT:	18. PREVIOUSLY SURVEYED? <input type="checkbox"/> CITE SURVEY NAME IN BOX 22 CONT. (PAGE 3)
13. SIGNIFICANT DATE/PERIOD:	16. BUILDER/CONTRACTOR:	19. ON NATIONAL REGISTER? <input type="checkbox"/> INDIVIDUAL <input type="checkbox"/> DISTRICT CITE NOMINATION NAME IN BOX 22 CONT. (PAGE 3)
14. AREA(S) OF SIGNIFICANCE:	17. ORIGINAL OR SIGNIFICANT OWNER:	20. NATIONAL REGISTER ELIGIBLE <input type="checkbox"/> INDIVIDUALLY ELIGIBLE <input type="checkbox"/> DISTRICT POTENTIAL ( <input type="checkbox"/> C <input type="checkbox"/> NC ) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED
21. HISTORY AND SIGNIFICANCE ON CONTINUATION PAGE. <input type="checkbox"/>		22. SOURCES OF INFORMATION ON CONTINUATION PAGE. <input type="checkbox"/>

**ARCHITECTURAL INFORMATION**

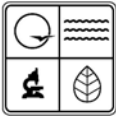
23. CATEGORY OF PROPERTY: <input type="checkbox"/> BUILDING(S) <input type="checkbox"/> SITE <input type="checkbox"/> STRUCTURE <input type="checkbox"/> OBJECT	30. ROOF MATERIAL: _____	37. WINDOWS: <input type="checkbox"/> HISTORIC <input type="checkbox"/> REPLACEMENT PANE ARRANGEMENT:
24. VERNACULAR OR PROPERTY TYPE:	31. CHIMNEY PLACEMENT:	38. ACREAGE (RURAL): VISIBLE FROM PUBLIC ROAD? <input type="checkbox"/>
25. ARCHITECTURAL STYLE:	32. STRUCTURAL SYSTEM:	39. CHANGES (DESCRIBE IN BOX 41 CONT.): <input type="checkbox"/> ADDITION(S) DATE(S): <input type="checkbox"/> ALTERED DATE(S): <input type="checkbox"/> MOVED DATE(S): <input type="checkbox"/> OTHER DATE(S): ENDANGERED BY:
26. PLAN SHAPE:	33. EXTERIOR WALL CLADDING:	
27. NO. OF STORIES:	34. FOUNDATION MATERIAL:	
28. NO. OF BAYS (1 <sup>ST</sup> FLOOR):	35. BASEMENT TYPE:	40. NO. OF OUTBUILDINGS (DESCRIBE IN BOX 40 CONT.):
29. ROOF TYPE:	36. FRONT PORCH TYPE/PLACEMENT:	41. FURTHER DESCRIPTION OF BUILDING FEATURES AND ASSOCIATED RESOURCES ON CONTINUATION PAGE. <input type="checkbox"/>

**OTHER**

42. CURRENT OWNER/ADDRESS:	43. FORM PREPARED BY (NAME AND ORG.):	44. SURVEY DATE:
		45. DATE OF REVISIONS:

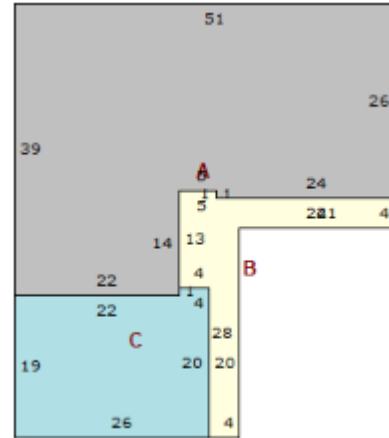
**FOR SHPO USE**

DATE ENTERED IN INVENTORY:	LEVEL OF SURVEY <input type="checkbox"/> RECONNAISSANCE <input type="checkbox"/> INTENSIVE	ADDITIONAL RESEARCH NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO
NATIONAL REGISTER STATUS: <input type="checkbox"/> LISTED <input type="checkbox"/> IN LISTED DISTRICT NAME: <input type="checkbox"/> PENDING LISTING <input type="checkbox"/> ELIGIBLE (INDIVIDUALLY) <input type="checkbox"/> ELIGIBLE (DISTRICT) <input type="checkbox"/> NOT ELIGIBLE <input type="checkbox"/> NOT DETERMINED		OTHER:



**LOCATION MAP (include north arrow)**

**SITE MAP/PLAN (include north arrow)**



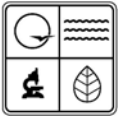
Key	Area	Description	Floor
A	1,607 ft <sup>2</sup>	Main Dwelling - FRAME Stories - 1 Basement - NONE	
B	265 ft <sup>2</sup>	OPEN FRAME PORCH	FIRST
C	498 ft <sup>2</sup>	FRAME GARAGE	FIRST
<b>Total Living Area - 1,607 ft<sup>2</sup></b>			

**PHOTOGRAPH**

PHOTOGRAPHER:	DATE:	DESCRIPTION:
---------------	-------	--------------

INSERT PHOTOGRAPH OF PRIMARY STRUCTURE ON PROPERTY.





**ARCHITECTURAL/HISTORIC INVENTORY FORM**

**ADDITIONAL INFORMATION**

21. (CONT.) HISTORY AND SIGNIFICANCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.

22. (CONT.) SOURCES OF INFORMATION. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.

40. (CONT.) DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.

41. (CONT.) DESCRIPTION OF PRIMARY RESOURCE. EXPAND BOX AS NECESSARY, OR ADD CONTINUATION PAGES.







IRON PIPE  
NORTH  
EAST

125.54

5'W. ESM'T.

30.6  
S01°47'

ADOF  
FO

10'W. ESM'T.

45' BLDG. LINE

S34°08'10"E

54

51.18'

JACUZZI  
New she

20'

FRAME  
SHED  
torn down

12' BLDG. LINE

12' BLDG. LINE

6" WOOD  
FENCE

18.22'

10'W. ESM'T.

FENCE  
0.9'W.

6" WO  
FENC

1 STORY  
FRAME W/STONE  
NO. 1409

51.4'

18.4'

19.8'

12.0'

29.3'

26.1'

COVERED PORCH

S39°09'18"E

182.64'

179.83'

ASPHALT DRIVE

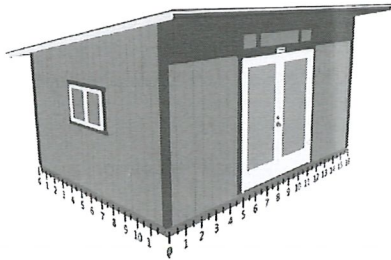
69.85'

45' BLDG. LINE

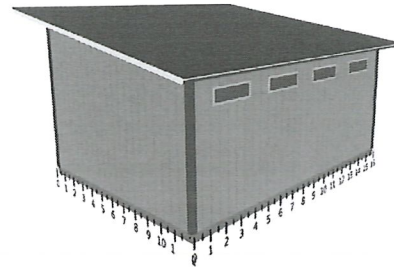
54.25'



jenna schroeder  
1409 Lark Ave.  
kirkwood MO 63122  
Q-2447575

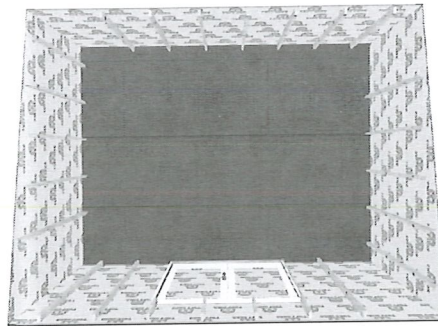


Wall A



Wall C

Wall D



Wall B

**Base Details/Permit Details**

**Building Size & Style**  
Premier Pro Studio - 12' wide by 16' long

**Paint Selection**  
Base: Dover Gray, Trim: Black Magic, Accent (Doors): Black Magic  
Customer to apply 2nd coat

**Roof Selection**  
Charcoal Dimensional Premium Shingle

**Drip Edge**  
White

**Is a permit required for this job?**  
Yes

**Who is pulling the permit?**  
Tuff Shed

**Optional Details**

**Doors**  
Full-Lite Residential Double Door (6' x 6'8"),

**Windows**  
3'x2' Insulated Horizontal Sliding Window

**Transoms**  
4 Ea Transom Window (29"x8")

**Roof**  
289 Sq Ft Roof - 2/12 Roof Pitch Upgrade

**Floor and Foundation**  
6 Ea Shed Anchor to Concrete - A24 & Wedge Anchor

**Jobsite/Installer Details**

**Do you plan to insulate this building after Tuff Shed installs it?**  
Yes


**Is there a power outlet within 100 feet of installation location?**  
Yes

**The building location must be level to properly install the building. How level is the install location?**  
Within 4" of level

**Will there be 18" of unobstructed workspace around the perimeter of all four walls?**  
Yes

**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**  
Yes

**Substrate Shed will be installed on?**  
Anchored to Concrete with Shed Floor

Customer Signature:  Date: 11/14/2023  
01804816529742A...



**ACCESSORY BUILDING**  
12' X 16' = 192 SQ FT

**DRAWING INDEX**  
S1 - PROJECT NOTES, ELEVATIONS  
S2 - PLANS, SHEAR WALL SCHEDULE  
S3 - SECTIONS, DETAILS

**PROJECT NOTES**

1. DESIGN REQUIREMENTS  
GOVERNING CODES: 2018 IBC  
OCCUPANCY GROUP: GROUP U  
CONSTRUCTION TYPE: V-B
2. DESIGN SCHEDULE  
A. BUILDING SIZE  
WIDTH: 12'-0"  
LENGTH: 16'-0"  
SIDE WALL HEIGHT: 8'-10 1/8"  
TOTAL HEIGHT: 10'-5"  
B. ROOF PITCH: 2/12  
C. BUILDING LOADS  
GROUND SNOW LOAD,  $P_g$ : 20 PSF  
 $C_e$ : 1.00  
 $C_i$ : 1.20  
 $I_f$ : 1.00  
 $C_d$ : 1  
ROOF SNOW LOAD,  $P_s$ : 17 PSF  
ROOF LIVE LOAD: 20 PSF  
ROOF DEAD LOAD: 10 PSF  
D. DESIGN WIND  
BASIC WIND SPEED,  $V$ : 115 MPH  
WIND EXPOSURE: C  
E. SEISMIC DESIGN CATEGORY: D  
F. SITE CLASS: D
3. ROOFING SCHEDULE  
A. ROOF SHEATHING SHALL BE APA RATED 7/16" THICK OSB WITH FOIL BACKING, 24/16 RATED MIN., UNBLOCKED DIAPHRAGM. STAGGER LAYOUT PER APA CONDITION 1.  
B. SHEATHING NAILING SHALL BE PER NAILING SCHEDULE.  
C. LIFETIME DIMENSIONAL ASPHALT SHINGLES (U.N.O.).  
D. GAF FELTBUSTER.  
E. TYPE 'D' METAL DRIP EDGE FLASHING REQUIRED ALL SIDES.  
F. TRUSSES SHALL BE SPACED @ 24" O.C.  
G. SEE SEPARATE TRUSS SHEETS FOR TRUSS FRAMING AND MATERIALS.  
H. TRUSSES MUST BE BRACED ACCORDING TO THE LATEST EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION "GUIDE TO GOOD PRACTICE OF METAL PLATE CONNECTED WOOD TRUSSES" (BCSI)  
I. TRUSS CONNECTION PLATES 'EAGLE METAL PLATES'.  
J. THE TRUSS PLATE INSTITUTE (TPI) (NER QA 430) IS THE INSPECTION AGENCY RESPONSIBLE FOR IN-PLANT INSPECTIONS.  
K. TRUSS MANUFACTURER: TUFF SHED, INC.
4. WOOD FRAMING  
A. ALL HEADERS ARE SPF #2 (U.N.O.).  
B. ALL WALL FRAMING MEMBERS SHALL BE SPF STUD GRADE OR BETTER.  
C. STUDS SHALL BE SPACED @ 16" O.C.  
D. FASTEN EXTERIOR WALL SHEATHING TO FRAMING PER NAILING SCHEDULE.  
E. PROVIDE SOLID BLOCKING AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.  
F. SHEAR WALL MATERIAL AND NAILING SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE.  
G. LAMINATED VENEER LUMBER (LVL) SHALL BE LVL 2.0E-2600  $F_v$  WITH THE FOLLOWING MIN. DESIGN VALUES:  $F_c = 2600$  PSI,  $F_t = 1555$  PSI,  $F_v = 285$  PSI,  $F_{ci} = 2510$  PSI,  $F_{cl} = 750$  PSI,  $E = 2.0 \times 10^6$  PSI,  $SG = 0.50$
5. SOIL  
A. MIN. REQUIRED SOIL TYPE SHALL BE CLAY, SANDY CLAY, SILTY CLAY, OR CLAYEY SILT (CL, ML, MH & CH). PRESCRIPTIVE ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN IS 1500 PSF AT 12" DEEP. VALUES ARE PER TABLE 1806.2.  
B. ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL.  
C. IN THE EVENT OF THE DISCOVERY OF EXPANSIVE SOILS OR UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER MAY BE REQUIRED.
6. PERMIT  
A. PERMIT APPLICATIONS, WHERE NO PERMIT IS ISSUED, SHALL EXPIRE PER LIMITATIONS SET BY LOCAL CODES, SECTION 105.5.  
B. JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE
7. GENERAL NOTES  
A. INSTALLATION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, TREES, UTILITIES, ETC.  
B. BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.  
C. ALL WOOD CONSTRUCTION CONNECTORS REFERENCED IN THIS DRAWING SHALL BE SIMPSON 'STRONG-TIE' OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
D. GREEN VINYL SINKER NAILS DO NOT MEET THE NAILING REQUIREMENTS OF COMMON NAILS.
8. MATERIAL EVALUATION REPORT IDENTIFICATION  
A. TRUSS CONNECTION PLATES BY EAGLE METAL PLATES PER ICC-ES REPORT #ESR-1082.  
B. SMARTSIDE SIDING BY LP CORPORATION PER ICC-ES REPORT #ESR-1301.  
C. HARDIE PANEL SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-1844.  
D. HARDIE PLANK LAP SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-2290.  
E. LAMINATED VENEER LUMBER (LVL) BY WEYERHAEUSER PER ICC-ES REPORT #ESR-1387.  
F. ASPHALT SHINGLES BY GAF PER ICC-ES REPORT #ESR-1475.  
G. FELTBUSTER ROOFING UNDERLAYMENT BY GAF PER ICC-ES REPORT #ESR-2808.  
H. HDU PRE-DEFLECTED HOLD-DOWNS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2330.  
I. SSTB ANCHOR BOLTS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2611.



2/01/2024

TUFF SHED, INC.  
ENGINEERING DEPARTMENT  
TIMOTHY D. CAHALAN, P.E.  
TCAHALAN@TUFFSHED.COM  
1777'S HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-8833

SO #: 2019266 EP #: 18764  
Customer: JENNA SCHROEDER  
Description: ACCESSORY BUILDING  
12' X 16' = 192 SQ FT  
Site Address: 1409 LARK AVENUE  
KIRKWOOD, MO 63122

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED ONLY. ANY OTHER USE IS FORBIDDEN BY TUFF SHED, INC. AND THE ENGINEER OF RECORD.

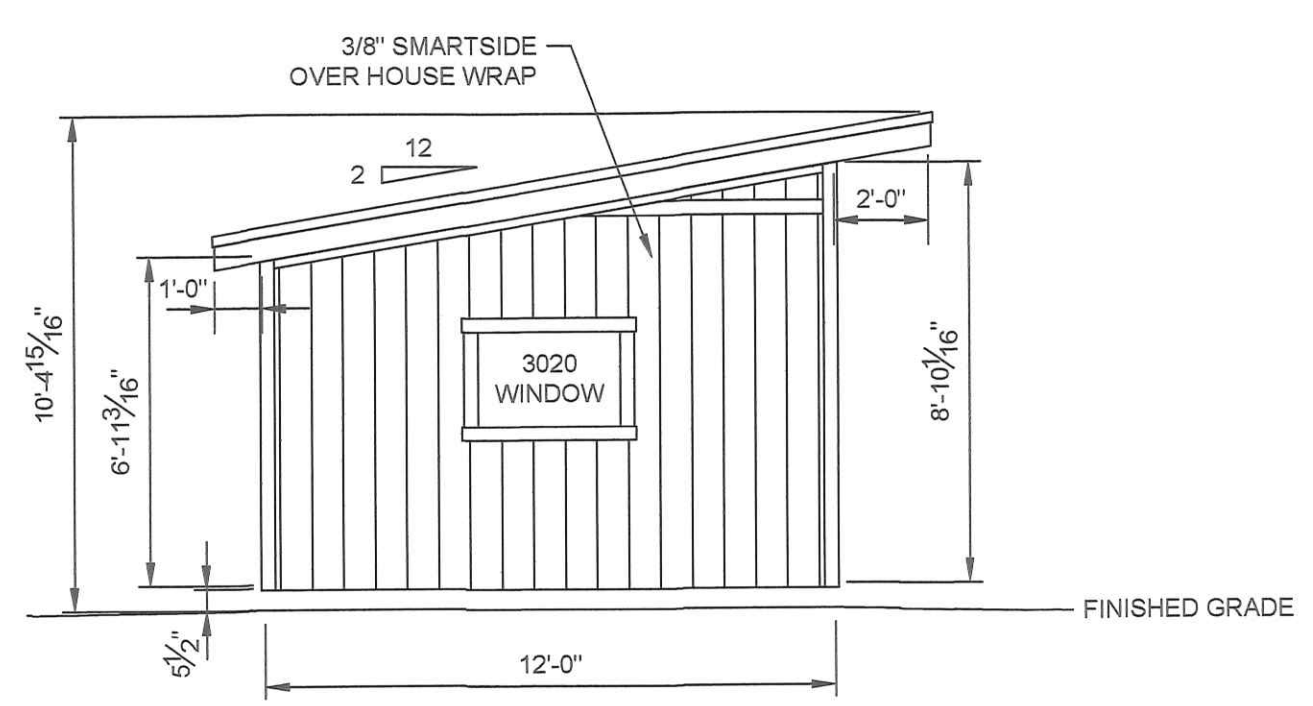


Drawn By: TB  
Date: 12/5/23  
Checked By:  
Date:  
Revised:  
Revised:  
Title:  
PROJECT NOTES  
ELEVATIONS

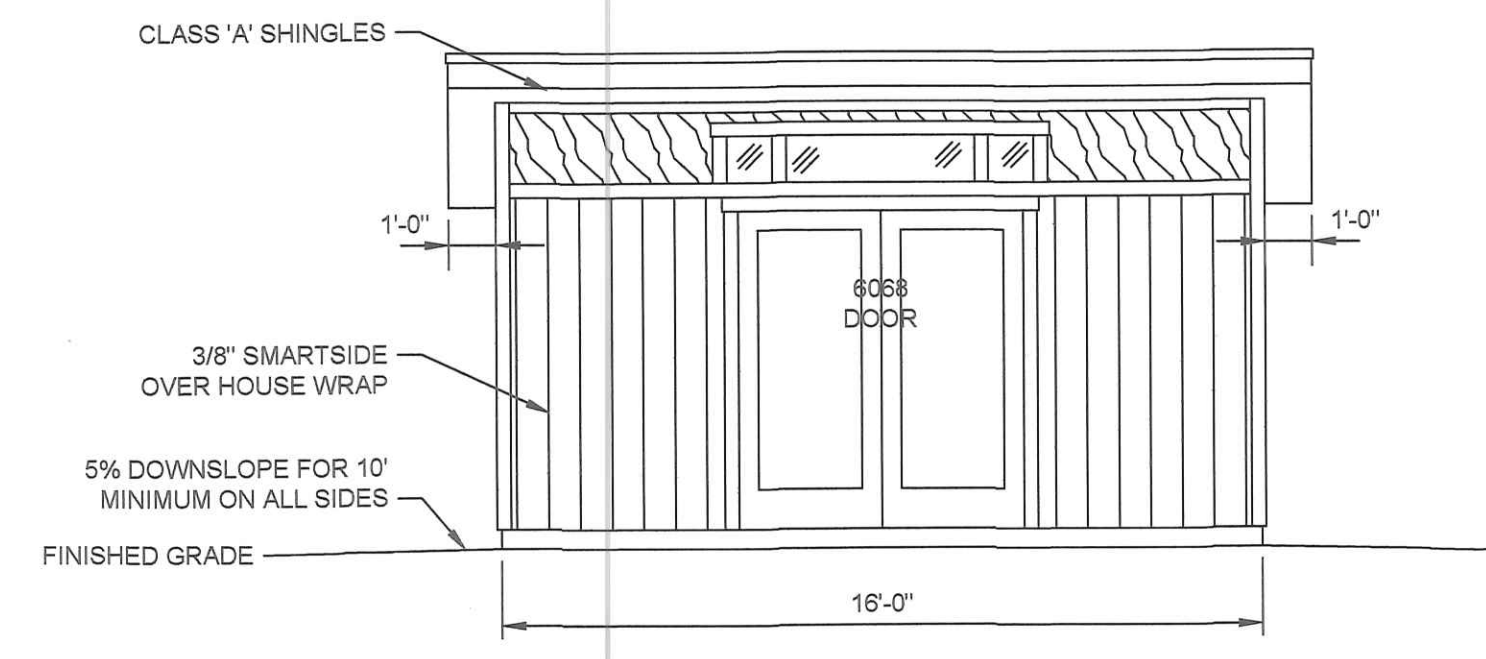
Scale: 1/4" = 1'-0"  
Sheet:

**S1**

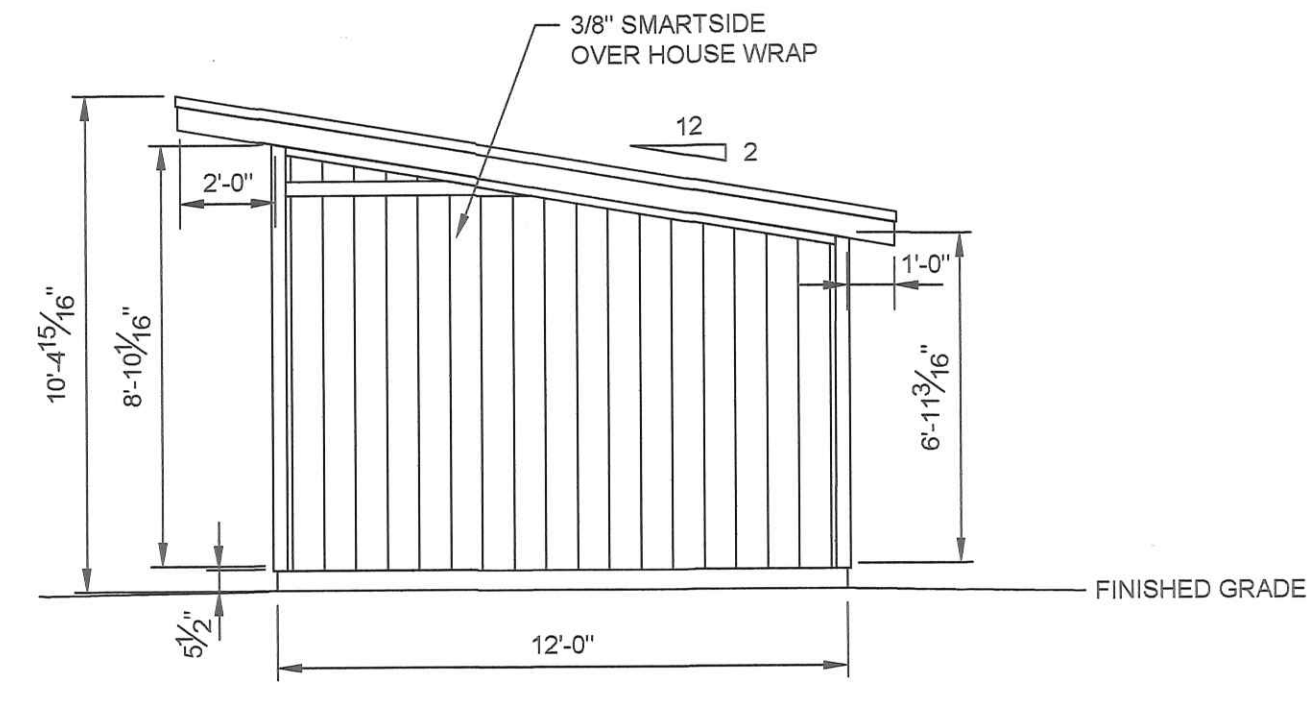
Sheet 1 of 3



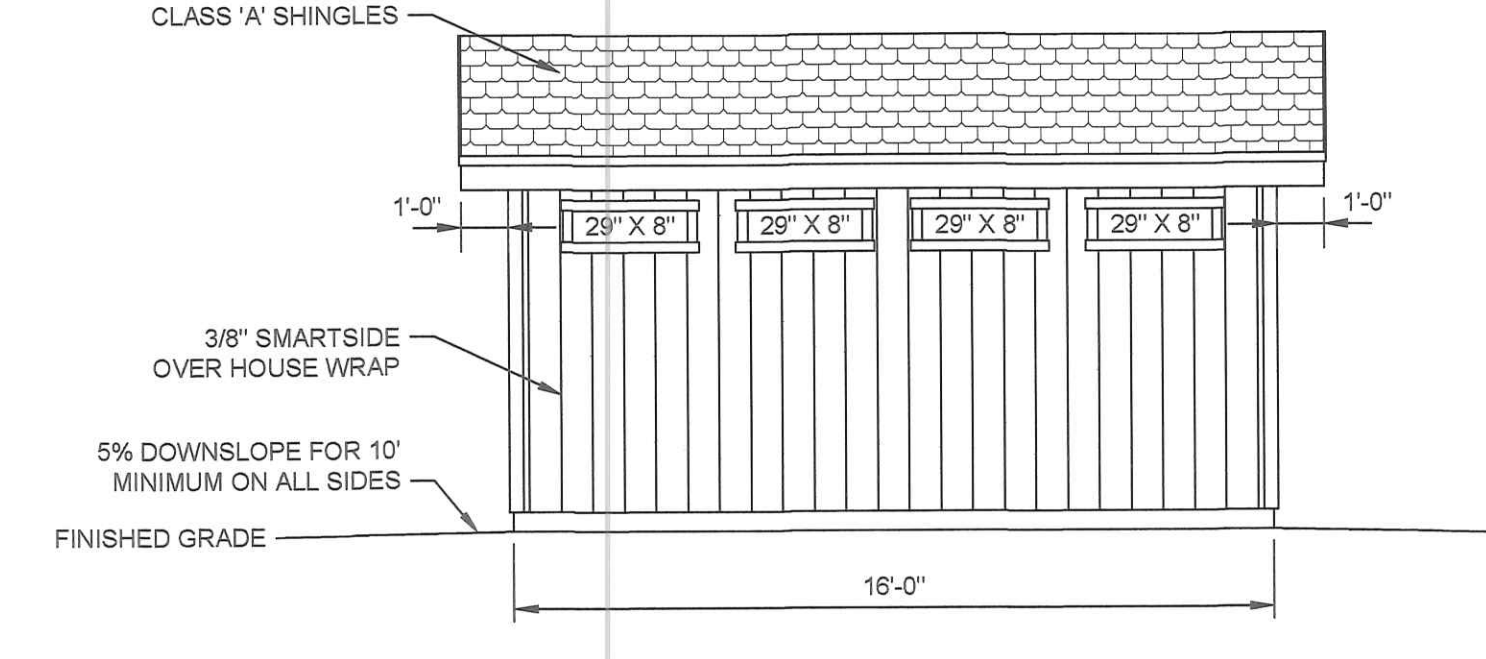
**WALL A ELEVATION**



**WALL B ELEVATION**



**WALL C ELEVATION**



**WALL D ELEVATION**



NAILING SCHEDULE	SHEAR WALL SCHEDULE	CALC. SHEAR LOAD (lb/ft)	ALLOW. SHEAR LOAD (lb/ft)	SHEAR WALL SCHEDULE	CALC. SHEAR LOAD (lb/ft)	ALLOW. SHEAR LOAD (lb/ft)
FRAMING NAILING: STUD TO TOP PLATE, (2) 16d END NAIL STUD TO SILL PLATE, (2) 16d END NAIL OR (4) 8d TOENAIL DOUBLE HEADER 16d @ 16" OC ALONG EACH EDGE HEADER TO KING STUD (4) 8d TOENAIL OR (4) 16d END NAIL DOUBLE TOP PLATES, 16d @ 16" FACE NAIL	PROVIDE (2) A24 ANCHORS LOCATED APPROXIMATELY AS SHOWN.			PROVIDE (2) A24 ANCHORS LOCATED APPROXIMATELY AS SHOWN. TOENAIL BLOCKING TO TOP PLATE: (3) 8d/BLOCK		150
UNLESS SPECIFIED HEREIN, ALL NAILING SHALL BE PER 2018 IBC TABLE 2304.10.1.						
UPLIFT TRANSFER: PROVIDE SIMPSON H2.5A AT EACH END OF RAFTERS.						
PROVIDE 2X4 SOLID BLOCKING ON ALL UNSUPPORTED EDGES OF PLYWOOD ON SHEAR WALLS.						
UNBLOCKED ROOF DIAPHRAGM ROOF SHEATHING NAILING: BORDER: 8d COMMON @ 6" OC EDGE: 8d COMMON @ 6" OC FIELD: 8d COMMON @ 12" OC	2X4 FRAMING. SHEATHE EXTERIOR WITH 3/8" SMARTSIDE. 12'-0" LONG TOTAL. 12' USED FOR SHEAR. NAILING: EDGE: 8d COMMON @ 6" OC FIELD: 8d COMMON @ 12" OC	42	148	2X4 FRAMING. SHEATHE EXTERIOR WITH 3/8" SMARTSIDE. 16'-0" LONG TOTAL. 0' USED FOR SHEAR. NAILING: EDGE: 8d COMMON @ 6" OC FIELD: 8d COMMON @ 12" OC	-	-
END WALL SHEAR TRANSFER: SHEATHING AT END WALL LAPS TOP PLATE OF WALL BELOW. PROVIDE EDGE NAILING. REFERENCE END WALL ASSEMBLY/S3, OR BALLOON FRAME END WALLS.	PROVIDE (2) A24 ANCHORS LOCATED APPROXIMATELY AS SHOWN.			3-WALL DIAPHRAGM DESIGN. WALL 'D' IS NOT A SHEAR WALL. SHEAR IS TRANSFERRED TO WALL 'B'. PROVIDE (2) A24 ANCHORS LOCATED APPROXIMATELY AS SHOWN. TOENAIL BLOCKING TO TOP PLATE: (3) 8d/BLOCK		150

WHEN PERFORATED SHEAR WALL DESIGN IS DESIGNATED, AREAS ABOVE AND BELOW OPENINGS ARE USED IN SHEAR CALCULATIONS. REFER TO ANS/AWC SDPWS.

FASTENER EQUIVALENCY	
SIMPSON	USP
H2.5A	RT7A
SSTB16-SSTB36	STB16-STB36
HDU2-HDU5	PHD2A-PHD5A
HU8	PHD8
LUS24-LUS210	JUS24-JUS210
LS30/LS50	MP3/MP5
LSTA9-LSTA24	LSTA9-LSTA24
A24	TDL5
H1	RT15
H3	RT3A
H6	LFTA6
H8	LTW12
H10	RT16A
PA51/PA68	TA51/TA71
ABA44/ABA66	PA44E/PA66E
BC4/BC6	C44/C66
A311	TDL10
HST2	KHST2
SDS1/4X3 SCREW	WS3
A34	MP34
A35	MPA1
CS18/CS22	RE200/RS300
HTT4/HTT5	HTT16/HTT22
CMSTC16	CMSTC16



2/01/2024

TUFF SHED, INC.  
ENGINEERING DEPARTMENT  
TIMOTHY D. CAHALAN, P.E.  
TCAHALAN@TUFFSHED.COM  
1777 S. HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-8833

SO #: 2019266 EP #: 18764  
Customer: JENNA SCHROEDER  
Description:  
ACCESSORY BUILDING  
12' X 16' = 192 SQ FT  
Site Address:  
1409 LARK AVENUE  
KIRKWOOD, MO 63122

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED ONLY. ANY OTHER USE IS FORBIDDEN BY TUFF SHED, INC AND THE ENGINEER OF RECORD.

**TUFF SHED**  
Storage Buildings & Garages  
TUFF SHED, INC.  
1816 WOODSON RD. UNIT B  
OVERLAND, MO 63114  
(314) 872-8833  
8709E 240  
COPYRIGHT © 2016 TUFF SHED, INC.  
PROPRIETARY. ALL RIGHTS RESERVED.

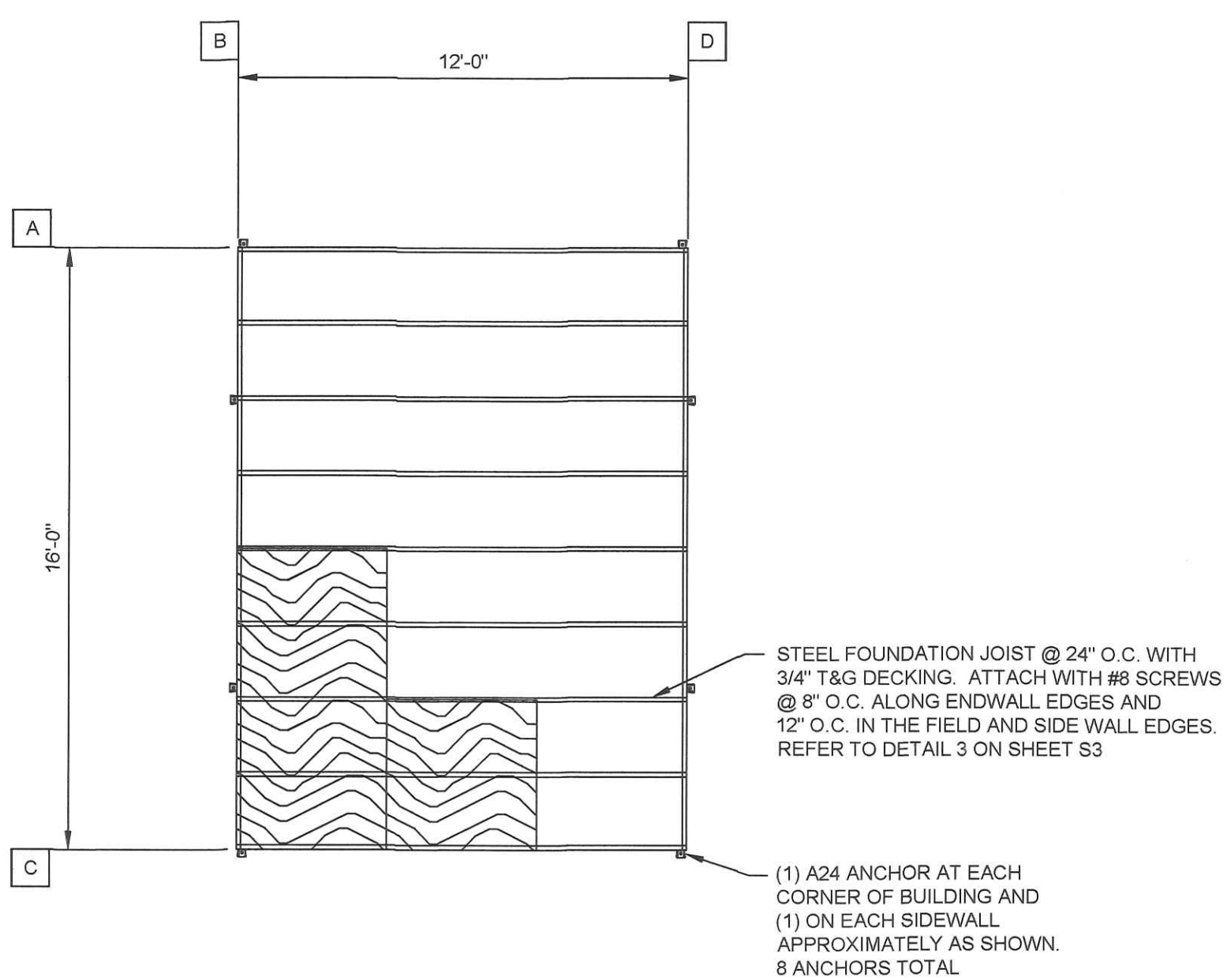
Drawn By: TB  
Date: 12/5/23  
Checked By:  
Date:  
Revised:  
Revised:  
Title:

PLANS  
SHEAR WALL SCHED  
NAILING SCHEDULE

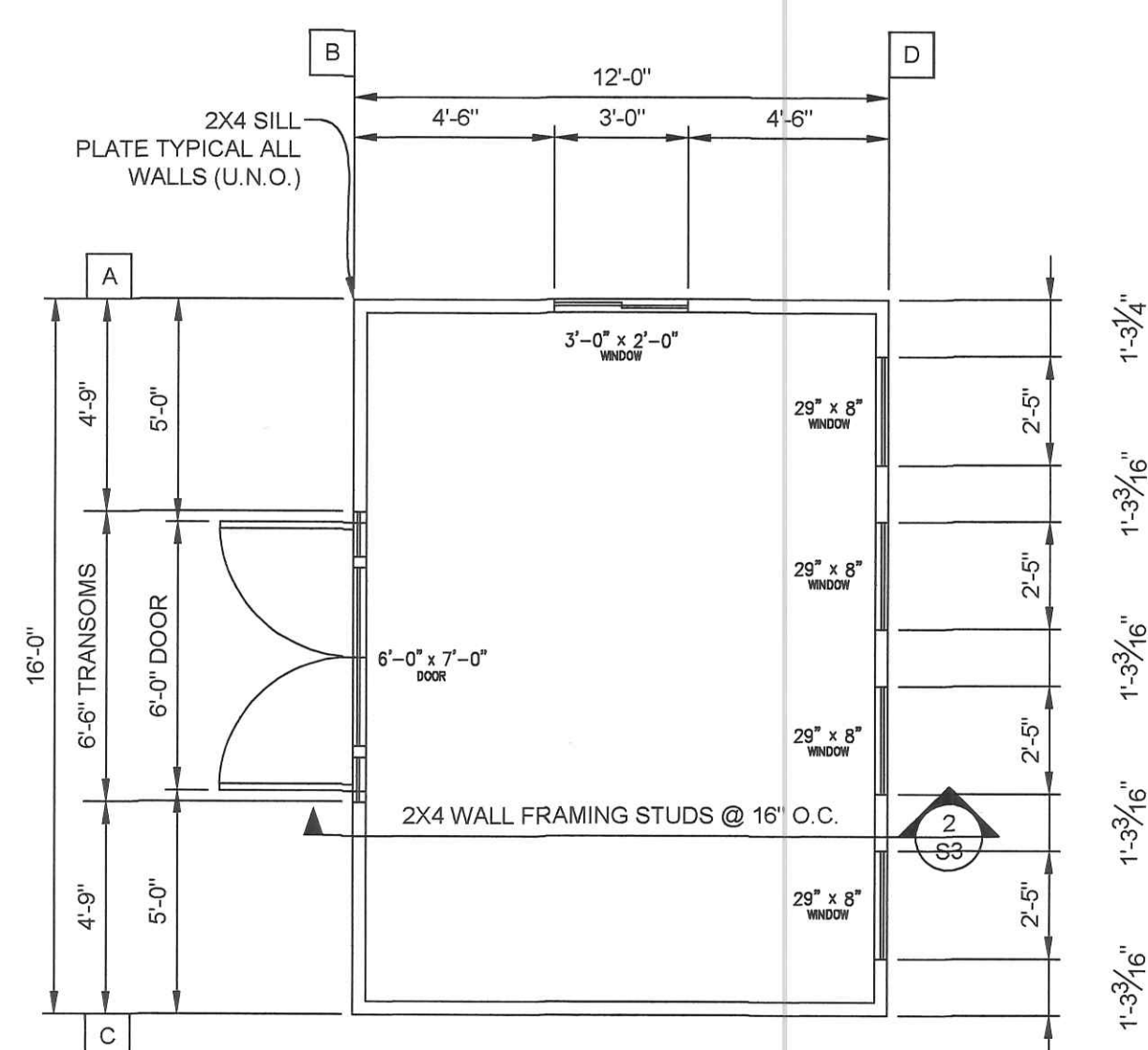
Scale: 1/4" = 1'-0"  
Sheet:

**S2**

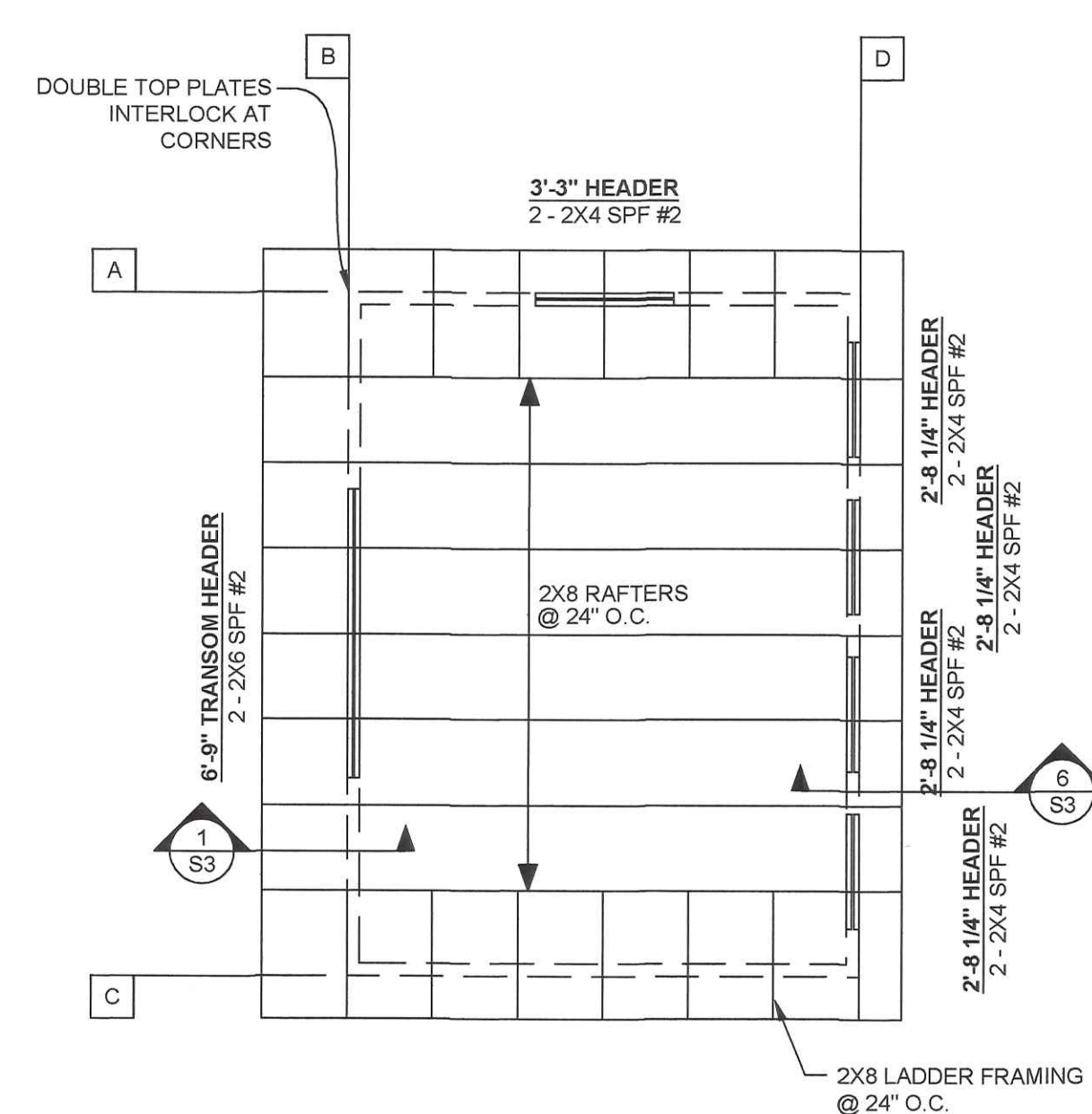
Sheet 2 of 3



FOUNDATION PLAN

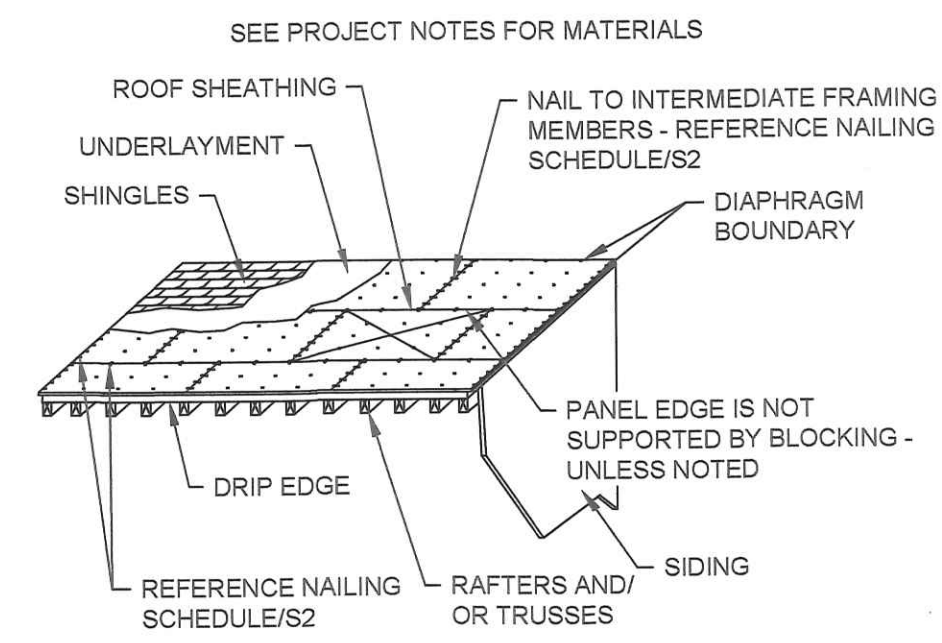


FLOOR PLAN

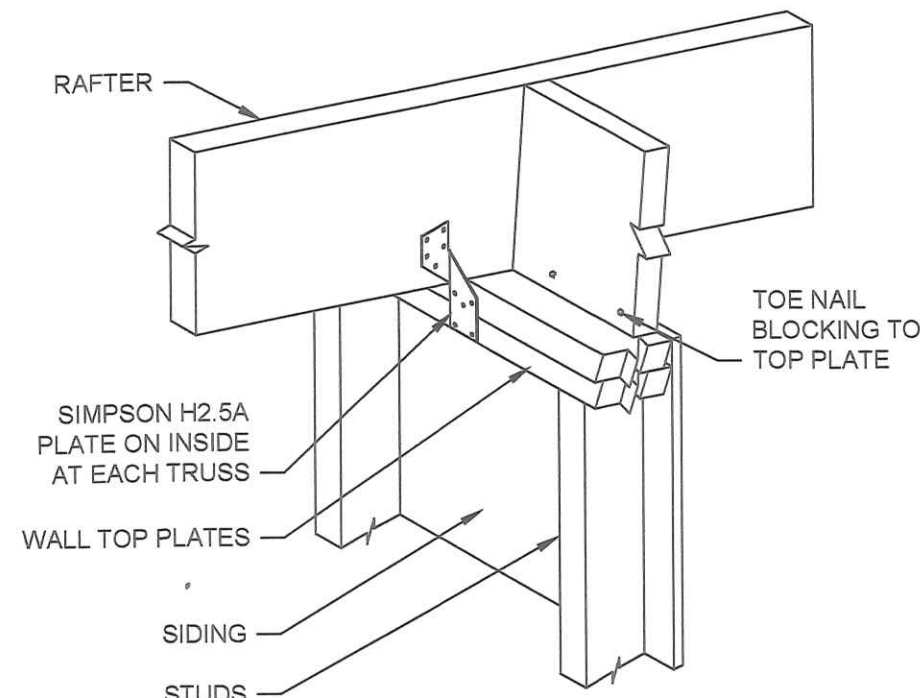


ROOF FRAMING PLAN

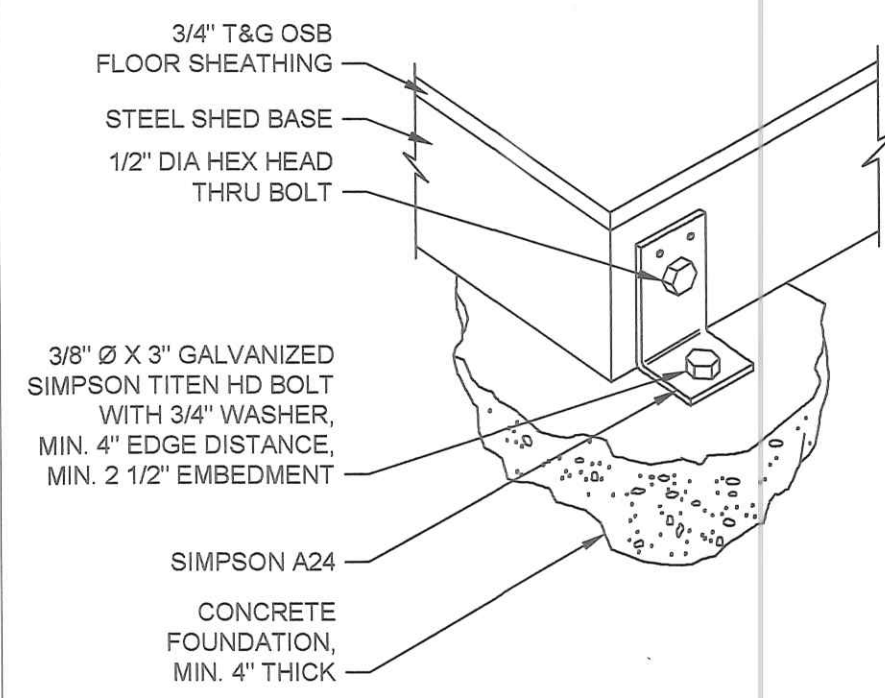




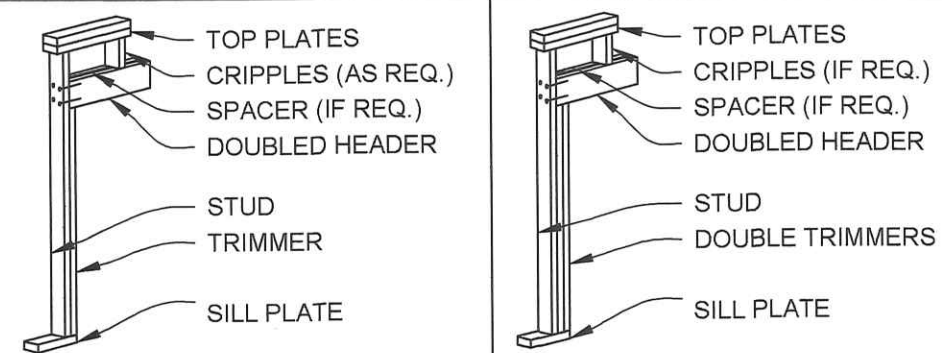
5 ROOF SHEATHING NAILING DTL



6 SHED RAFTER H2.5A ATTACHMENT



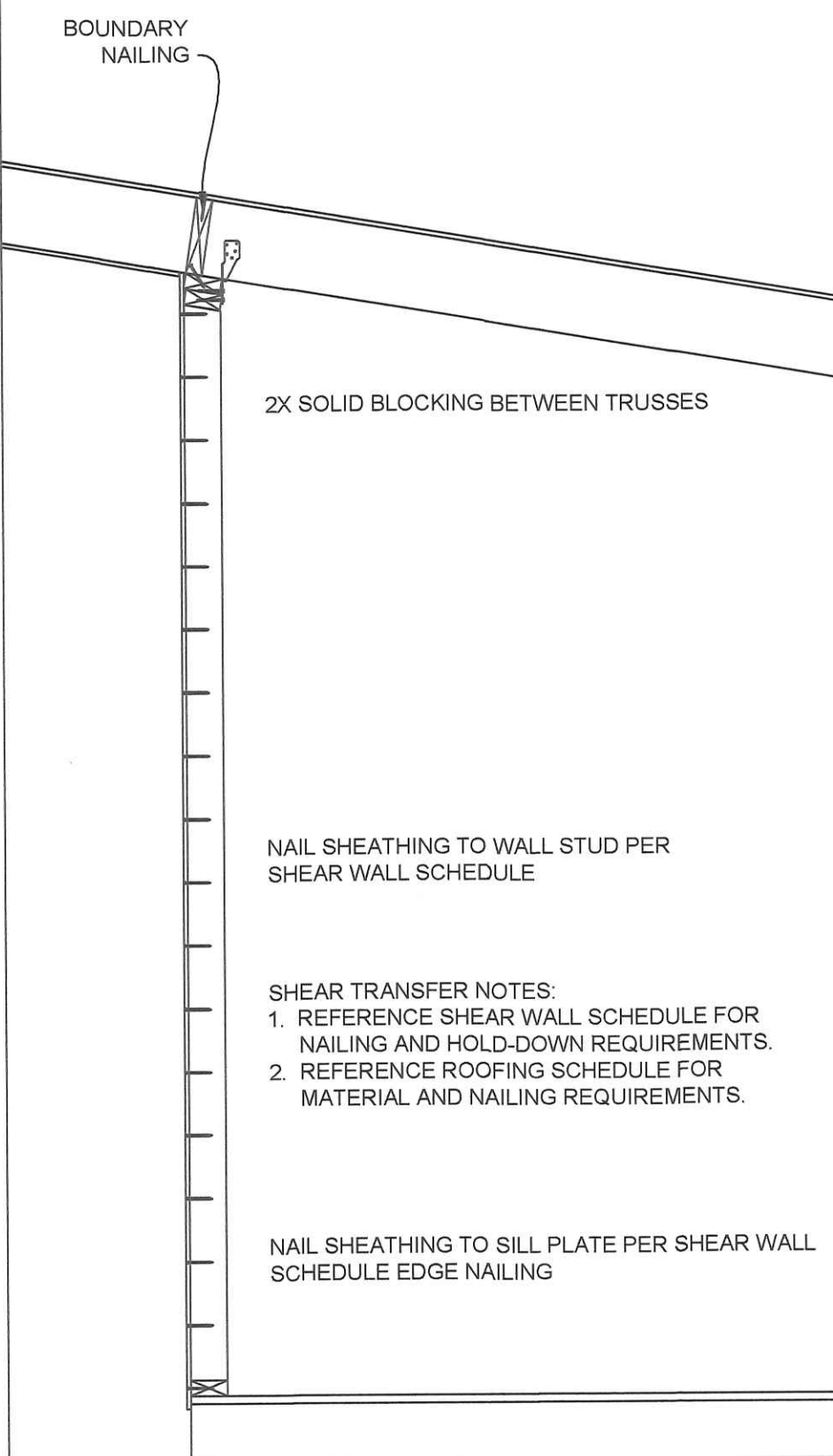
7 A24 INSTALLATION



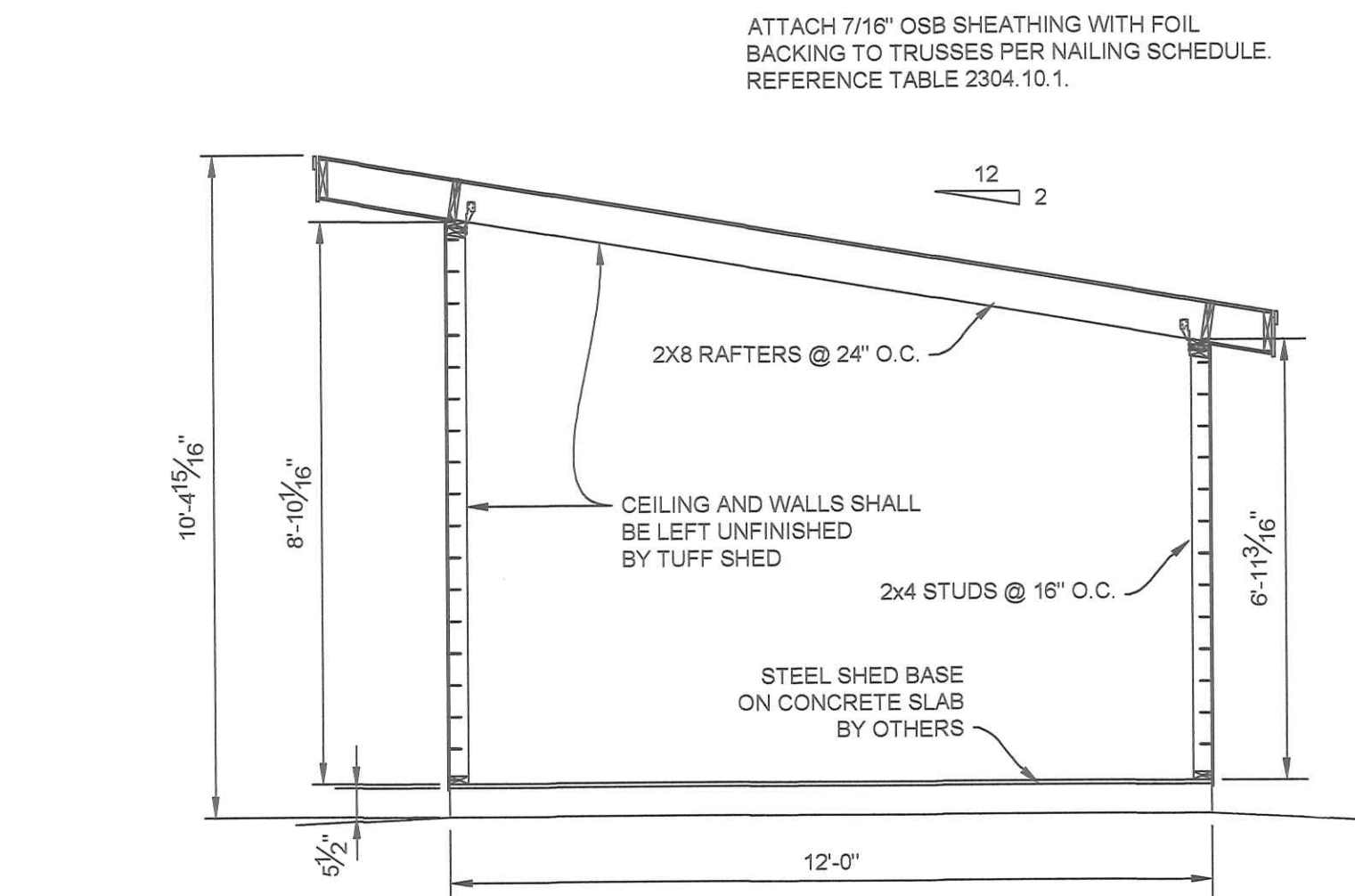
4 HEADER DETAIL  
NOT TO SCALE

NAILING:  
HEADER TO STUD - (4) 8d TOENAIL OR (4) 16d END NAIL  
DOUBLED HEADER - 16d @ 16\"/>

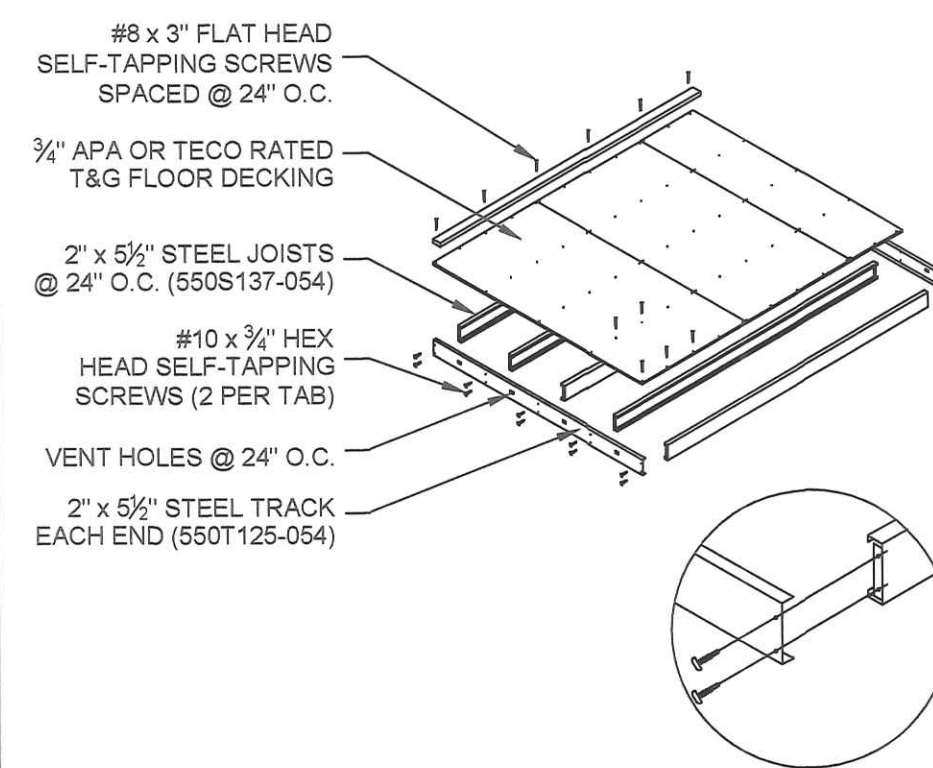
4 HEADER DETAIL  
NOT TO SCALE



1 SHEAR TRANSFER DETAIL  
3/4\"/>



2 BUILDING SECTION  
3/8\"/>



- STEEL SHED FOUNDATION:  
2" x 5/2"-16 GAUGE STEEL TRACKS G140 ZINC COATED  
2" x 5/2"-16 GAUGE STEEL JOISTS G140 ZINC COATED @ 24" O.C. (SUPPLIER: ALLIED STUDDCO - JOIST: 550S137-054 / TRACK: 550T125-054)
- 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
- FASTEN FLOOR DECKING TO JOIST & TRACKS USING #8 x 1 1/2" LONG MIN. SELF-DRILLING SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
- FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #8 x 3" GALVANIZED SELF-TAPPING SCREWS @ 24" O.C.
- ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED.

3 STEEL SHED BASE ASSEMBLY  
NOT TO SCALE



2/01/2024

TUFF SHED, INC.  
ENGINEERING DEPARTMENT  
TIMOTHY D. CAHALAN, P.E.  
TCAHALAN@TUFFSHED.COM  
1777 S. HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-8833

SO #: 2019266 EP #: 18764  
Customer: JENNA SCHROEDER  
Description:  
ACCESSORY BUILDING  
12' X 16' = 192 SQ FT  
Site Address:  
1409 LARK AVENUE  
KIRKWOOD, MO 63122

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED ONLY. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC AND THE ENGINEER OF RECORD.



Drawn By: TB  
Date: 12/5/23  
Checked By:  
Date:  
Revised:  
Revised:

SECTIONS  
DETAILS

Scale: NONE  
Sheet:

S3